

was completed in 1999. On November 4, 2024, the Zoning Administrator approved a site plan amendment for the addition of a new Skaggs Performing Arts Center and eight (8) classrooms near the south entrance.

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Cultural and Institutional	Exhibit D
Current Zoning	A5, RA2	Exhibit E
Current Use	Private School	
Adjacent Zoning		
East	RA1 (Residential Agricultural, 40,000 ft ² lot minimum)	
West	R3 (Single Family Residential, 13,000 ft ² lot minimum)	
North	RA1, RA2, R3	
South	RA1, RM1 (Multiple-Family Residential)	

The Cultural and Institutional land use designation is characterized as follows:

Cultural and Institutional

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Major entry points and features • Well-landscaped perimeter and public spaces • Limited traffic access to major streets • Uniform design standards and aesthetics • Common off-street traffic circulation and parking areas • Pedestrian-friendly design
LAND USE MIX	<ul style="list-style-type: none"> • Government and municipal buildings • Schools • Fire and police stations • Hospitals
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Public Facilities (PF) • Public Open Space (OS) • Public Institutional (PI)
OTHER CRITERIA	<ul style="list-style-type: none"> • Zoning for these uses should be based on a demonstration that the project can be successfully completed and has good transportation access • Such operations should be subject to City review and imposition of conditions deemed necessary to keep the land use compatible with its neighbors and with the community in general



According to Draper City Municipal Code (DCMC) Section 9-8-020, the purpose of the A5 zone is to *“maintain the status of large tracts of agricultural land by allowing most commercial agricultural uses. Typical uses include farming, dairy, and cattle production.”*

The purpose of the RA2 zone is to *“foster low density development with little impact on its surroundings and municipal services; to generally preserve the character of the city's semirural areas; and to promote and preserve conditions favorable to large lot family life, including the keeping of limited numbers of animals and fowl. The predominant use in these zones is intended to be detached single-family dwellings, protected from encroachment by commercial and industrial uses.”*

Site Plan Layout. The Site Plan (Exhibit F) shows the south entrance off of 11950 South, located south of the main building towards the center of the parcels that comprise the school campus. Parking lots are located to the east and west of the south entrance. The overall width of the south entrance is proposed to be increased by installing a landscaped median between the travel lanes. The widening would cause a shift to the parking lot to the east, causing a reconfiguration of the parking spaces and drive aisles. Entrances into and out of both adjacent parking lots would also be relocated away from the south entrance. Overall, the project would disturb approximately 128,794 ft² and have a net 7,677 ft² increase in hardscape with a corresponding reduction in landscaped area. No new changes are proposed to the buildings on the school campus.

Landscaping. The Landscape Plan (Exhibit G) shows how the landscaping will be modified around the parking lots. Existing lawn areas will remain along the southern boundaries of the project area. Though there will be a net decrease in the landscaped area as a result of the project, the overall landscaping of the school campus is significant and exceeds the minimum landscaping requirement of twenty percent (20%). Additionally, all modified landscaped areas will achieve a plant coverage of 76% at maturity.

Standard	DCMC Requirements	Proposal	Notes
Overall Landscaping Coverage	20% min.	Approx. 12% of the disturbed area.	Overall school campus exceeds 20%.
Parking Lot Landscaping	7% min.	N/A	The majority of the parking lot area is not being modified.
Perimeter Landscaping	10 feet min.	N/A	No change to parking at southern boundary.
Buffer Landscaping	20 feet, plus 6-foot fence	N/A	No change to parking at southern boundary.



Water Wise Landscaping	No lawn on slopes 25% or greater or areas less than 8 feet wide.	N/A	No new lawn proposed.
Street Trees	From approved tree list.	N/A	Minor modification to landscaping areas only at the street.

Parking. The Site Plan (Exhibit F) shows how the parking lots will be modified near the south entrance to the school campus. Colored concrete will be used to differentiate the roadway from the defined pedestrian crossing area at the building entrance. The widening of the south entrance caused existing parking spaces on the east to be shifted eastward, as well as the drive aisle and the landscaped island. Both parking lots have relocated their entrances away from the south entrance. Overall, there is a net gain of four (4) parking spaces which will be added as part of the project.

Table 3 Parking Lot Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Pedestrian Connections			
Cross Walks	Different material from parking lot required.	Colored concrete paving at building entrance.	
Access Point Width	24-26 feet	36 feet	

Lighting. The Lighting Plan (Exhibit H) shows that one (1) new wall pack and eight (8) new bollard lights will be provided. Lighting calculations were provided for the areas impacted by the new lights during operational hours and after-hours. All bollards will be turned off after-hours. Additionally, two (2) existing light poles will be relocated with the shift from the widening of the south entrance. It was determined that relocating the two (2) existing light poles a few feet from their current locations would not materially increase the degree of their non-conformity.

Table 4 Lighting Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Light Pole Height	20 feet max.	N/A	Existing light poles to remain.
Foot Candles (fc)			
Maximum Illumination	8.0	4.5 (wall pack area) 0.5 (bollard area)	

Maximum Average Illumination	5.0	1.8 (wall pack area) 0.4 (bollard area)	
Maximum Illumination Ratio	2.5:1	2.5:1 (wall pack area) 1.25:1 (bollard area)	

Criteria For Approval. The criteria for review and potential approval of a Site Plan Amendment request are found in DCMC Sections 9-5-060(E) and (H). This section depicts the standard of review for such requests as:

- E. Standards For Approval: The following standards shall apply to the approval of a site plan:*
- 1. The entire site shall be developed at one time unless a phased development plan is approved.*
 - 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.*
 - 3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.*
 - 4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.*
 - 5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.*
- H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:*
- 1. Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:*
 - a. The proposed use is consistent with uses permitted on the site;*
 - b. Existing uses were permitted when the site plan was approved, or have received a conditional use permit;*
 - c. The proposed use and site will conform to applicable requirements of this Code;*
 - d. The proposed expansion meets the approval standards of subsection E of this section;*
 - e. The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and*
 - 2. If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site*

plan after a public hearing that complies with all requirements of this code, including section 9-5-045.

3. *If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*
4. *Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. A notice of decision will be issued as outlined in City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings for approval listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.

2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.

Findings for approval:

1. The site plan reflects the full development of the property.
2. The site plan conforms to applicable standards set forth in ordinance, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zoning districts in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans will comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of the DCMC, including traffic, storm water drainage, and utilities concerns.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US, E=brien.maxfield@draperutah.gov,
O=Draper, OU=Public Works - Engineering,
CN=Brien Maxfield
Date: 2025.03.17 13:26:19 -06'00'

Draper City Public Works Department

Todd A. Draper

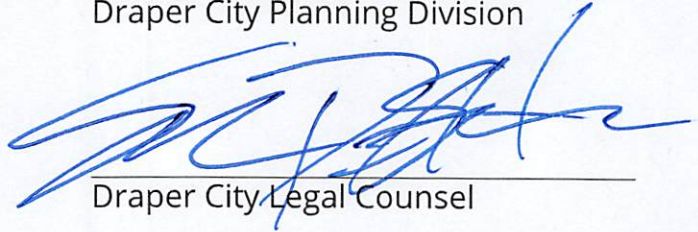
Digitally signed by Todd A.
Draper
DN: C=US,
E=todd.draper@draper.ut.us,
O=Draper City Planning,
CN=Todd A. Draper
Date: 2025.03.17
12:44:31 -06'00'

Draper City Planning Division

Don Buckley

Digitally signed by Don Buckley
DN: C=US,
E=don.buckley@draper.ut.us,
O=Draper City Fire Department,
OU=Fire Marshal, CN=Don Buckley
Date: 2025.03.17 16:59:00 -06'00'

Draper City Fire Department



Draper City Legal Counsel

Matthew Symes

Digitally signed by Matthew Symes
DN: C=US,
E=matt.symes@draperutah.gov,
O=Draper City Corp., CN=Matthew Symes
Date: 2025.03.17 12:53:39 -06'00'

Draper City Building Division

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments provided.

Engineering and Public Works Divisions Review.

General

1. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division. Informational comment for site plan amendment review.

Utilities and Street

2. Draper City does not own, maintain, or operate the irrigation facilities. Box within 11950 South and 300 East should have a solid lid and meet traffic rated structural standards. City does not approve or authorize work on the irrigation system. Permission is granted by irrigation company / users. Informational comment for the site plan amendment review.

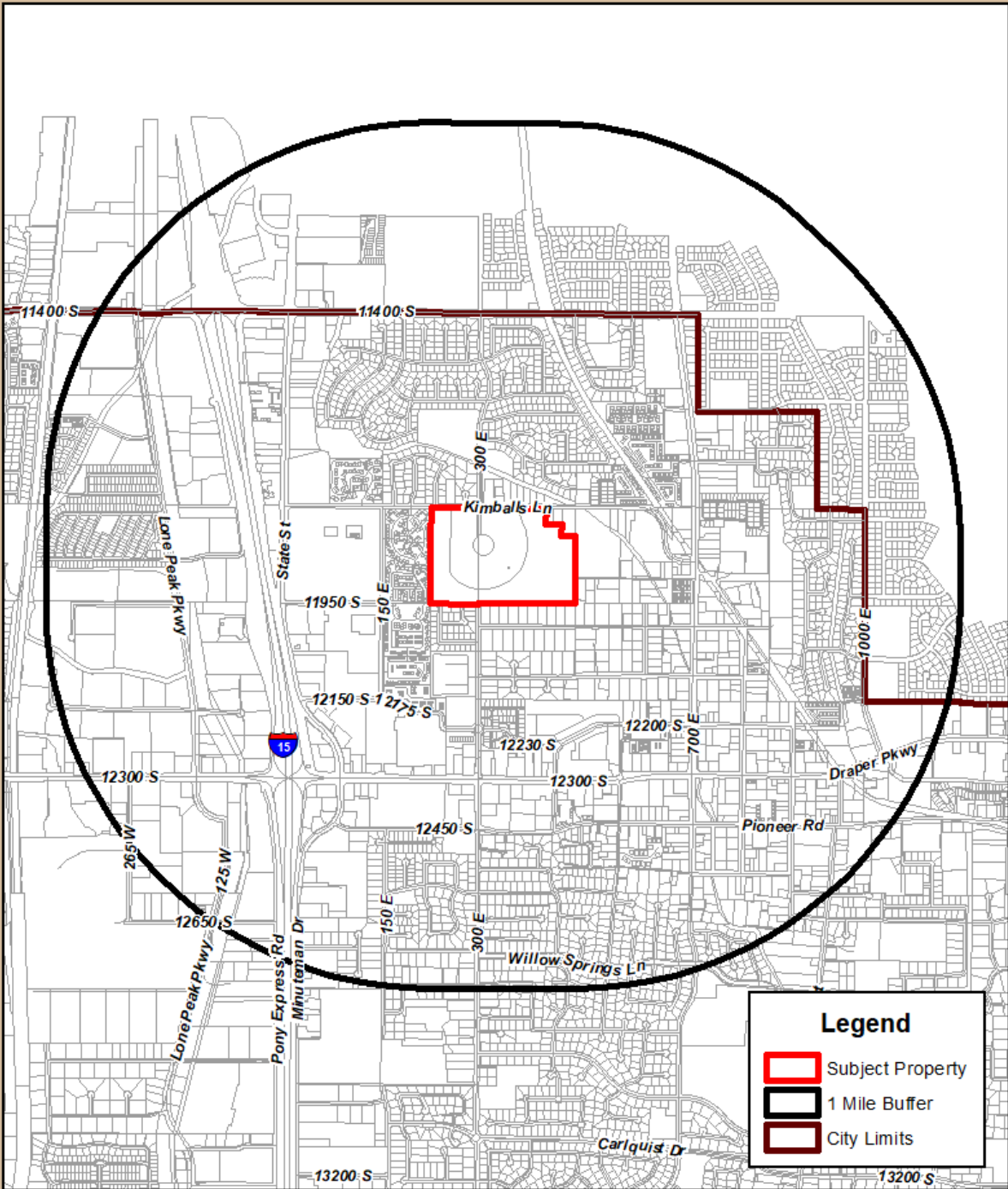
Building Division Review.

1. No additional comments provided.

Fire Division Review.

1. No additional comments provided.

EXHIBIT B
VICINITY MAP

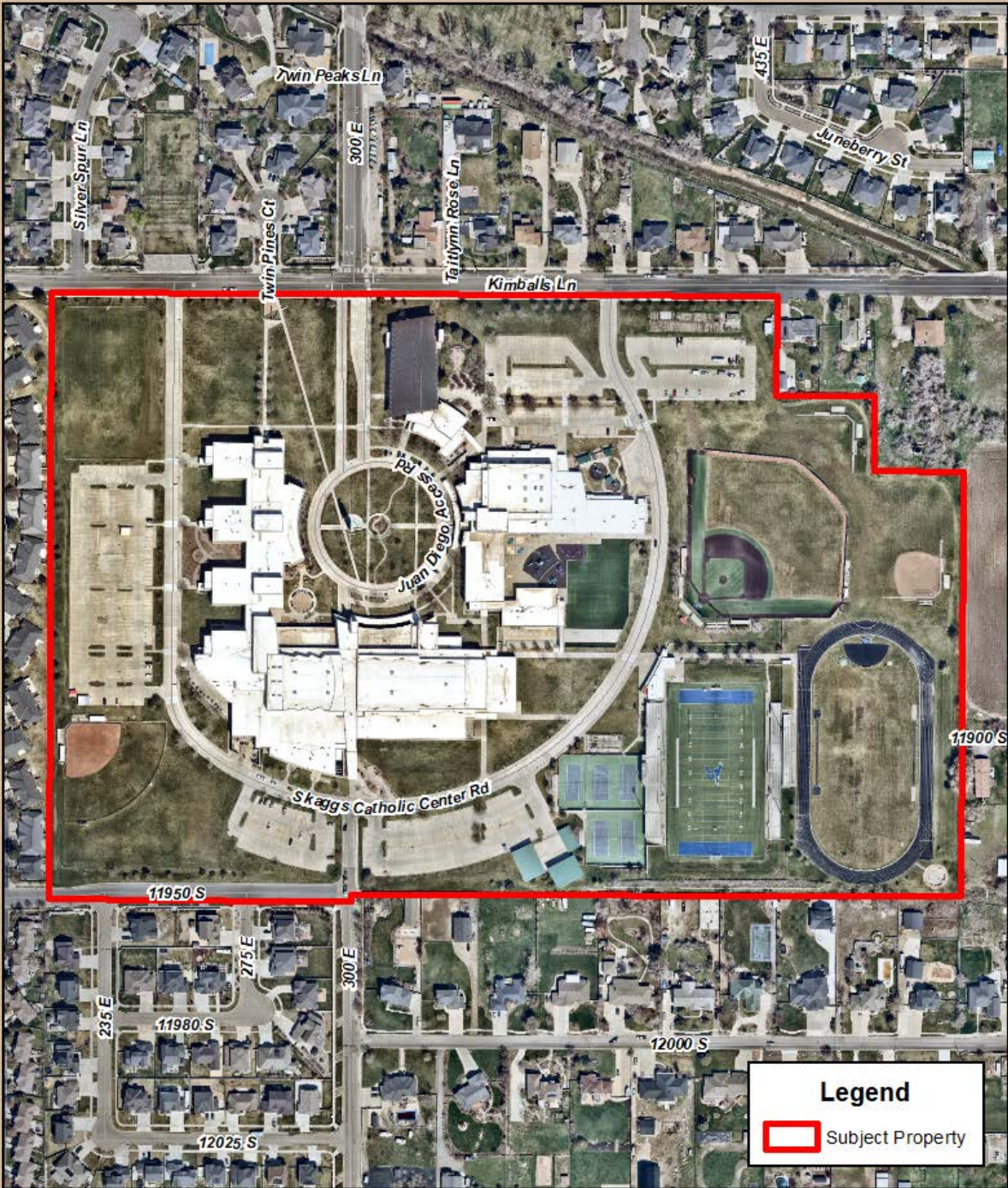


Juan Diego South Entrance Site Plan Amendment
300 E. Kimbals Ln.



Date Printed: 2/6/2025

EXHIBIT C
AERIAL MAP



Legend
 Subject Property

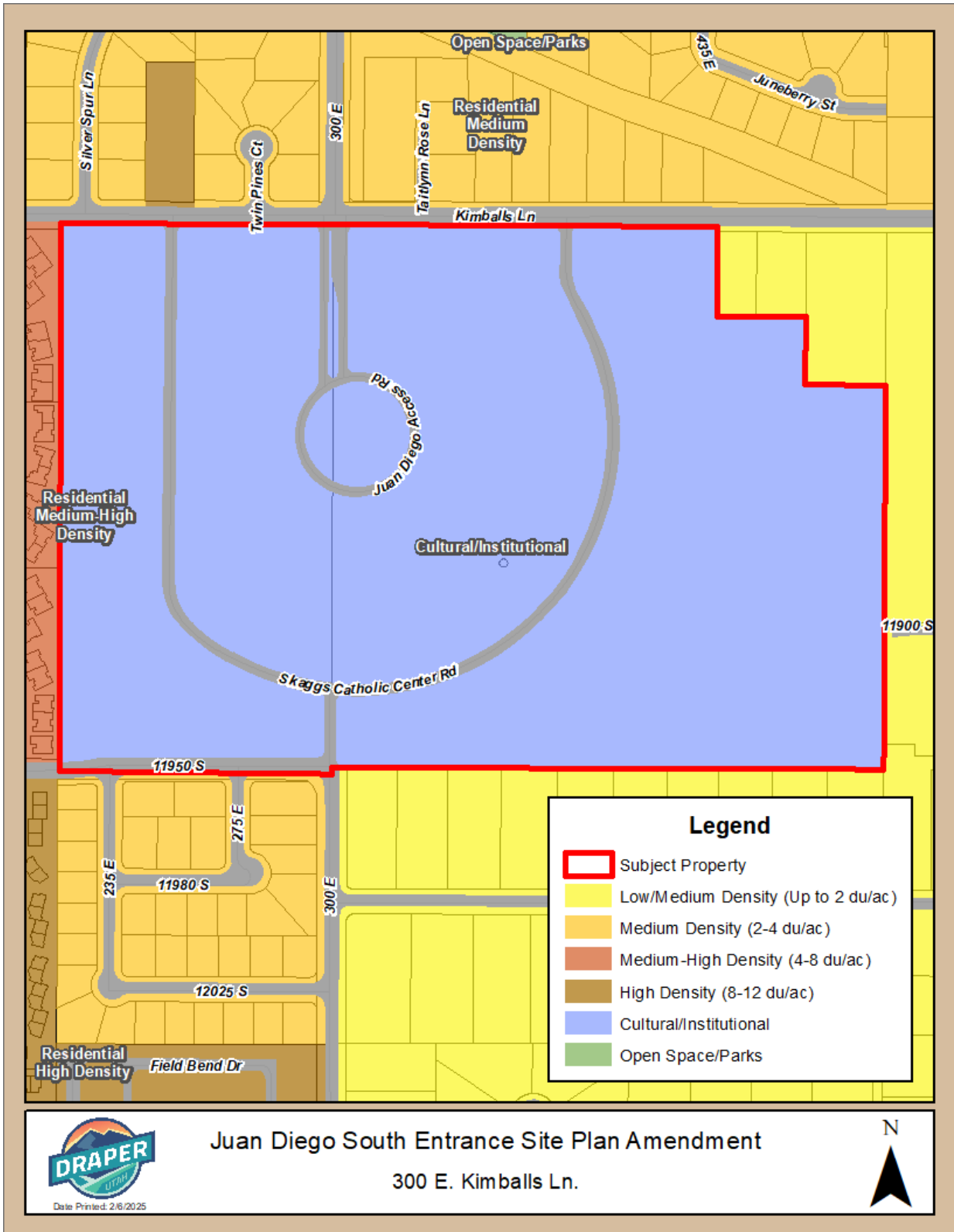


Juan Diego South Entrance Site Plan Amendment
300 E. Kimballs Ln.

Date Printed: 2/6/2025



EXHIBIT D LAND USE MAP



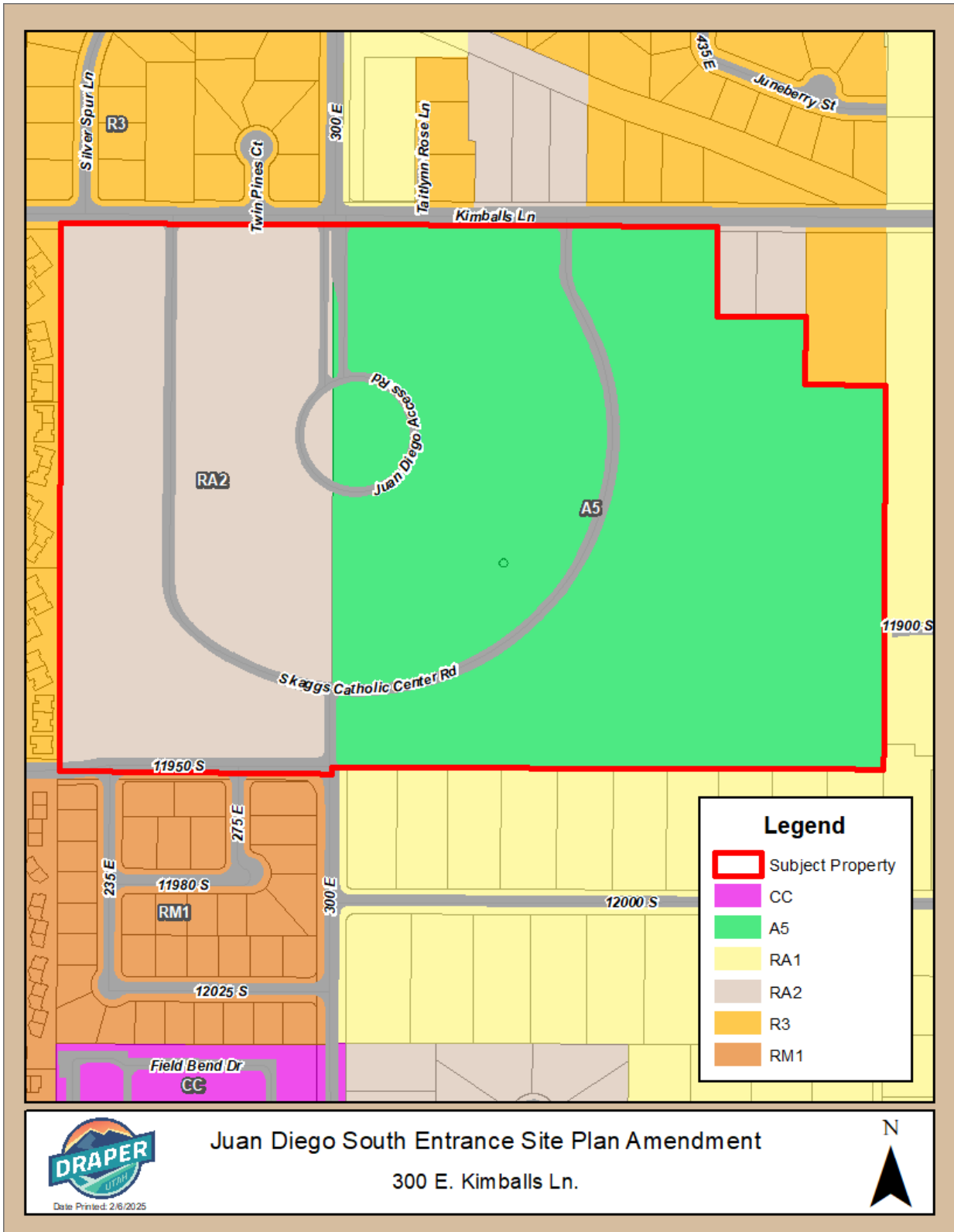
Legend	
	Subject Property
	Low/Medium Density (Up to 2 du/ac)
	Medium Density (2-4 du/ac)
	Medium-High Density (4-8 du/ac)
	High Density (8-12 du/ac)
	Cultural/Institutional
	Open Space/Parks



Date Printed: 2/8/2025



EXHIBIT E ZONING MAP



**EXHIBIT F
SITE PLAN**

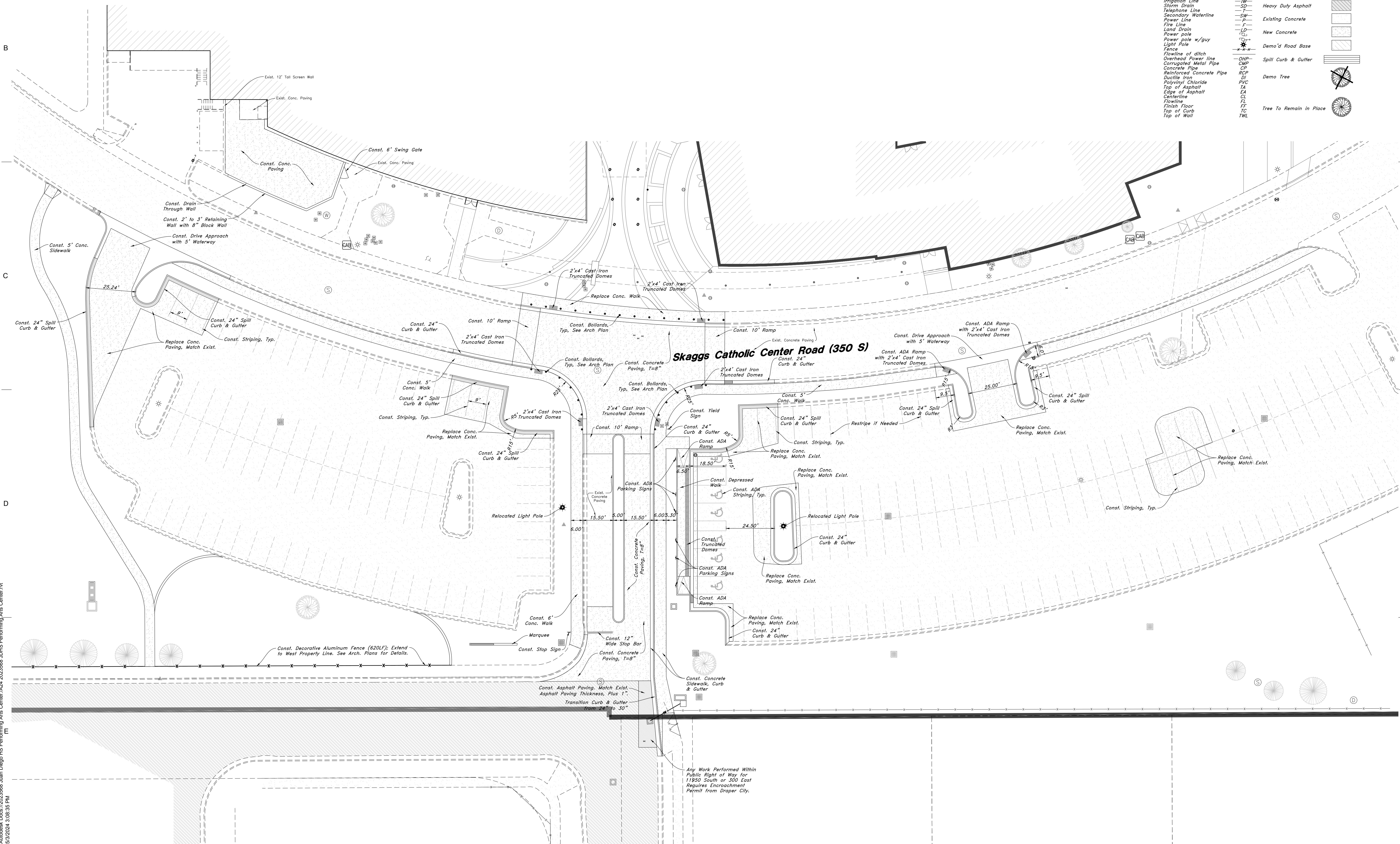
A

B

C

D

Attached: Desc: 10/20/2008 Juan Diego HS Performing Arts Center A24 2023568: JPHS Performing Arts Center.rvt
6/20/2024 3:08:35 PM



- GENERAL SITE NOTES:**
1. Stalls designated as accessible will require a painted accessible symbol and sign. (See Details)
 2. Fire line markings and signs to be installed as directed by the Fire Marshall.
 3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 4. Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
 5. All dimensions are to back of curb unless otherwise noted.

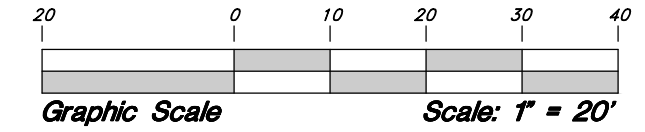
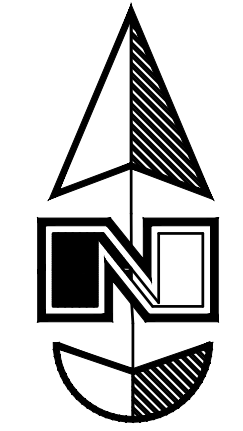
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Site Data Table - Changes

Remove	1,330 SF Landscaping
Remove	17,198 SF Hardscape
Add	5623 SF Landscaping
Add	24873 SF Hardscape
Parking Lot Count:	
Net Gain of 4 Parking Stalls	



Legend

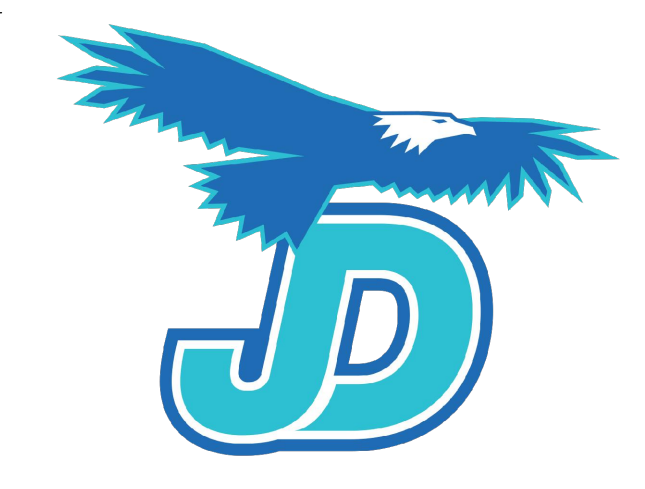
- (Note: All items may not appear on drawing)
- | | | |
|----------------------------|----------------------------|---------|
| San. Sewer Manhole | Top of Walk | TW |
| Water Manhole | Natural Ground | TCN |
| Storm Drain Manhole | Finish Grade | WG |
| Cleanout | Match Existing | FC |
| Electrical Manhole | Fire Department Connection | FDC |
| Catch Basins | Finish Contour | — 90 |
| Exst. Fire Hydrant | Exst. Contour | — 90 |
| Fire Hydrant | Finish Grade | 35.2574 |
| Fire Department Connection | Exst. Grade | 80.2714 |
| Post Indicator Valve | Ridge Line | — R |
| Exst. Water Valve | Direction of Flow | — |
| Sanitary Sewer | Existing Asphalt | ▨ |
| Cutting Water | New Asphalt | ▨ |
| Gas Line | Heavy Duty Asphalt | ▨ |
| Irrigation Line | Existing Concrete | ▨ |
| Storm Drain | New Concrete | ▨ |
| Telephone Line | Demo'd Road Base | ▨ |
| Secondary Waterline | Power | ▨ |
| Power Line | Light Pole | ⊙ |
| Fire Line | Flowline of ditch | — |
| Land Drain | Overhead Power Line | — |
| Power pole w/guy | Corrugated Metal Pipe | — |
| Light Pole | Concrete Pipe | — |
| Fence | Reinforced Concrete Pipe | — |
| Flowline of ditch | Quilted Iron | — |
| Overhead Power Line | Polystyrene Chloride | — |
| Corrugated Metal Pipe | Top of Asphalt | — |
| Concrete Pipe | Edge of Asphalt | — |
| Reinforced Concrete Pipe | Flowline | — |
| Quilted Iron | Finish Top | — |
| Polystyrene Chloride | Top of Curb | — |
| Top of Asphalt | Top of Wall | — |
| Edge of Asphalt | | |
| Flowline | | |
| Finish Top | | |
| Top of Curb | | |
| Top of Wall | | |

MHTN ARCHITECTS

MHTN Architects, Inc.
260 South 400 West
Suite 250
Salt Lake City, Utah 84101
Telephone (801) 595-6700
www.mhtn.com

GREAT BASIN ENGINEERING

0746 SOUTH 1475 EAST SUITE 200
DRAPER, UTAH 84013 MAIN (801) 394-4515
S.L.C. (801) 521-0222 FAX (801) 392-7544
WWW.GREATBASINENGINEERING.COM



**JUAN DIEGO CATHOLIC HIGH
PERFORMING ARTS &
CLASSROOM ADDITION /
INFRASTRUCTURE PROJECT**
300 E 11800 S, DRAPER, UT 84020

©2023 MHTN ARCHITECTS, INC.
Confidentiality Notice
This document is prepared by and for the Project identified herein by individuals and companies involved in the design, permitting, siting and construction of the Project. MHTN Architects, Inc. grants limited rights to distribute and reproduce this document for this express purpose only. Distribution, printing or copying of this document for purposes other than those indicated is strictly prohibited. If a digital copy of this document is received in error, please delete it.
SEAL

MHTN PROJECT NO. _____

Original Drawing is 30 x 42. Do not scale contents of this drawing.

NO.	DATE	DESCRIPTION
204	1/28/2024	INFRASTRUCTURE PACKAGE
PTB	01/21/2025	City Comments
BBZ	02/20/2025	RPT DEC

ISSUE
BID SET
MAY 7, 2024
SHEET NAME
SITE PLAN

SHEET NUMBER
CS101

Any Work Performed Within
Public Right of Way for
11250 South or 300 East
Requires Encroachment
Permit from Draper City.

EXHIBIT G
LANDSCAPE PLAN

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACE 080	ACER GLABRUM	SMOOTH BARK ELDER	2" CAL	17
	WHK 080	CRATAEGUS VIRENS WINTER KING	WINTER KING HAWTHORN	2" CAL	4
	KNY 080	FRAXINUS CORYMBOSA	KENTUCKY COFFEETREE	2" CAL	3
	SNW 080	NYCTAGINUS SPICATUS	SPRING SNOW NANNYBERRY	2" CAL	4
	KAL 080	FRAXINUS RETICULATA	KALM'S JAPANESE TREE LILAC	2" CAL	12
	LAN 080	LANTANA CANADENSIS	BUMPY WHITE-FLOWERED LANTANA	2" CAL	3

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY
	COT 080	COTONEASTER DAMNARIUM CORAL BEAUTY	CORAL BEAUTY COTONEASTER	88
	JUN 080	JUNIPERUS HORIZONTALIS BLUE CHIP	BLUE CHIP CREEPING JUNIPER	25
	MAH 080	MAHONIA REPENS	CREeping MAHONIA	103
	OPU 080	Rhus ANTHRACTIS OPULOID	OPULOID FRAGRANT SUMAC	107
	STR 080	Rhus TYPHINAE BALDWINII	TIGER EYE STRAWN SUMAC	12
	GRS 080	Calamagrostis Canadensis	Keweenaw FEATHER REED GRASS	28
	SWG 080	Panicum Virgatum Shennanshan	SHENNANSHAN SWITCH GRASS	28
	FLA 080	Ceratostroma Flambardoides	DWARF FLAMBARD	103
	GUL 080	Gulch Lindheimeri	BRISTLE PINE GULCH	17
	RUS 080	Perovskia Atropurpurea	SAGE ARCHED RUSSIAN SAGE	107
	CON 080	Abies Douglasii	AMERICAN GOLD-RUSH CONIFEROUS	103

REFERENCE NOTES SCHEDULE

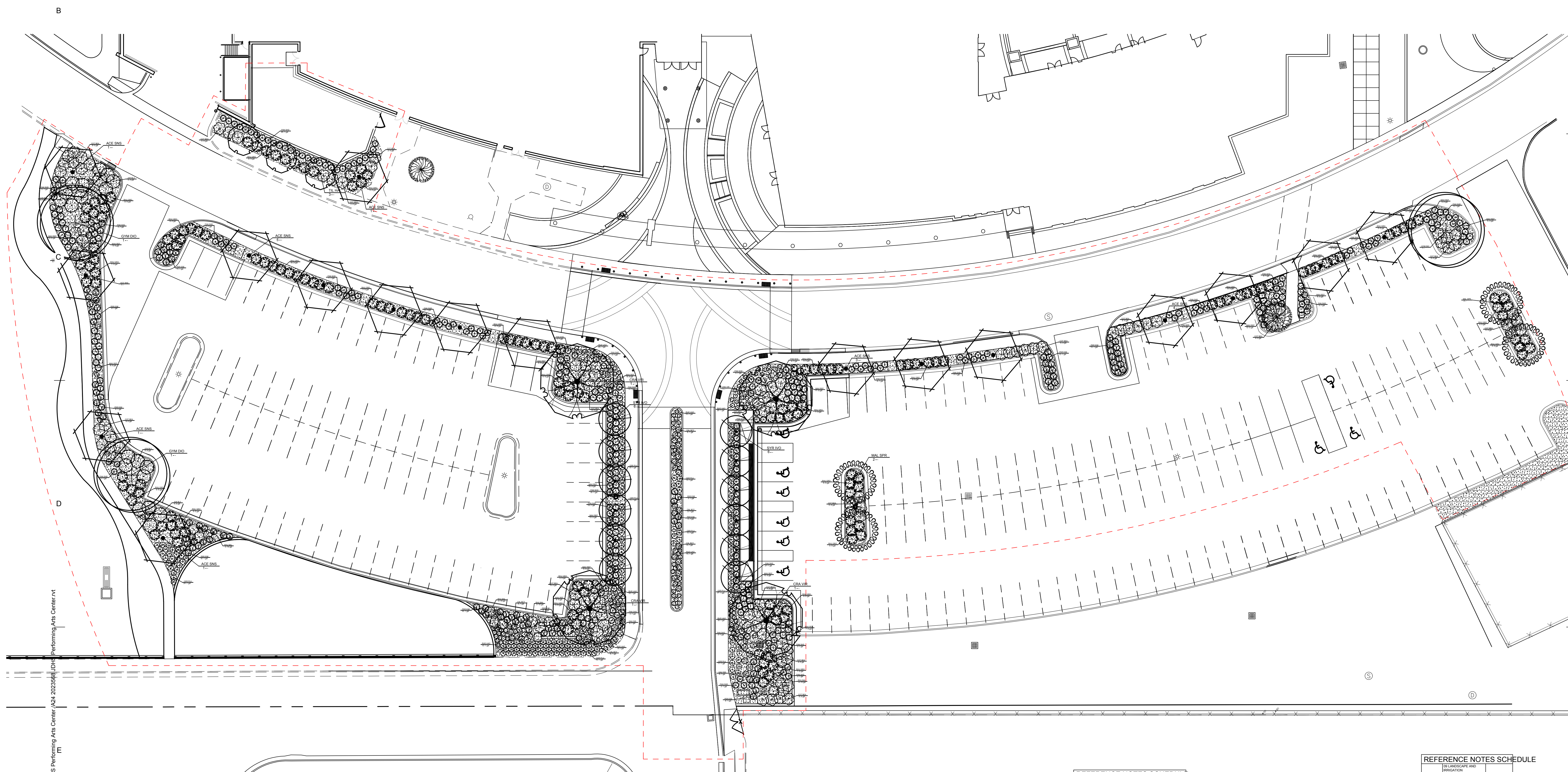
SYMBOL	CODE	DESCRIPTION	DETAIL
	IRR	IRRIGATION	IRRIGATION
	2" BV	2" BALL VALVE	2" BALL VALVE
	1/2" RB	1/2" CP-ROCK BACK	1/2" CP-ROCK BACK

CODE COMPLIANCE

TOTAL LANDSCAPE AREA: 15,025 SQ FT
 TOTAL PERCENT COVERAGE OF LIVE PLANT MATERIAL AT MATURITY: 76%

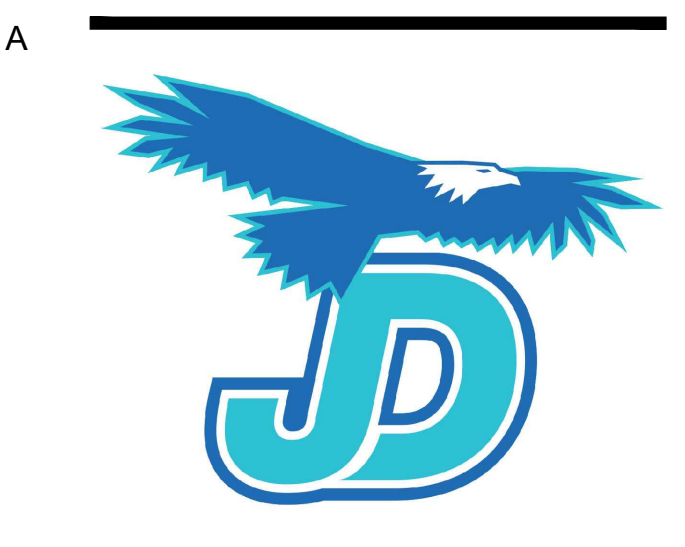
REFERENCE NOTES SCHEDULE

BOTANICAL NAME	COMMON NAME	TOTAL COVERAGE AREA BY SPECIES
COTONEASTER DAMNARIUM CORAL BEAUTY	CORAL BEAUTY COTONEASTER	16%
JUNIPERUS HORIZONTALIS BLUE CHIP	BLUE CHIP CREEPING JUNIPER	5%
MAHONIA REPENS	CREeping MAHONIA	7%
Rhus ANTHRACTIS OPULOID	OPULOID FRAGRANT SUMAC	20%
Rhus TYPHINAE BALDWINII	TIGER EYE STRAWN SUMAC	2%
Calamagrostis Canadensis	Keweenaw FEATHER REED GRASS	1%
Panicum Virgatum Shennanshan	SHENNANSHAN SWITCH GRASS	10%
Ceratostroma Flambardoides	DWARF FLAMBARD	8%
Gulch Lindheimeri	BRISTLE PINE GULCH	1%
Perovskia Atropurpurea	SAGE ARCHED RUSSIAN SAGE	5%
Abies Douglasii	AMERICAN GOLD-RUSH CONIFEROUS	3%



E1 PLANTING PLAN-SOUTH IMPROVEMENTS
 SCALE: 1" = 20'-0"

MHTN ARCHITECTS
 MHTN Architects, Inc.
 280 South 400 West
 Suite 250
 Salt Lake City, Utah 84101
 Telephone (801) 595-6700
 www.mhtn.com



JUAN DIEGO CATHOLIC HIGH SCHOOL
 Juan Diego HS Performing Arts Center
 300 11800 S
 Draper, UT 84020

STATE OF UTAH
 VINCENT RULON OLCOTT
 No. 4812885
 05-07-2024
 LICENSED LANDSCAPE ARCHITECT

MHTN PROJECT NO. 2023568

Original Drawing is 30" x 42". Do not scale contents of this drawing.

REVISIONS:
 CONTRACTOR TO VERIFY DRAWINGS IN FIELD USE REFLECT LAST REVISION DATE

NO.	DATE	DESCRIPTION
01	01/12/2024	PRELIM
02	01/21/2024	PRELIM

DATE: MAY 7, 2024
 SHEET NAME: PLANTING PLAN-SOUTH IMPROVEMENTS

SHEET NUMBER: LP200

IRRIGATION REMODEL NOTES

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE EXISTING SPRINKLER IRRIGATION SYSTEM IN TERMS OF FLOW CAPACITY, VALVE WIRING, VALVE AND HEAD LAYOUT AND CONTROLLER CAPACITY.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMODEL OF A SECTION OF THE EXISTING IRRIGATION SYSTEM AS SHOWN AND FOR PROVIDING FOR FULL COVERAGE OF ALL SYSTEM HEADS AND FOR THE FULL AND COMPLETE OPERATION OF BOTH THE NEW AND EXISTING SYSTEM IN THE AREAS BEING MODIFIED.

THIS CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK AND TIMES WITH THE OWNER.

MAINTAIN AND PROTECT AS MUCH OF THE EXISTING IRRIGATION SYSTEM AS POSSIBLE AND FEASIBLE AND STILL PROVIDE FOR FULL COVERAGE OF THE ENTIRE AREA. KEEP ALL LAWN AREA HEADS ON A SEPARATE CIRCUIT FROM SHRUB AREA HEADS.

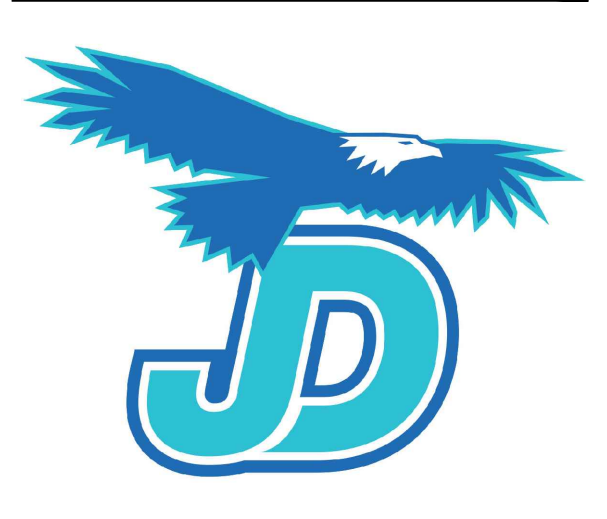
THE EXISTING IRRIGATION SYSTEMS NOTED TO REMAIN IN USE SHALL BE PATCHED AND REPAIRED AS NECESSARY. MAINTAIN OPERATION OF THE EXISTING SYSTEM AS REQUIRED TO PROTECT EXISTING PLANT MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE OR DEATH OF EXISTING PLANT MATERIAL.

ALL SALVAGED HEADS SHALL BE RE-USED IN THE NEW SYSTEM, IF COMPATIBLE WITH NEW HEADS, OR RETURNED TO THE OWNER.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING VALVE WIRING AND RE-ROUTING AS SHOWN AND AS REQUIRED. MINIMIZE THE USE OF WIRE SPLICES. PROVIDE TEMPORARY WIRING AS REQUIRED TO KEEP THE EXISTING SYSTEM IN OPERATION.

REPAIR DAMAGE TO EXISTING IRRIGATION SYSTEM AND LAWN RESULTING FROM CONSTRUCTION OPERATIONS.

KEY NOTES	
CODE	DESCRIPTION
09	LANDSCAPE AND IRRIGATION
09-06	METAL EDGE
10 KEYNOTES	
10-01	LIMIT OF WORK
REFERENCE NOTES	
D-101	EXISTING IRRIGATION HEADS TO BE REMOVED
D-102	EXISTING IRRIGATION HEADS TO REMAIN
D-103	EXISTING VALVE TO BE REMOVED
REFERENCE NOTES	
E-105	SEE IRRIGATION PLANS IN BID PACK ONE FOR IRRIGATION INFORMATION IN THIS AREA
REFERENCE NOTES	
LI-101	CUT AND CAP EXISTING LATERAL LINE LEADING TO EXISTING DEMOLISHED HEAD



JUAN DIEGO CATHOLIC HIGH SCHOOL
Juan Diego HS Performing Arts Center
300 11800 S
Draper, UT 84020

©2023 MHTN ARCHITECTS, INC.
Confidentiality Notice:
This document is prepared for use on the project identified herein by individuals and companies included in the design, planning, testing and construction of the project. All other uses, including but not limited to, distribution and reproduction of this document for any other purpose, is strictly prohibited. If a digital copy of this document is received in error, please delete it.



MHTN PROJECT NO. 2023568

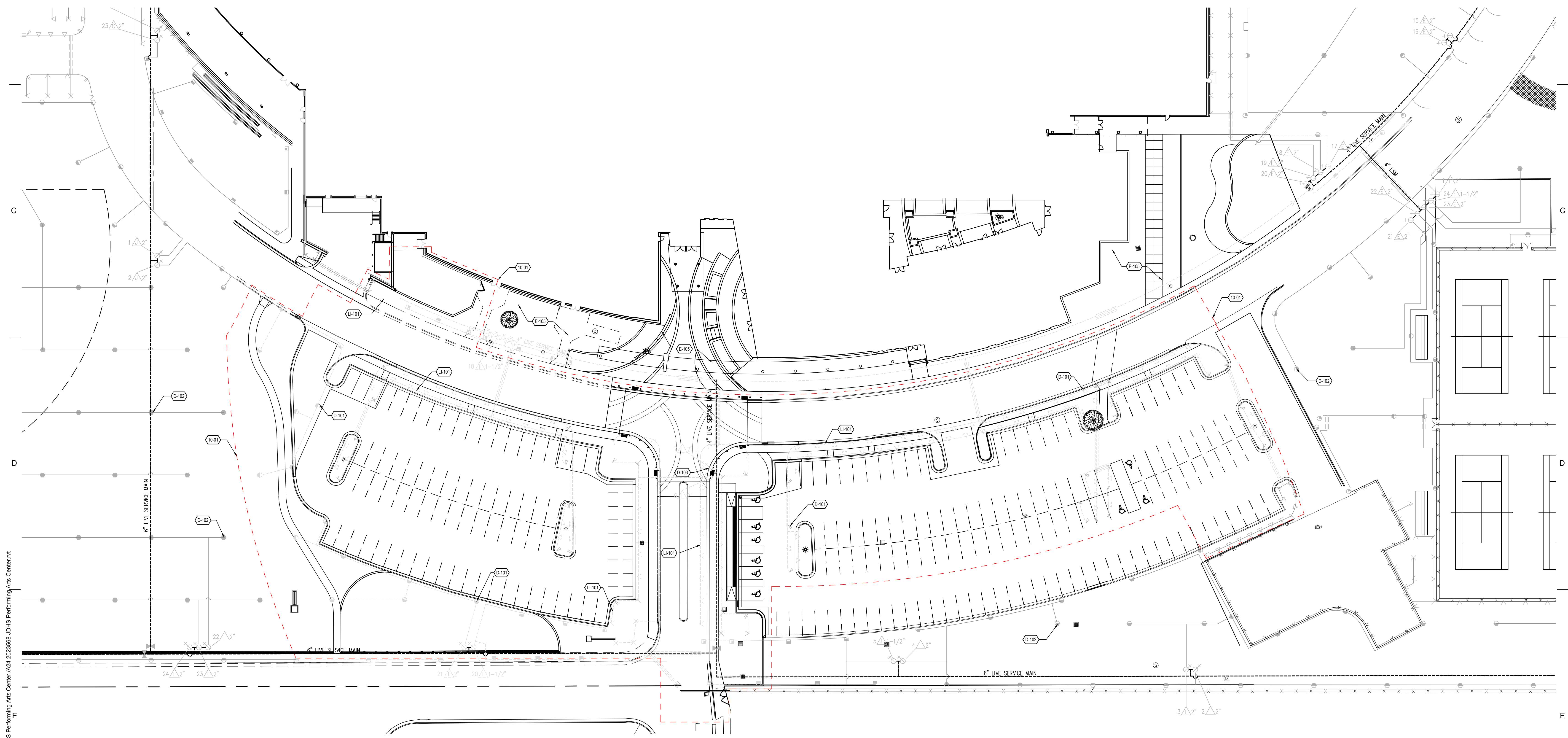
Original Drawing is 30 x 42. Do not scale contents of this drawing.

NO.	DATE	DESCRIPTION
01	12/16/2024	REV 1

ISSUE
BID SET
MAY 7, 2024

SHEET NAME
IRRIGATION DEMOLITION PLAN-SOUTH IMPROVEMENTS

SHEET NUMBER
LD200



E1 IRRIGATION DEMO PLAN-SOUTH IMPROVEMENTS

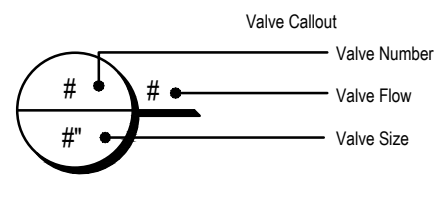
SCALE: 1" = 30'

Autodesk Docs: 2023568 Juan Diego HS Performing Arts Center (A24-2023568) JPHS Performing Arts Center.rvt
 11/17/2023 2:18:56 PM

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER MP3000 PROS-06-PRS40-CV-F TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.
	RAIN BIRD XCV-09-18 WIDE FLOW 1/4" DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1IN. BALL VALVE WITH 1IN. PRESSURE SMART VALVE W/ FACTORY INSTALLED 1/4" SOL. 0.3-20 GPM AND 1IN. PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER 0.3-20 GPM.
	RAIN BIRD XCV-150-LCS HIGH FLOW CONTROL ZONE KIT WITH LOW MINIMUM INLET PRESSURE REQUIREMENTS. FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2IN. PEB GLOBE VALVE WITH HIGH-CAPACITY FILTER AND PRESSURE REGULATING SYSTEM (PRS) FIXED AT 40PSI. FLOW RANGE: 20 - 62 GPM.
	RAIN BIRD XFCV-09-18 XFCV ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 3.5 PSI CHECK VALVE, 0.9 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. GREAT FOR ELEVATION CHANGE. SPECIFY X7 INSERT FITTINGS.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD PEB-PRS-D 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.
	RAIN BIRD 44-RC 1IN. BRASS QUICK-COUPING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.
	APOLLO VALVES 70-100 BALL VALVE (LEAD FREE), LEAD FREE BRONZE BODY, BLOW-OUT PROOF STEM DESIGN, MULTI-FILL PTFE SEATS & SEALS.
	MATCO-NORCA 759 BRASS SHUT OFF BALL VALVE, 1/2" TO 4". TWO PIECE BODY, BLOW-OUT PROOF STEM, CHROME PLATED SOLID BRASS BALL, THREADED, WITH PTFE SEATS. SAME SIZE AS MAINLINE PIPE.
	DRAIN VALVE
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40
	IRRIGATION MAINLINE: PVC SCHEDULE 40 SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 FITTINGS
	PIPE SLEEVE: PVC CLASS 200 SDR 21



KEY NOTES	
CODE	DESCRIPTION
09 LANDSCAPE AND IRRIGATION	
09-06	METAL EDGE
10 KEYNOTES	
10-01	LIMIT OF WORK
REFERENCE NOTES	
D-102	EXISTING IRRIGATION HEADS TO REMAIN
REFERENCE NOTES	
E-105	SEE IRRIGATION PLANS IN BID PACK ONE FOR IRRIGATION INFORMATION IN THIS AREA
E-106	MODIFY EXISTING IRRIGATION AND ADJUST EXISTING HEADS TO MAINTAIN PROPER COVERAGE
REFERENCE NOTES	
LI-103	CONNECT TO EXISTING MAINLINE. FIELD VERIFY LOCATION AND SIZE OF EXISTING MAINLINE.

IRRIGATION REMODEL NOTES

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE EXISTING SPRINKLER IRRIGATION SYSTEM IN TERMS OF FLOW CAPACITY, VALVE WIRING, VALVE AND HEAD LAYOUT AND CONTROLLER CAPACITY.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMODEL OF A SECTION OF THE EXISTING IRRIGATION SYSTEM AS SHOWN AND FOR PROVIDING FOR FULL COVERAGE OF ALL SYSTEM HEADS AND FOR THE FULL AND COMPLETE OPERATION OF BOTH THE NEW AND EXISTING SYSTEM IN THE AREAS BEING MODIFIED.

THIS CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK AND TIMES WITH THE OWNER.

MAINTAIN AND PROTECT AS MUCH OF THE EXISTING IRRIGATION SYSTEM AS POSSIBLE AND FEASIBLE AND STILL PROVIDE FOR FULL COVERAGE OF THE ENTIRE AREA. KEEP ALL LAWN AREA HEADS ON A SEPARATE CIRCUIT FROM SHRUB AREA HEADS.

THE EXISTING IRRIGATION SYSTEMS NOTED TO REMAIN IN USE SHALL BE PATCHED AND REPAIRED AS NECESSARY. MAINTAIN OPERATION OF THE EXISTING SYSTEM AS REQUIRED TO PROTECT EXISTING PLANT MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE OR DEATH OF EXISTING PLANT MATERIAL.

ALL SALVAGED HEADS SHALL BE RE-USED IN THE NEW SYSTEM, IF COMPATIBLE WITH NEW HEADS, OR RETURNED TO THE OWNER.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING VALVE WIRING AND RE-ROUTING AS SHOWN AND AS REQUIRED. MINIMIZE THE USE OF WIRE SPLICES. PROVIDE TEMPORARY WIRING AS REQUIRED TO KEEP THE EXISTING SYSTEM IN OPERATION.

REPAIR DAMAGE TO EXISTING IRRIGATION SYSTEM AND LAWN RESULTING FROM CONSTRUCTION OPERATIONS.

DRIP IRRIGATION NOTES

LAYOUT DRIP LINE SO THAT AS A MINIMUM ALL SHRUBS LIE BETWEEN TWO ROWS OF DRIPPER LINE AND SO THAT ROWS ARE 18" TO 24" APART TYPICAL. FIELD VERIFY SOIL, SUBSOIL AND SLOPE CONDITIONS AND MODIFY AS REQUIRED.

COORDINATE LAYOUT OF DRIP LINE WITH THE LAYOUT OF THE PLANT MATERIAL THROUGHOUT.

INSTALL AUTOMATIC DRAINS AT ALL LOW POINTS IN THE PVC SUPPLY AND EXHAUST HEADERS TO ENSURE COMPLETE DRAINAGE.

FLUSH OUT THE SYSTEM COMPLETELY PRIOR TO INSTALLING THE FLUSH VALVES TO PREVENT CLOGGING.

INSTALL PVC SUPPLY AND EXHAUST HEADERS A MIN. OF 6" BELOW FINISH GRADE TYPICAL THROUGHOUT.

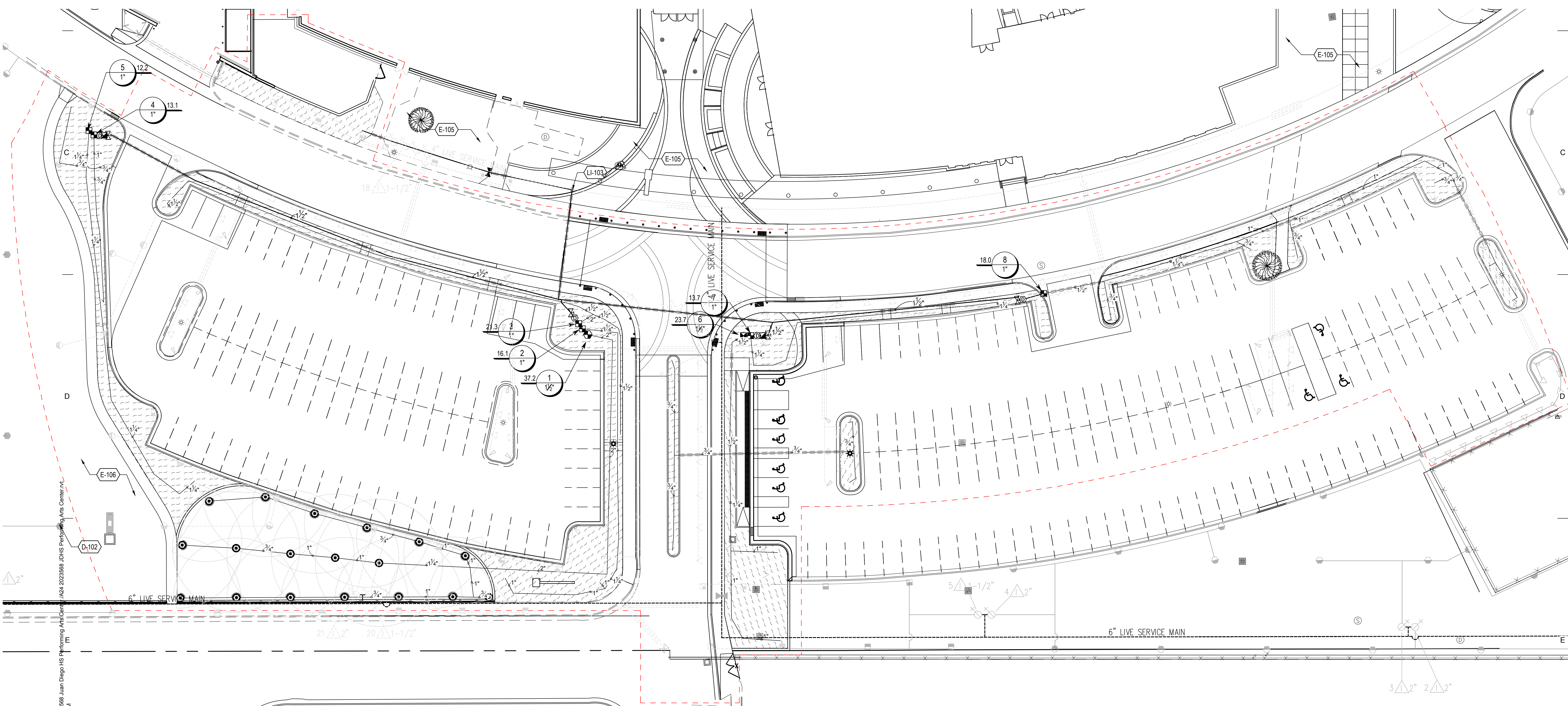
INSTALL DRIPPER LINE 2" BELOW FINISH GRADE DIRECTLY BELOW BARK MULCH LAYER.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AN ADEQUATE AMOUNT OF AIR RELIEF VALVES. EACH ZONE, SEPARATE AREA WITHIN ZONES, OR AREAS WITHIN ZONES SEPARATED BY GRADE VARIATIONS REQUIRE AIR RELIEF VALVES. INSTALL IN 2" PVC SLEEVES WITH MARKER CAP.

ALL PVC SUPPLY AND EXHAUST HEADERS SHALL BE A MINIMUM OF 1" IN SIZE.

INSTALL MULTI-OUTLET EMITTERS AS DETAILED AND AS PER MFGRS. RECOMMENDATIONS.

ALL FILTERING AND VALVING FOR BOTH THE DRIPPER LINE AND MULTI-OUTLET EMITTERS SHALL BE ACCOMMODATED USING THE SAME VALVE/FILTER/ PRESSURE REGULATING ASSEMBLY.



MHTN ARCHITECTS
 MHTN Architects, Inc.
 260 South 400 West
 Suite 250
 Salt Lake City, Utah 84101
 Telephone (801) 595-6700
 www.mhtn.com



JUAN DIEGO CATHOLIC HIGH SCHOOL
 Juan Diego HS Performing Arts Center
 300 11800 S
 Draper, UT 84020

STATE OF UTAH
 VINCENT RULON OLCOTT
 No. 4812885
 05-07-2024
 LICENSED LANDSCAPE ARCHITECT

MHTN PROJECT NO. 2023568

Original drawing is 30 x 42. Do not scale contents of this drawing.

NO.	DATE	DESCRIPTION
01	12/16/2024	PK 1

DATE: MAY 7, 2024
 BID SET
 SHEET NAME: OVERALL IRRIGATION PLAN-SOUTH IMPROVEMENTS
 SHEET NUMBER: LI200

E1 OVERALL IRRIGATION PLAN-SOUTH IMPROVEMENTS

Modified Date: 07/25/2024, Juan Diego HS Performing Arts Center
 11/17/2023 2:18:59 PM

**EXHIBIT H
LIGHTING PLAN**

Guide Bollard

NEW LIGHTED BOLLARD 'OBL'

landscape forms



Guide is an illuminated bollard for pedestrian wayfinding, and a element of the IS Collection created with design. Innovative fro. Its striking form consists of three cast aluminum panels of different heights surrounding a large optical element that houses LEDs arranged in vertical array. Light is emitted through the vertical slit between panels at 120 degree angles, illuminating the pathway area to the right and left of each bollard to create an overlapping pattern of light along the path. Unlit and removable versions are also available.

General Description

- Cast aluminum sub-structure with cast aluminum exterior panels
- Available with or without lighting
- Surface mounted
- Removable option available without lighting
- Ships fully assembled
- LEDs must be hardened when installed

Lighting Facts

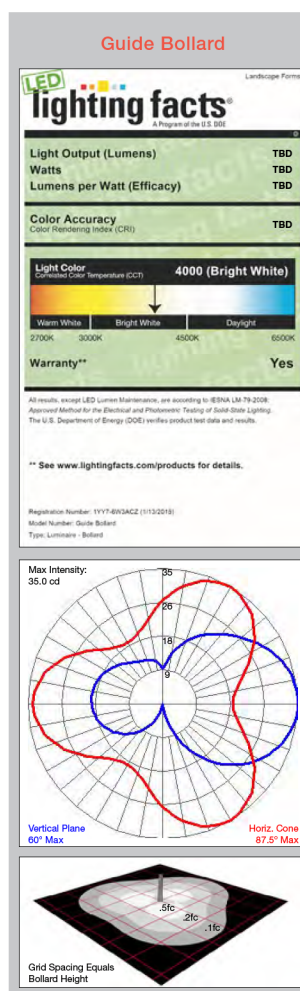
Landscape Forms is committed to the development of energy efficient lighting. We participate in the Department of Energy Lighting Facts label program. This activity is voluntary but helps consumers evaluate the multitude of products on the market today. The Lighting Facts label provides a quick but comprehensive summary of luminaire performance as measured by the IESNA LM-79 photometric test standard for solid state lighting.

Electrical

Burge protected 100V-277V 60Hz, Class 2 LED driver is standard. LED cartridges with weatherproof quick disconnect provide ease of serviceability. Internal wiring connections completed at the factory.

Guide Bollard

- Lamp: Nichia Linear LED
- CCT: 3000K, 3500K, 4000K
- Drive Current: 250mA
- Lens: (Optional Acrylic)
- Power Supply: 100V-277V
- LED Driver: 10W
- IP Rating: IP67 for LED Cartridges
- Weight: 30 lbs



Project	JDCHS	Catalog #	NEW WALLPACK 'OW2'	Type	OW2
Prepared by		Notes		Date	12/12/24



Lumark Axcent

Wall Mount Luminaire

Product Features

- DALI
- DMX
- 0-10V
- DALI
- DMX
- 0-10V

Product Certifications

- ENEC
- CE
- FCC
- RoHS
- UL
- IP66
- IP67
- IP68
- IP69K
- IP65
- IP64
- IP63
- IP62
- IP61
- IP60

Quick Facts

- Available in 14W - 116W (1,800 - 16,000 lumens) models
- 0-10V dimming and refractive lens models available
- Energy and maintenance savings up to 95% compared to HID
- Energy efficient illumination results in up to 144 LPW
- Replaces 70W up to 450W HID equivalents

Connected Systems

- WaveLux PRO Wireless
- WaveLux LITE Wireless
- Enlighted

Dimensional Details

Reflexive Lens Deep Back Housing



Dimensioned Data	AXC2 Small	AXC2 Large
A	4" (102mm)	6.1" (155mm)
B	7.1" (180mm)	10.4" (265mm)
C	3.4" (86mm)	4.1" (104mm)
D	4.1" (104mm)	7.1" (180mm)



PSL-4022N page 1
June 3, 2024 (14/17)



TWO EXISTING LED LIGHT POLES RELOCATED.

PER DRAPER CITY, SINCE POLES ARE ONLY MOVING A FEW FEET THIS DOES NOT INCREASE THE DEGREE OF NONCONFORMITY, THEREFORE THE MOVED POLES SHALL BE CONSIDERED "LEGAL NONCONFORMING"

NEW MONUMENT SIGN: LIT FROM ABOVE, FACING DOWNWARD, WITH NO GROUND MOUNTED LIGHTING. CONTROLLED VIA TIMECLOCK/RELAY.

SEPARATE SIGNAGE PERMIT WILL BE ISSUED IN A DIFFERENT PACKAGE.

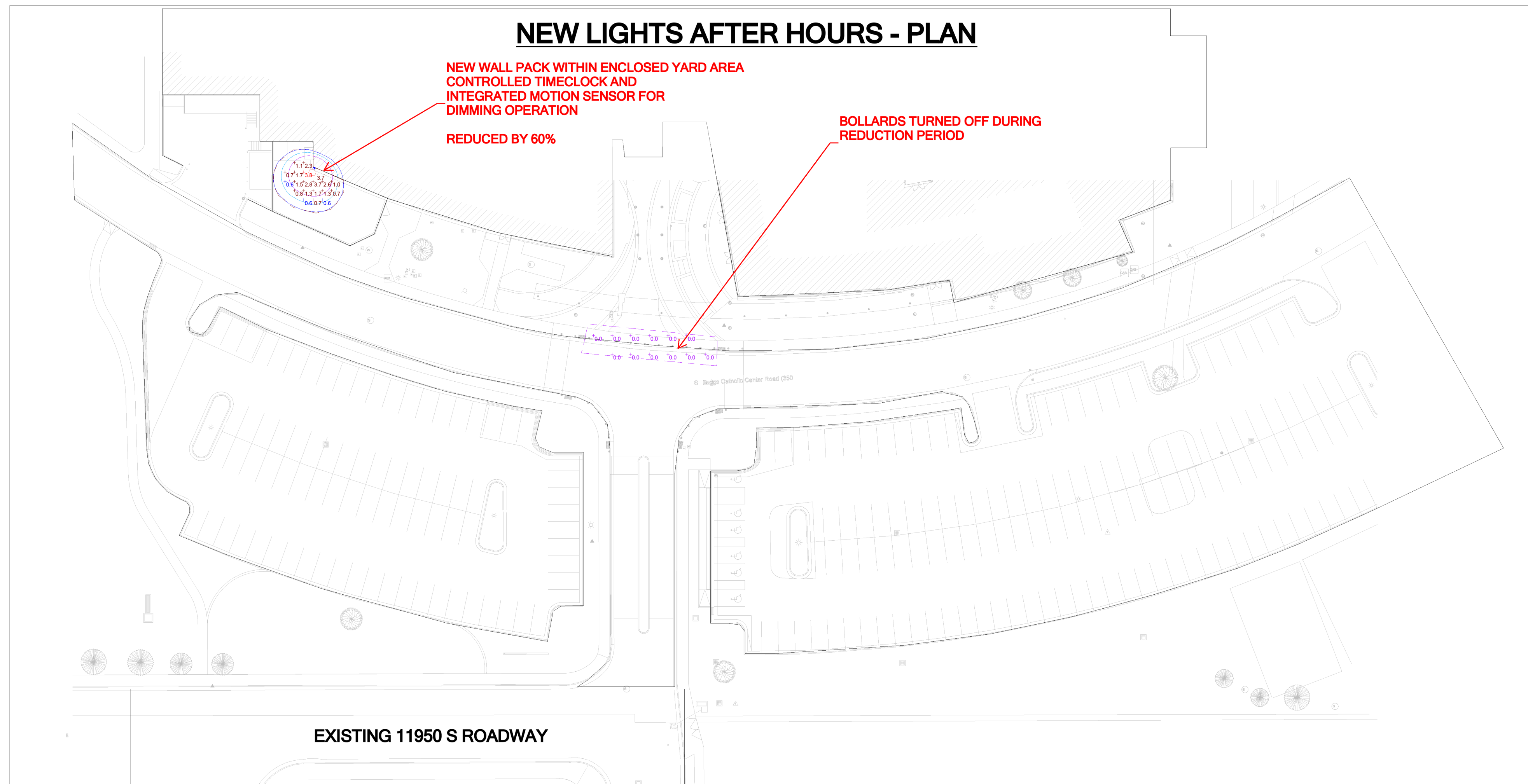
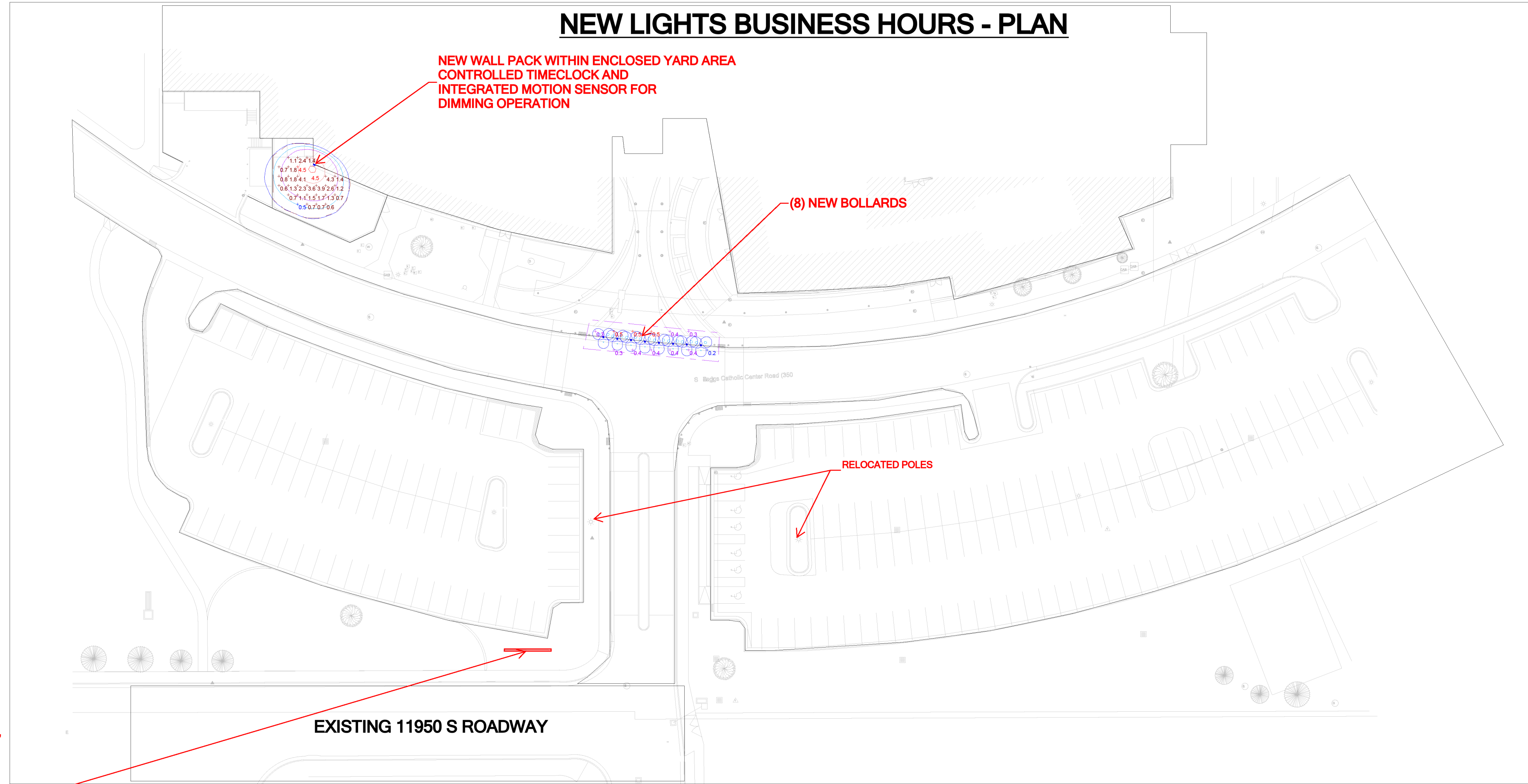
NEW LIGHTING LEVELS TO BE REVIEWED AT THAT TIME.



Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number	Lamp	Input	Polar Plot
OBL			1	LANDSCAPE FORMS	AE-SM-200-400	BOLLARD. SEE CUT SHEET ON PLAN.	1	262	8.887	
OW2			1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	AXXC3A	3A AXCENT SMALL LED WALLPACK WITH 4000K CCT AND 70 CRI LEDS	1	3536	26.8	Max: 35cd
OW2 H			1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	AXXC3A	3A AXCENT SMALL LED WALLPACK WITH 4000K CCT AND 70 CRI LEDS	1	3536	26.8	Max: 180cd Max: 180cd

BUSINESS HOURS						
Description	Symbol	Avg	Max	Min	Max/Min	
BOLLARDS (BUSINESS HOURS)	+	0.4 fc	0.5 fc	0.2 fc	1.25:1	
ENCLOSED YARD AREA (BUSINESS HOURS)	+	1.8 fc	4.5 fc	0.5 fc	2.5:1	

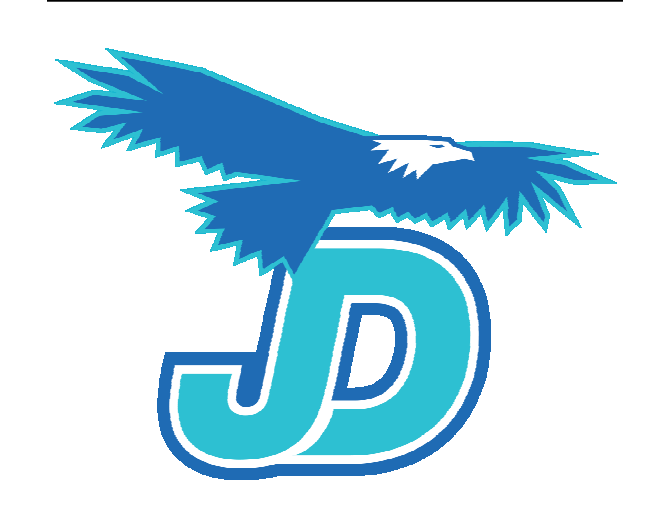
AFTER HOURS						
Description	Symbol	Avg	Max	Min	Max/Min	
BOLLARDS (AFTER HOURS)	+	0.0 fc	0.0 fc	0.0 fc	N/A	
ENCLOSED YARD AREA (AFTER HOURS)	+	1.6 fc	3.8 fc	0.6 fc	2.38:1	



JUAN DIEGO CATHOLIC HIGH INFRASTRUCTURE PACKAGE SITE PHOTOMETRICS

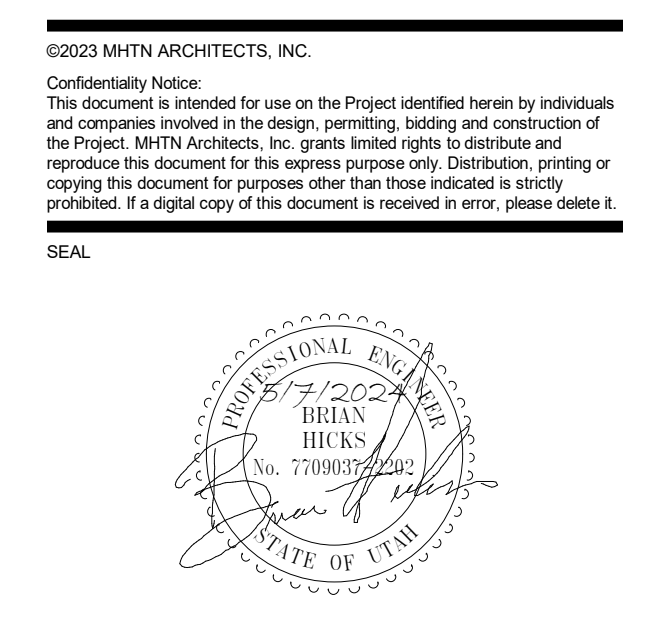
Designer
Date: 2/4/2025
Scale: Not to Scale
Drawing No.
Summary

1 of 1



JUAN DIEGO CATHOLIC HIGH PERFORMING ARTS & CLASSROOM ADDITION

300 E 11800 S
DRAPER, UT 84020



MHTN PROJECT NO. 2023568

Original Drawing is 36" x 42". Do not scale contents of this drawing.

REVISIONS:
CONTRACTOR TO VERIFY DRAWINGS IN FIELD USE REFLECT LAST REVISION DATE.

NO.	DATE	DESCRIPTION	PR.	DIVISION	PR.

ISSUE
BID SET
MAY 7, 2024

SHEET NAME
INFRASTRUCTURE SITE PHOTOMETRICS

SHEET NUMBER

E103