

The property is part of the original Vista Station Master Area Plan that was originally approved in 2013. The property is vacant and was sold by UDOT upon their completion of the 600 West interchange improvements. The site has been part of the TSD zone since 2010, and was zoned DC (Destination Commercial) before that.

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Transit Station District	Exhibit D
Current Zoning	TSD (Transit Station District)	Exhibit E
Proposed Use	Multi-Family Residential and Commercial	
Adjacent Zoning		
East	CSD-DPMU (Draper Point Mixed Use Commercial Special District)	
West	TSD	
North	TSD	
South	TSD	

The Transit Station District land use designation is characterized as follows:

Transit Station District

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Development within this land use category – often referred to as Transit Oriented Development – provides an alternative to standard, segregated zoning strategies • New development and zoning will be required to mix uses to support the ridership of transit and create unique walkable and bicycle friendly successful urban centers • Residential development densities and commercial floor area ratios within this district will be higher than those allowed in other parts of Draper City, and in some cases, significantly higher
LAND USE MIX	<ul style="list-style-type: none"> • Commercial • Residential • Public Uses • Office
DENSITY	<ul style="list-style-type: none"> • Density range: minimum 5-35 dwelling units per acre
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Transit Station District (TSD)
LOCATION	<ul style="list-style-type: none"> • Adjacent to and near fixed guideway rail systems operated by the Utah Transit Authority
OTHER CRITERIA	<ul style="list-style-type: none"> • In order to mitigate the concerns of higher density and development intensity, more stringent design guidelines, architectural requirements, landscaping quality, and public space amenities will be required to be incorporated into new zoning categories and specific development proposals



According to Draper City Municipal Code (DCMC) Section 9-14-010 the purpose of the TSD zone is to *"promote transit oriented and transit supportive development in areas that are generally located near a commuter rail transit or rapid transit station and to maximize the flexibility of the development approval process so as to permit such development in a manner that is responsive to market demands and consistent with the purposes and objectives of the TSD."* The TSD zoning designation is identified by the General Plan as a preferred zoning classification for the TSD land use designation.

Master Area Plan. Being assigned the TSD zoning classification, this property is subject to the terms of Chapter 9-14 of the DCMC. DCMC Section 9-14-060(B) of the chapter specifies that a Master Area Plan (MAP) must be submitted to the City, reviewed, and approved prior to the application for any development project within the TSD zone. DCMC Section 9-14-060(A) states that the intent of the MAP submission and approval is to *"provide an applicant of large or phased projects (MAP Area) with a mechanism to obtain the City's approval of a conceptual framework for such projects within the TSD. Public use spaces, proposed land uses, and specific design and development standards within the MAP Area shall be identified and a conceptual plan describing those elements of the MAP Area shall be part of the MAP. An approved MAP constitutes approval of a master plan that will guide future development within the MAP Area."* The original MAP for this area was adopted in June, 2017. An updated MAP with additional design standards was adopted by the City Council in March, 2018. On May 4, 2020, the Zoning Administrator approved a minor amendment of the MAP to revise architectural standards for non-residential buildings, such as the clubhouse. The TSD zone has three intensity levels or zones for proposed development. The subject property is located in Area 3 or the lowest intensity zone. An update to the MAP was approved by City Council in early 2022 and that request amended the MAP to remove an office building and add two residential buildings. The request also included the removal of all references to a hotel from the design standards. A subsequent amendment in late 2023 removed office uses from the site, add a hotel back to the development and to updated the design guidelines for the development.

Site Plan Layout. The proposed site plan shows the two residential buildings, three retail buildings and the hotel. There is one additional building pad on the site that is not part of this site plan application but will be developed at a future date under a separate site plan application (Exhibit F). The residential buildings that are part of this plan will be designed to look like the residential buildings that are currently built on the northern portion of the overall site. The retail buildings will be one story in height and a drive-thru will be provided for each building. All of the proposed retail buildings will have adequate queuing for each drive-thru lane. The proposed hotel will be four stories in height. The applicant intends to install the site infrastructure (utilities, access roads, etc.) all at once and then submit separate building permits for each of the buildings. Each of the proposed building locations and setbacks are compliant with the approved MAP.

Table 2 Site Plan Design Requirements

Standard	Master Area Plan or Design Guidelines Requirements	Proposal	Notes
Setbacks – Retail			
All property lines	5 feet	Minimum of 20 feet	
Setbacks – Hotel			
Right of way or exterior property line	10 feet	Minimum of 38 feet	
Setbacks – Residential			
Right of way or exterior property line	20 feet	Minimum of 40 feet	

Landscaping and Lot Coverage. The applicant has provided a landscape plan which complies with the standards of the TSD zone and the MAP (Exhibit G). The landscape plan shows defined entrances, landscape throughout the project and a variety of tree, shrubs and groundcovers. The site contains a total of 18,447 square feet of landscaping providing a total of approximately 28.4% for the site. The landscaping proposed includes both amenities and open space for the development. Amenities proposed include a seating area and barbeque area for residents to use. There are also two lawn areas available and a walking trail along the perimeter of the site. The multiple-family development to the north is also owned by the applicant and residents of this project can use those amenities including the clubhouse and dog wash station as part of their lease.

Table 3 Landscaping Design Requirements

Standard	Master Area Plan or Design Guidelines Requirements	Proposal	Notes
Overall Landscaping Coverage	20%	28.4%	
Parking Lot Landscaping	7%	7.3%	
Perimeter Landscaping	5 feet	Minimum 5 feet	
Amenities	Indoor and outdoor amenity for residential	Indoor clubhouse and outdoor firepit and barbeque area	Indoor clubhouse is shared with development to the north
TSD Public Use Space	15%	29.3%	



Parking. The applicant has provided a total of 418 parking stalls with a mixture of covered and uncovered parking as well as some garage parking for some residential units (Exhibit F). The adopted MAP encourages shared parking for different land uses such as retail, hospitality and residential. A cross access easement is provided from 600 West to the existing residential and hotel development located to the east of this project on the approved subdivision plat. Although there is excess parking provided for the residential component of the project, the excess parking is acceptable to staff as there is no maximum parking requirement in the TSD zone. The retail component meets the minimum standard but the proposed uses may generate additional traffic and the need for retail parking. Because a shared parking easement is also included on the subdivision plat parking is intended to be shared among uses for the proposed development and the existing residential units will remain in perpetuity.

Table 4 Parking Lot Design Requirements

Standard	Master Area Plan or Design Guidelines Requirements	Proposal	Notes
Parking Required			
Residential	1.68 spaces per dwelling unit or 118 spaces	167 spaces	
Retail	1.87 spaces per 1,000 net usable building area or 26 spaces	116 spaces	
Hotel	.75 stalls per room or 95 spaces	135 spaces	
Pedestrian Connections	Required between all access points and parking areas.	Sidewalks connect all buildings internally and to the public street	
Sidewalks	Minimum 5 feet	5 feet	

Architecture. The proposed multi-family buildings range from three to four stories (Exhibit H). The proposed retail buildings are all one story in height and the hotel is proposed with four stories. As noted, this site is located in Area 3 of the TSD zone and there no minimum or maximum height. The adopted MAP has design standards for all of the building types and the proposed project meets all of those guidelines. In addition, the minimum density for Area 3 of the TSD is five dwelling units per acre. The proposed project is approximately 28.01 dwelling units per acre and meets the minimum standards for the zone.

Table 5 Architectural Design Requirements

Standard	Master Area Plan or Design Guidelines Requirements	Proposal	Notes
Building Height			
Retail and Residential Buildings	No minimum required	Residential – up to 55’ Retail – up to 25 feet	
Hotel Building	Three story minimum	Four stories	
Building Orientation	No requirement for TSD-3 zone	N/A	
Materials			
Primary	More than one per side	Minimum of one per side and up to three per side.	
Percentage of Materials – Hotel Site Only			
All Sides	50% per side	Ranges from 85.9% to 98.24%	

Lighting. The adopted MAP contains minimum standards for lighting of which there are five standards which includes: foot candle readings, utilizing cutoff fixtures, residential lighting plans interior site lighting and bollards for pedestrian walkways. The applicant has provided a lighting and photometric plan (Exhibit I) which has foot candle readings between .5 to 4.0. There is no minimum for the number or height of light poles in the adopted MAP, but they are all 30 feet or less which would not exceed typical maximum DCMC standards for lighting. Low level bollard lighting has been provided for the internal pedestrian walkways.

Table 6 Lighting Design Requirements

Standard	Master Area Plan or Design Guidelines Requirements	Proposal	Notes
Parking Lot Lighting Levels	0.5 to 4 footcandles	0.5 to 4 footcandles	

Criteria For Approval. The criteria for review and potential approval of a Site Plan request are found in Sections 9-5-060(E) and (H) of the DCMC. This section depicts the standard of review for such requests as:

- E. *City Approval Criteria: Site plan and conditional use applications shall be reviewed for consistency with this chapter and an approved MAP, and upon a determination of such consistency, which determination shall not be unreasonably withheld or delayed, shall be*



approved pursuant to subsection B of this section. Notwithstanding the foregoing, any such approval may be conditioned upon the applicant's providing reasonable evidence to the city that such on site or off-site infrastructure improvements or facilities as the city reasonably determines are necessary to service the applicable portion of the MAP area have been installed or will be installed in connection with the development of the applicable portion of the MAP area.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan submission. Comments from the Division, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan submission. Comments from the Division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions has completed their review of the Site Plan submission. Comments from the Division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire has completed their review of the Site Plan submission. Comments from the Fire Marshal, if any, can be found in Exhibit A.

Geotechnical Review. Taylor Geo-Engineering, LLC, in working with the Draper City Building and Engineering Divisions, have completed their review of the geotechnical report submitted as a part of the Site Plan. Comments from Taylor Geo-Engineering, LLC, if any, can be found in Exhibit A.

Legal Review. The Draper City Attorney has completed their review of the Site Plan submission. Comments from the Division, if any, can be found in Exhibit A.

STAFF RECOMMENDATION

Staff recommends that the Zoning Administrator review the request and approve the site plan application based on the findings and conditions listed below and the criteria for approval as listed within the staff report.

If the Zoning Administrator approves the request, staff suggests that the following conditions be included:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.

2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That note 18 on sheet C301 is updated to indicate the correct location of the irrigation water connection to a service line and not a fire line.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development plans are consistent with DCMC Chapter 9-14 and the approved Master Area Plan.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Division

Draper City Building Division

Draper City Fire Department

Draper City Planning Division

Draper City Legal Counsel

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments.

Building Division Review.

1. No additional comments received.

Engineering and Public Works Divisions Review.

1. Updated Stormwater Maintenance Plan and Agreement for the new parcels and lot configuration are now required for every private storm drainage system, per DCMC 16-2-170. The updated agreement and any necessary updates to the maintenance plan are conditions of approval are required as part of the issuance of the Land Disturbance Permit for construction of the site.
2. For sites over five (5) acres, certified SWPPP is required. Contact Lucas Fowler, 801-576-6331, to verify compliance.
3. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance.
4. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division.
5. Draper City requires the engineer of record to provide the site as-built drawings, detention/retention basin(s) volume certification(s), and site grading and drainage certification letter after subdivision construction is complete.
6. Note 18 on sheet C301 indicates landscaping irrigation is to connect to the fire line. Update plan and indicate correct location of irrigation connection – on service line, not fire line.

Fire Division Review.

1. Engineers Water Supply Analysis: Design team will provide to the Draper City Fire Marshal an engineer's water supply analysis. The engineer's water supply analysis will identify the characteristics of the water supply for this area and will identify the existing and proposed water main size and location that will supply this site, and identify any dead-end pipe runs and the distance to the nearest circulating main. The engineer's water supply analysis will also identify the water supply capacity for fire flow and duration and reliability of the water supply system for this area. The design team will also identify the available fire flow at this site, measured at a residual pressure of 20 p.s.i. The engineer's water supply analysis will include all flow test data, including date and time of test, who conducted the test or supplied

information, test elevation, static gauge pressure at no flow, flow rate with residual gauge pressure, hydrant butt coefficient, and location of test in relation to the hydraulic reference point of service to this facility.

2. Fire Department Access is required. An unobstructed minimum road width of 26' feet exclusive of the shoulders and a minimum height of 13'6" inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of 28'. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.
 - a. D103.6.1 Roads 20 to 26 feet in width. Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20 to 26 feet wide.
 - (1) This section requires that parking be prohibited on both sides of narrower fire apparatus access roads. 20' is the appropriate width needed for two average-size fire trucks to pass one another. If that width is reduced by parking even on one side, it will be potentially difficult for a fire department to undertake emergency operations in that area.
 - b. D103.6.2 Roads more than 26' in width. Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26' wide and less than 32' wide.
 - (2) Because this width is more than sufficient for maneuvering at least two fire department vehicles by one another, parking would be allowed on one side.
3. IFC SECTION 3310 ACCESS FOR FIRE FIGHTING DURING CONSTRUCTION
 - a. 3310.1.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100' of temporary or permanent fire department connections. Either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions, shall provide vehicle access. Vehicle access shall be maintained until permanent fire apparatus access roads are available.
 - (1) Until permanent fire apparatus access roads are constructed, fire-fighting vehicle access is the means by which fire fighters gain access to the construction or demolition site and building for fire suppression and rescue operations. Such access is an integral component of the fire prevention program. The site superintendent or other person responsible for construction and demolition operations is responsible for maintaining and policing fire-fighter access routes, as provided in Section 3308. Fire apparatus must be able to get within 100' of any installed fire department connection supplying water to temporary or permanent fire protection systems. Access roads must support the

weight of the heaviest vehicle that might respond. The weight requirements are available from the local fire department. All-weather surfaces are required because the responding fire department should not waste time moving snow or trying to get out of mud

4. Fire Hydrants are required. Hydrants are required for this project. They shall be, protected with bollards if susceptible to vehicle damage. Fire Flow for each of the buildings shall be a minimum of 4,000 GPM @ 20 p.s.i. residual pressure, and this will require a minimum of four fire hydrants for each building within this project to deliver the calculated fire flow. With a full NFPA 13 fire sprinkler system the fire flow could be reduced by 50 percent which would be 2000gpm @ 20 p.s.i. residual pressure which would allow a reduction of hydrants to require a minimum of two hydrants per building spaced at 350' spacing. The hydrants shown on the plans will need to be, adjusted to meet this requirement.
5. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
6. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
7. Fire Sprinklers Required. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level III or better in Auto Sprinkler Layout. There needs to be a hydrant within 100' of the FDC. The FDC is required to have KNOX Locking Caps. ALL FIRE PROTECTION PLANS REQUIRE THIRD PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT. *This requirement will apply to the hotel, Bldg. D (Apts) and based on what is appearing to be perceived as a very busy area with food establishments and traffic flow would like to see Bldgs. A, B and C fire sprinklered as well.*
8. Fire Department Connection (FDC): The FDC is required as part of a water-based suppression system as the auxiliary water supply. The FDC will give the Fire Department the capability to supply additional pressure necessary to the automatic fire sprinkler system and the standpipe system. The FDC will be located at the entrance to the building and will be within 100' of the fire hydrant. The FDC will be located to ensure connected hoses which supply the system will not obstruct access to the buildings for other fire apparatus. The final location of FDC will be approved by the Fire Marshal.
9. Standpipes May Be Required. These buildings will be required to have standpipes. This standpipe will be required to be pressure tested and a Contractor Certificate of Completion will be required to be filled out.

10. Fire Alarm Required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level III or better in Fire Alarm Systems. ALL FIRE ALARM PLANS REQUIRE THIRD PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
11. Emergency Responder Radio Coverage Required. Emergency responder radio coverage shall be at a minimum tested to show it is not required per IFC Section 510.
12. Two-way communication at the Elevator Landings will be Required. As per 2021 IFC.
13. Knox Boxes Required. Fire Department "Knox Brand" lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room at a height of 5' to the top of the box. Lock box purchase can be arranged by the General Contractor.
14. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75' of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five feet above the floor.
15. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.
16. Plan approval or review shall not, be construed to relieve from or lessen the responsibility of any person designing, owning, operating or controlling any building. Damages to persons or property caused by defects, fire, improper installation, or other emergency conditions that occur in or on the building property shall not hold the Draper City Fire Department as assuming any liability.

Geologic Review.

1. On page 5 of the February 2, 2024, GSH report (Section 3.3.5 Consolidation Tests), GSH states, "To provide data necessary for our settlement analysis, consolidation testing was performed on a representative sample of the fine-grained clay fill soils encountered at the site. The results of these tests indicate that the samples tested were moderately over- consolidated and will exhibit moderate strength and compressibility characteristics under the anticipated loading. Detailed results of the tests are maintained within our files and can be transmitted to you, upon your request."
 - a. TG recommends the City request that GSH provide the results of the consolidation tests completed by GSH for the February 2, 2024, GSH report.
2. TG recommends the City request GSH to indicate which recommendations in the December 18, 2017, GSH document and accompanying response letter remain valid.
3. In the February 2, 2024, GSH report, GSH footnotes the seismic loading as follows:

- a. If a measured site class in accordance with IBC 2021/ASCE 7-16 is beneficial based on the project structural engineer's review, please contact GSH for additional options for obtaining this measured site class.
 - b. IBC 2021/ASCE 7-16 may require a site-specific study based on the project structural engineer's evaluation and recommendations. If needed, GSH can provide additional information and analysis including a complete site-specific study.
4. TG recommends the City request that GSH contact the structural engineer and indicate if a site-specific seismic ground motion analysis is required for the proposed structures as directed by the project structural engineer. The response should be accompanied by a copy of correspondence from the project structural engineer regarding the building period and if a site-specific seismic study is required. If required, provide a site-specific ground motion analysis.

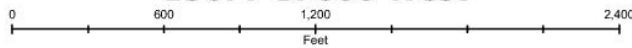
Legal Review.

1. No additional comments provided.

**EXHIBIT B
VICINITY MAP**



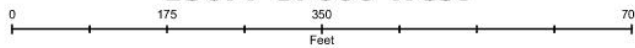
**Vista 600 Phase 2 Site Plan
13677 S. 600 West**



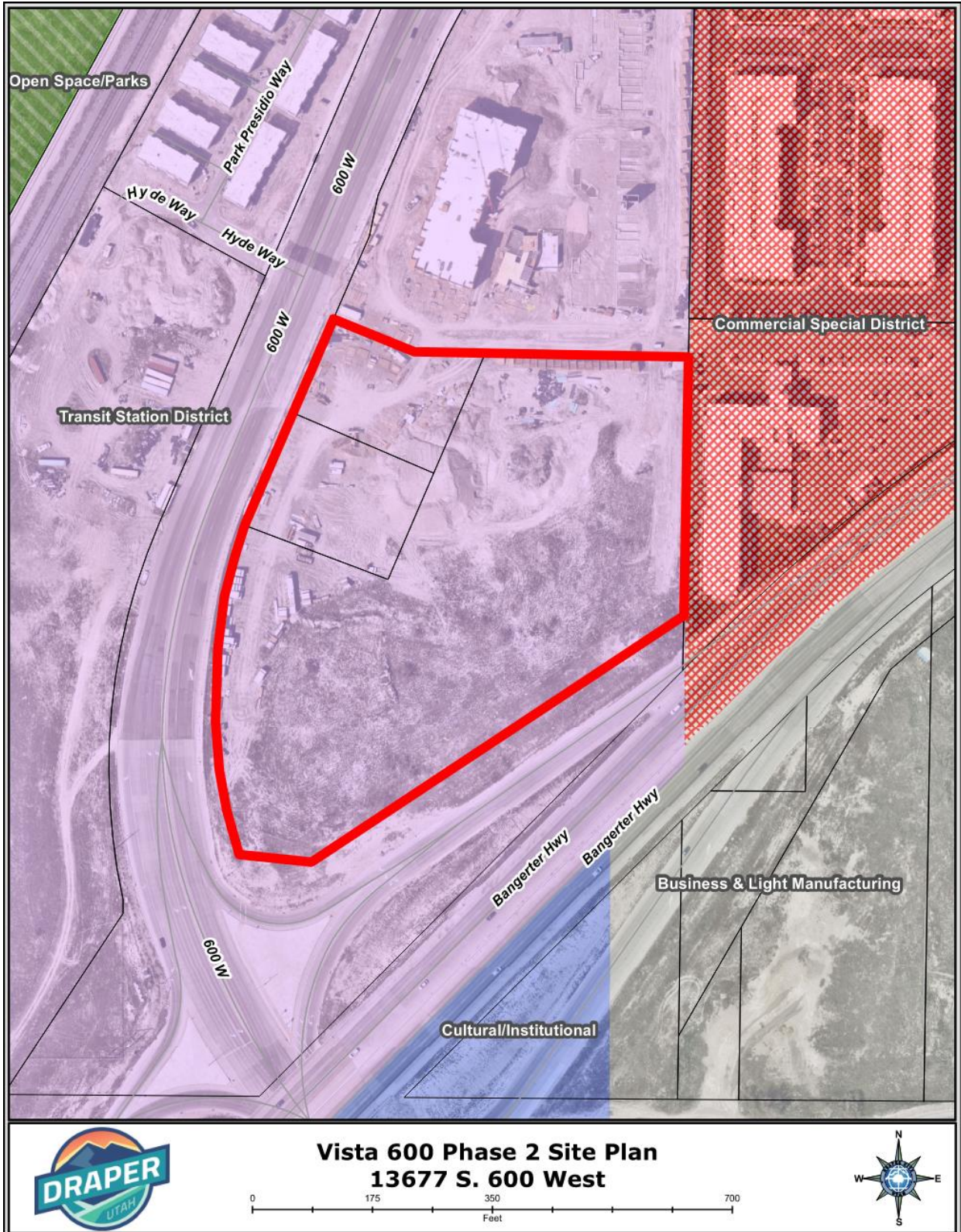
**EXHIBIT C
AERIAL MAP**



**Vista 600 Phase 2 Site Plan
13677 S. 600 West**



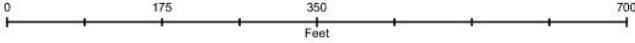
**EXHIBIT D
LAND USE MAP**



**EXHIBIT E
ZONING MAP**



**Vista 600 Phase 2 Site Plan
13677 S. 600 West**

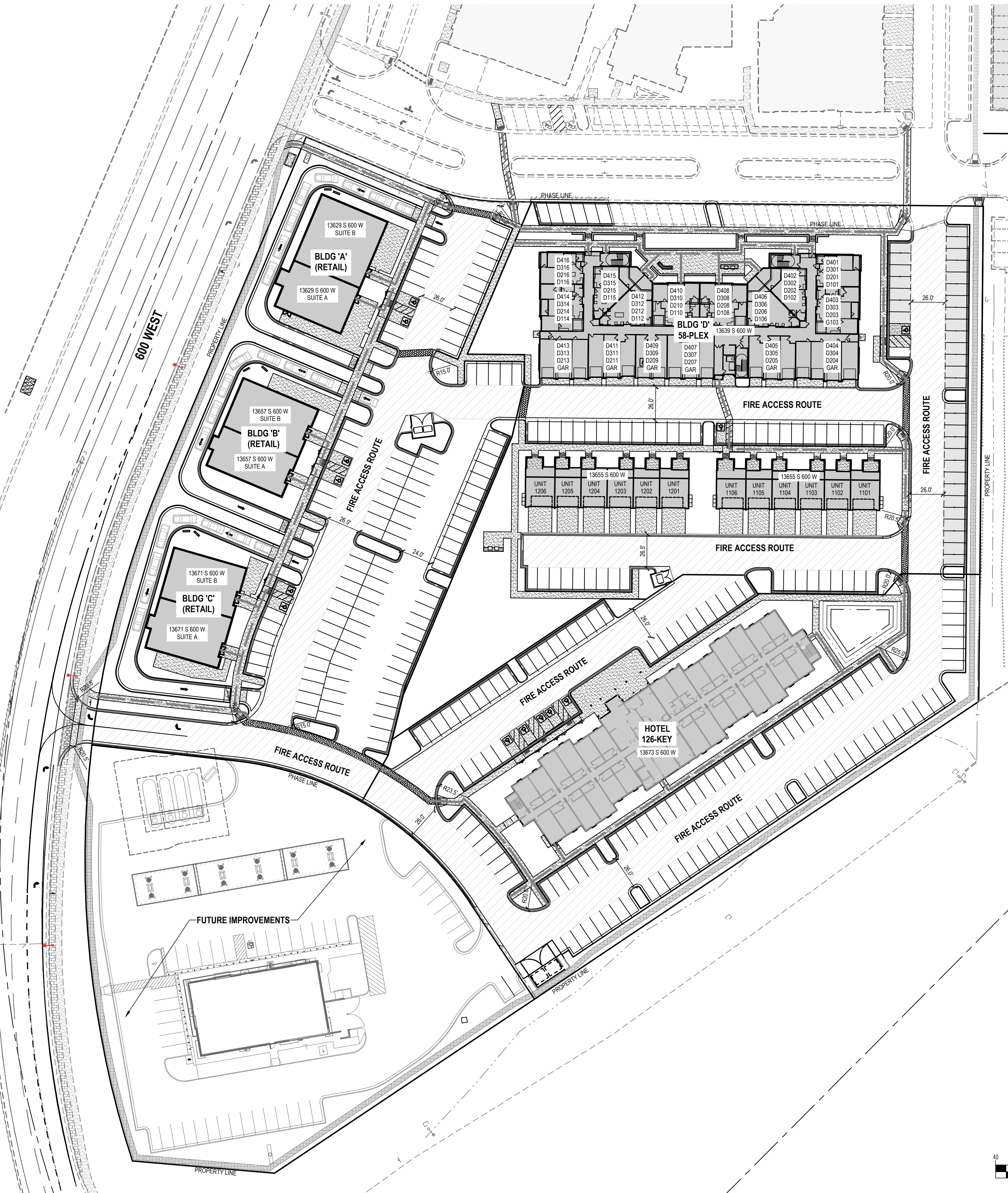


**EXHIBIT F
SITE PLAN**

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
NORTHWEST QUARTER CORNER OF SECTION
01, TOWNSHIP 4 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4364.92'



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SITE TABLE		
TOTAL ACREAGE	6.98 AC	
OPEN SPACE	1.32 AC	18.9%
PUBLIC USE SPACE	0.724 AC	10.4%
IMPERVIOUS SPACE	4.34 AC	62.2%
BUILDING AREA	1.32 AC	18.9%
TOTAL UNITS	196	
DENSITY	28.01 UNITS/AC	
ROW AREA	0	

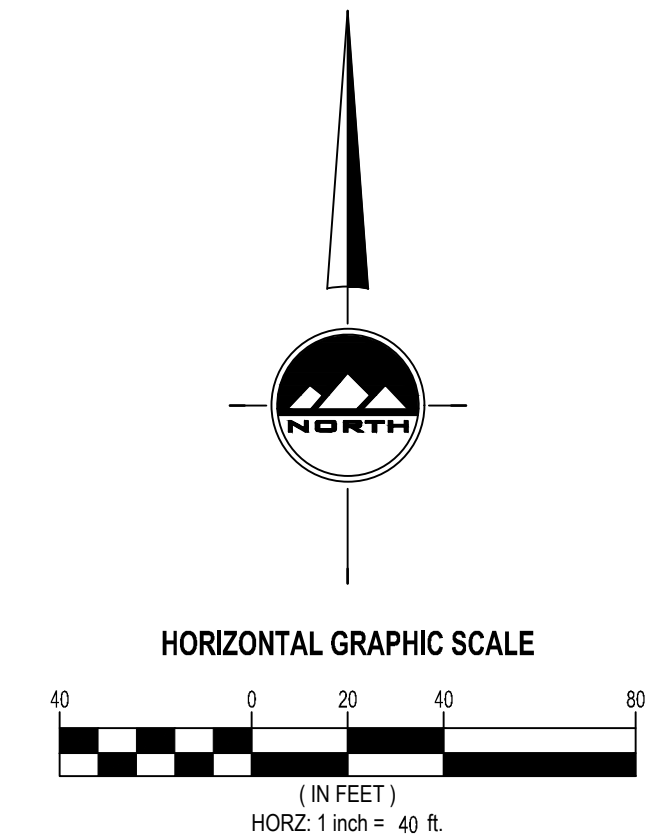
RETAIL		
BUILDING FOOTPRINT AREAS		
BUILDING A	5,018 SF	
BUILDING B	4,370 SF	
BUILDING C	4,409 SF	
PARKING CALCULATIONS	REQ.	PRO.
SURFACE PARKING	26	116
ADA (TOTAL)	2	6
TOTAL PARKING	26*	116

RESIDENTIAL		
TOTAL APT UNITS	58	
TOTAL TOWNHOME UNITS	12	
BUILDING FOOTPRINT AREAS		
BUILDING D	21,029 SF	
TOWNHOMES	7,388 SF	
PARKING CALCULATIONS	REQ.	PRO.
SURFACE PARKING		47
COVERED PARKING		36
DRIVEWAY PARKING	118	24
GARAGE		60
ADA (TOTAL)	3	3
TOTAL PARKING	118†	167

HOTEL		
TOTAL UNITS	126	
BUILDING FOOTPRINT AREAS		
HOTEL	15,161 SF	
PARKING CALCULATIONS	REQ.	PRO.
SURFACE PARKING	95	135
ADA	4	5
TOTAL PARKING	95‡	135

SITE LANDSCAPED PARKING AREA		
COMMERCIAL PARKING AREA	108377 SF	
REQ. LANDSCAPED AREA	7586 SF	7.0%
PRO. LANDSCAPED AREA	7960 SF	7.3%
MULTIFAMILY PARKING AREA	49708 SF	
REQ. LANDSCAPED AREA	4971 SF	10.0%
PRO. LANDSCAPED AREA	10487 SF	21.1%

* RETAIL STALLS REQUIRED = 1.87 STALLS * (13,797 SQ FT / 1,000 SQ FT NET USABLE BUILDING AREA)
 † RESIDENTIAL STALLS REQUIRED = 1.68 STALLS PER UNIT * (70 UNITS)
 ‡ HOTEL STALLS REQUIRED = 0.75 STALLS PER ROOM * (126 ROOMS)



LINETYPE LEGEND	
---	AR = ADA ACCESSIBLE ROUTE

ENSIGN
THE STANDARD IN ENGINEERING

SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

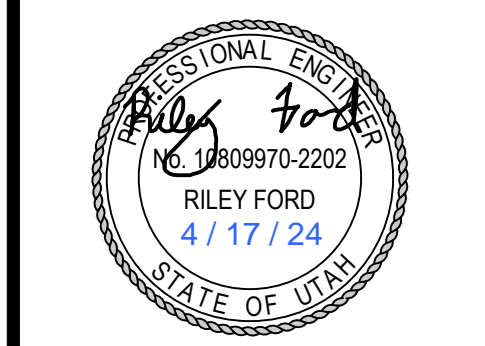
RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
WASATCH RESIDENTIAL GROUP
620 SOUTH STATE STREET
SALT LAKE CITY, UTAH 84111

CONTACT:
ERIC WINTERS
PHONE: 385.375.1324

**VISTA 600 WEST
PHASE 2
13677 SOUTH 600 WEST
DRAPER, UTAH**



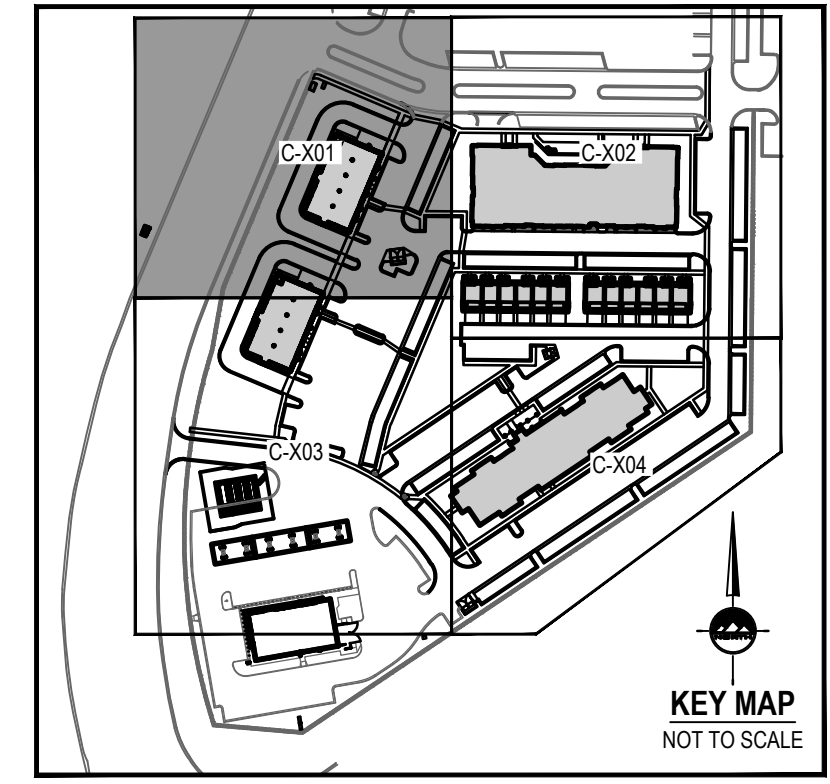
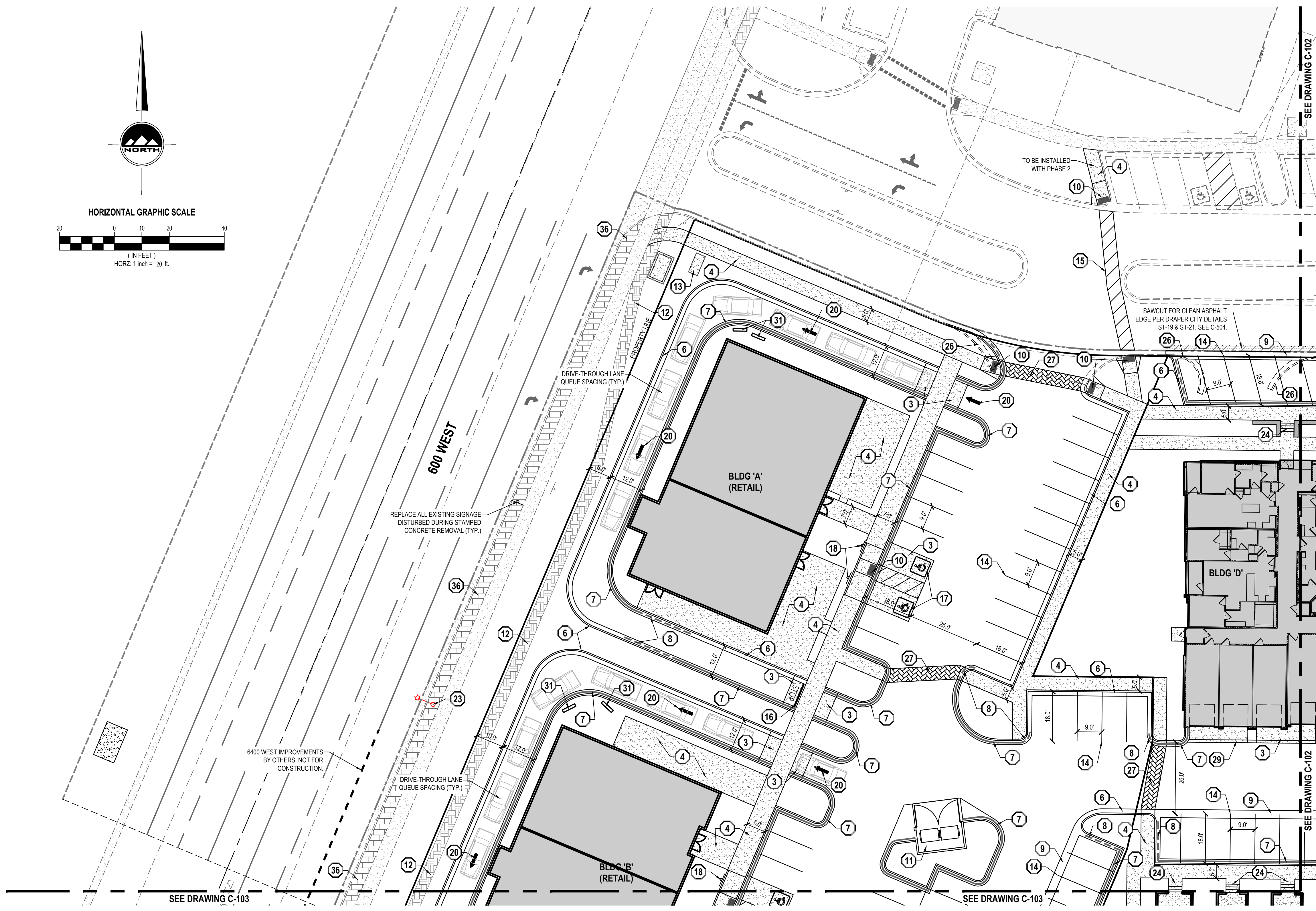
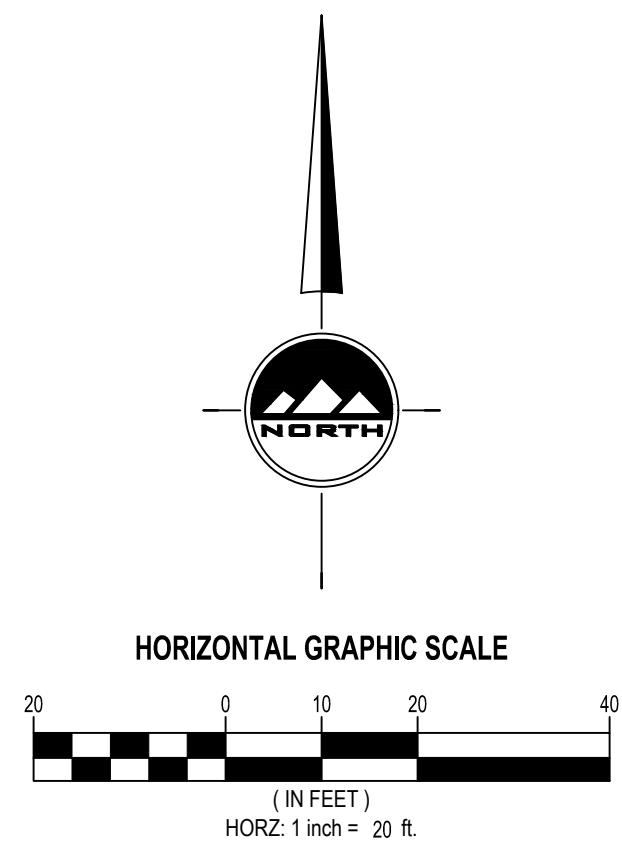
OVERALL SITE PLAN

PROJECT NUMBER: 7928B
PRINT DATE: 4/18/24
PROJECT MANAGER: RWF
DESIGNED BY: RWF

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
NORTHWEST QUARTER CORNER OF SECTION
01, TOWNSHIP 4 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4364.92'



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SCOPE OF WORK:

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1. ASPHALT PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 1/C-500.
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 3. CONCRETE PAVEMENT PER GEOTECHNICAL REPORT AND DETAIL 3/C-500.
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 5. 6" TYPE 1" CURB WALL PER APWA STANDARD PLAN NO. 209.
 6. 24" COLLECTION CURB AND GUTTER PER DETAIL 4/C-500.
 7. 24" REVERSE PAN CURB AND GUTTER PER DETAIL 5/C-500.
 8. TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
 9. 3" WATERWAY PER DETAIL 7/C-500.
 10. HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
 11. TRASH ENCLOSURE PER ARCHITECTURAL PLANS WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE AND DETAIL 8-9/C-500.
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 13. CONCRETE PAD FOR ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 14. 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
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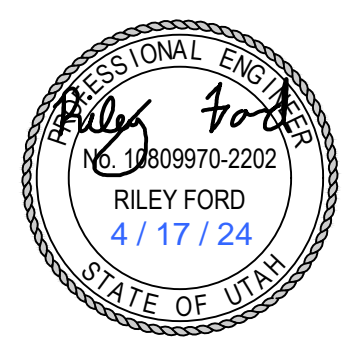
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FOR:
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620 SOUTH STATE STREET
SALT LAKE CITY, UTAH 84111

CONTACT:
ERIC WINTERS
PHONE: 385.375.1324

**VISTA 600 WEST
PHASE 2
13677 SOUTH 600 WEST
DRAPER, UTAH**



SITE PLAN

PROJECT NUMBER: 7928B
PROJECT MANAGER: RWF
PRINT DATE: 4/17/24
DESIGNED BY:

C-101

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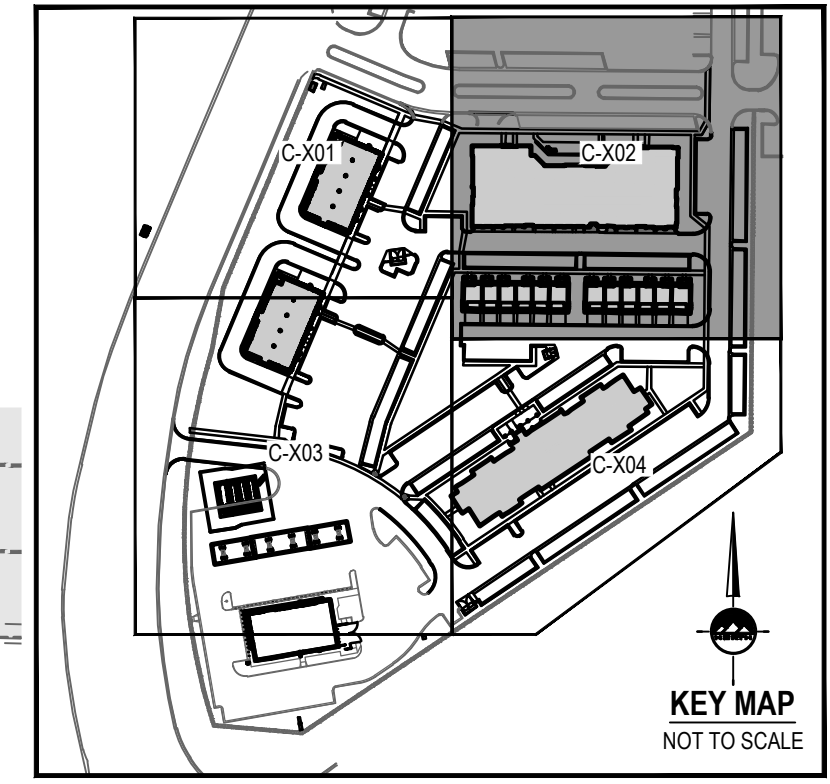
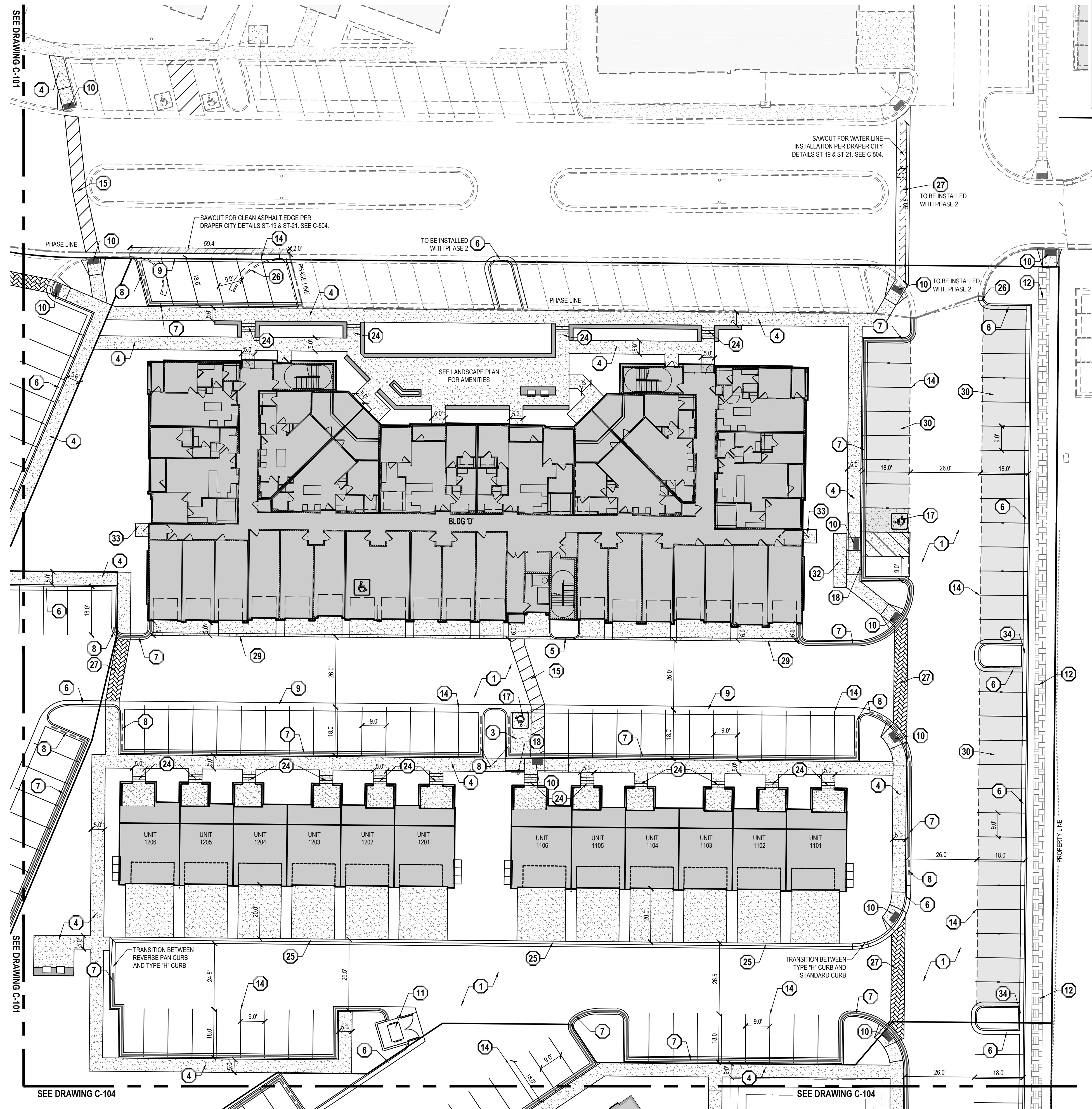
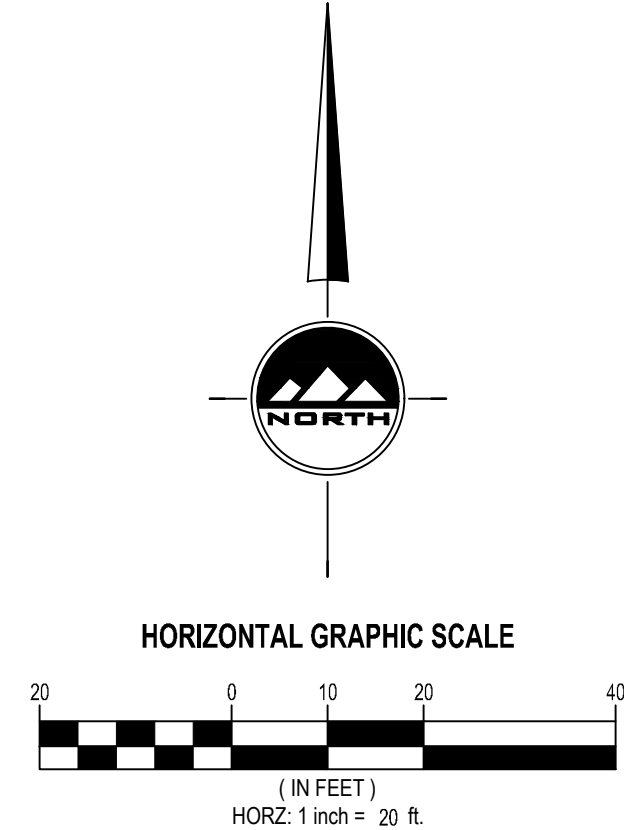
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NORTHWEST QUARTER CORNER OF SECTION
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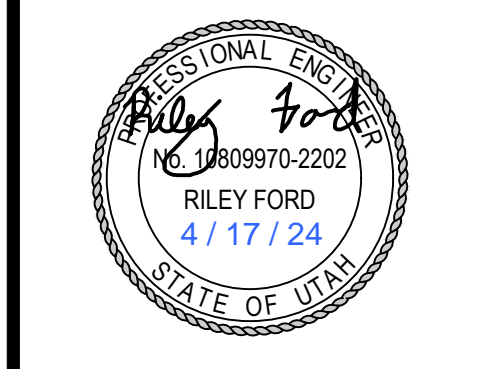
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FOR:
WASATCH RESIDENTIAL GROUP
620 SOUTH STATE STREET
SALT LAKE CITY, UTAH 84111

CONTACT:
ERIC WINTERS
PHONE: 385.375.1324

**VISTA 600 WEST
PHASE 2
13677 SOUTH 600 WEST
DRAPER, UTAH**



SITE PLAN

PROJECT NUMBER: 7928B PRINT DATE: 4/18/24
PROJECT MANAGER: RWF DESIGNED BY: RWF

C-102

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BENCHMARK
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SALT LAKE BASE AND MERIDIAN
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SEE DRAWING C-101

SEE DRAWING C-101

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600 WEST IMPROVEMENTS BY OTHERS. NOT FOR CONSTRUCTION.

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(TO BE INSTALLED W/ CURRENT PHASE)

END OF TRAIL IMPROVEMENTS

FUTURE TRAIL IMPROVEMENTS

FUTURE IMPROVEMENTS

DRIVE-THROUGH LANE QUEUE SPACING (TYP.)

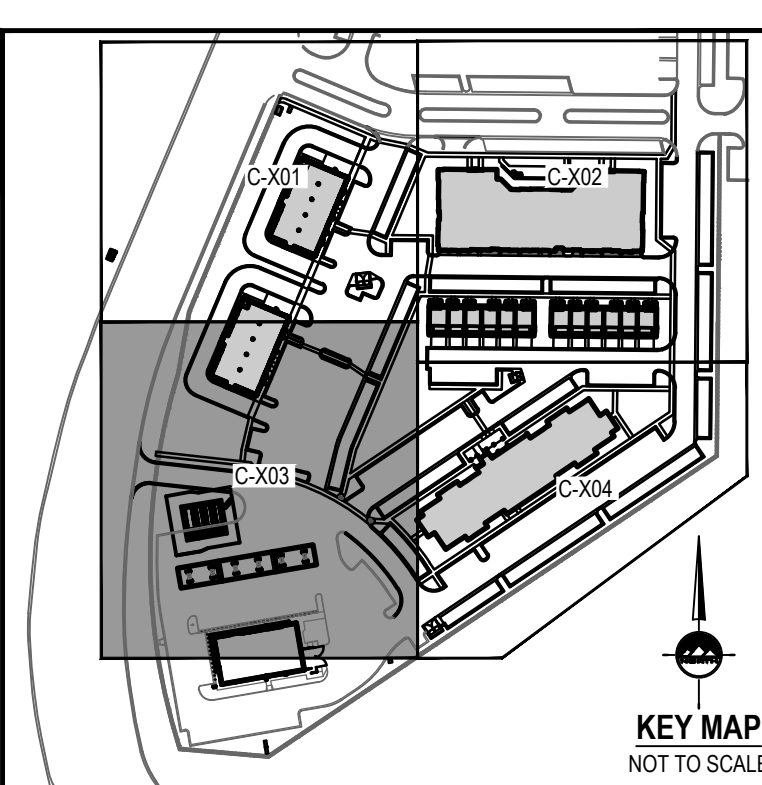
PROPERTY LINE

PHASE LINE

SEE DRAWING C-104

SEE DRAWING C-104

SEE DRAWING C-104



KEY MAP NOT TO SCALE

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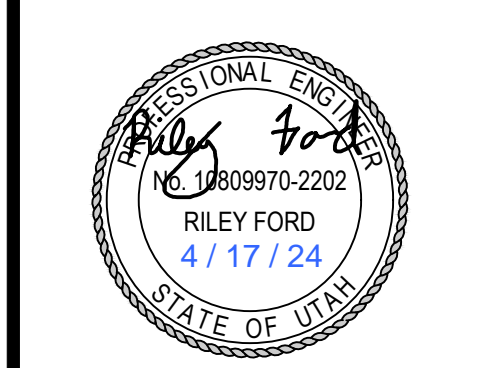
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PHONE: 385.375.1324

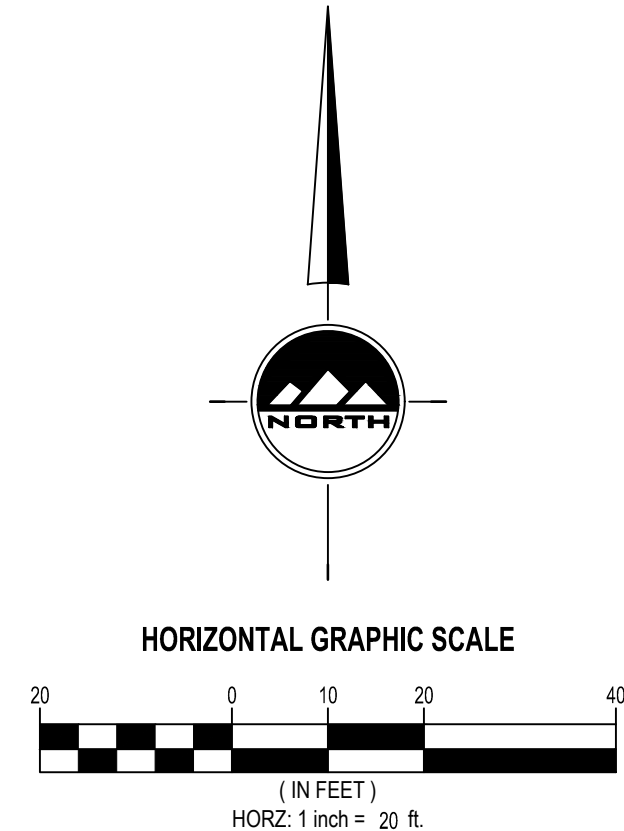
**VISTA 600 WEST
PHASE 2
13677 SOUTH 600 WEST
DRAPER, UTAH**



SITE PLAN

PROJECT NUMBER: 79286
PRINT DATE: 4/17/24
PROJECT MANAGER: RWF
DESIGNED BY: RWF

C-103



811

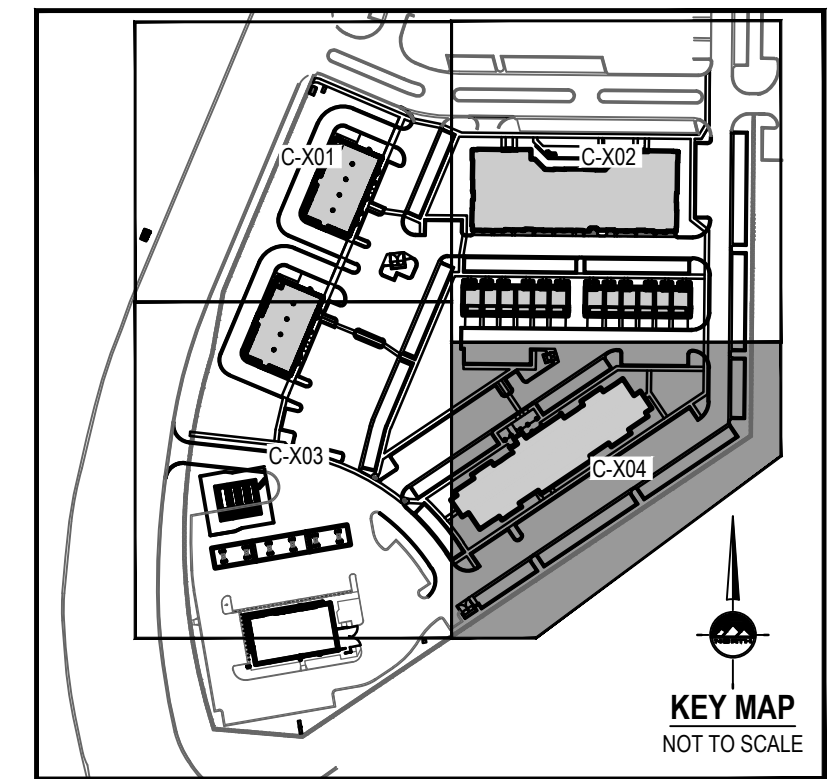
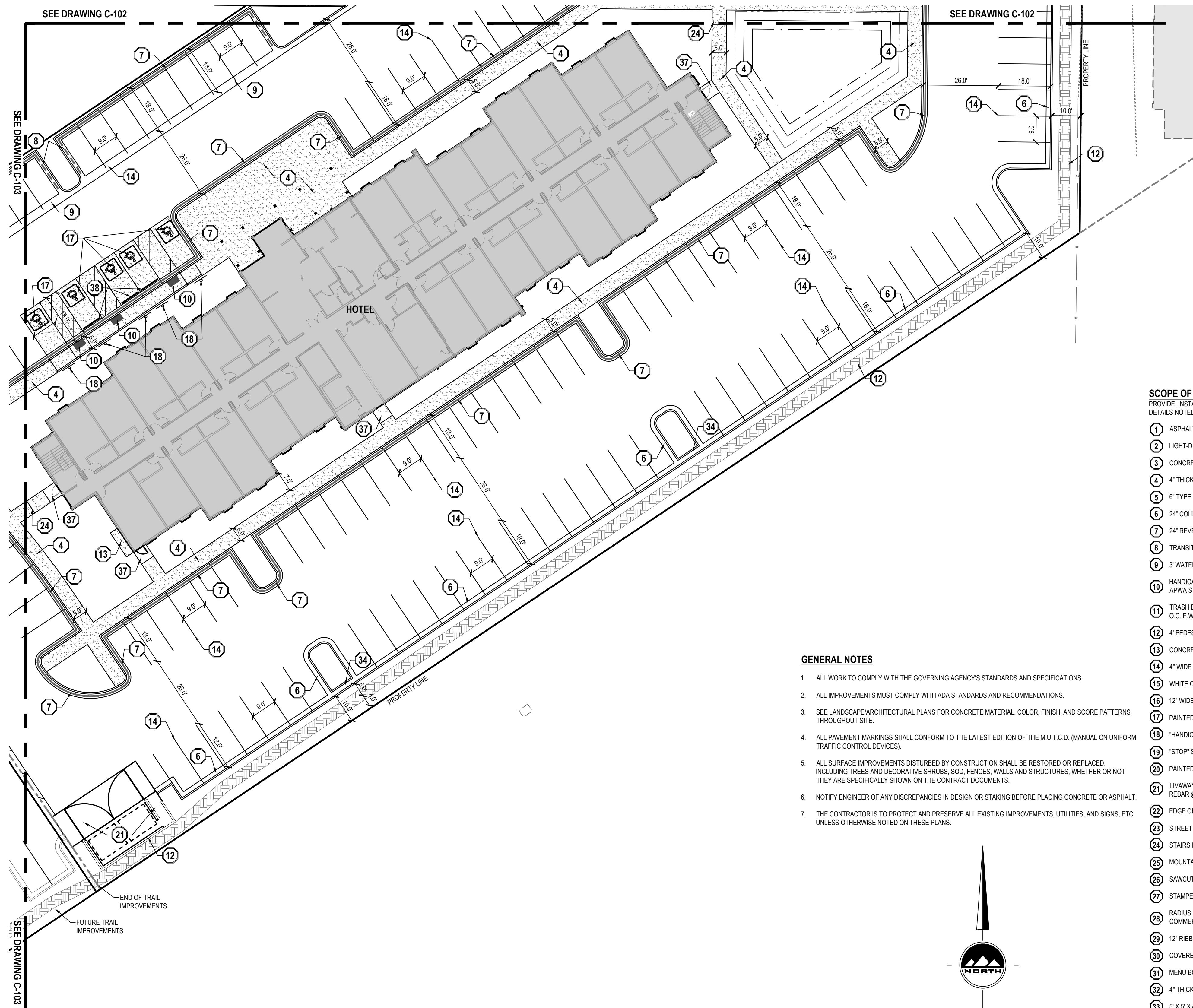
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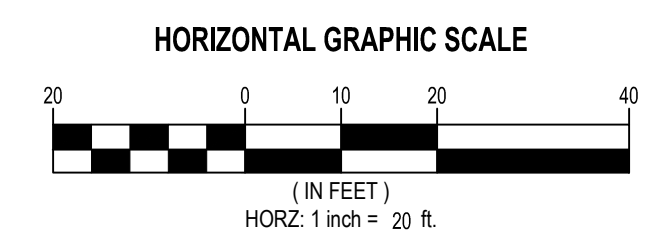
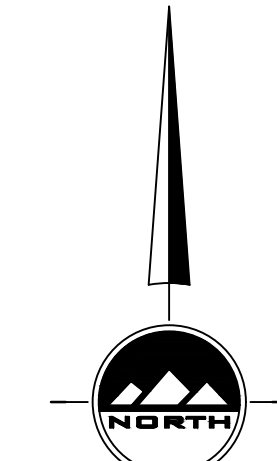
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- 12 4" PEDESTRIAN TRAIL. SEE LANDSCAPE PLANS FOR MATERIALS AND FINISH.
- 13 CONCRETE PAD FOR ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 14 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- 15 WHITE CROSSWALK MARKING PER M.U.T.C.D. STANDARD PLANS.
- 16 12" WIDE SOLID WHITE STOP BAR PER M.U.T.C.D. STANDARD PLANS.
- 17 PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- 18 "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 19 "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 20 PAINTED LANE-USE ARROWS PER M.U.T.C.D. STANDARD PLANS.
- 21 LINENWAY TRASH ENCLOSURE PER HOTEL ARCHITECTURAL PLANS WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE.
- 22 EDGE OF ASPHALT.
- 23 STREET LIGHT PER DRAPER CITY STANDARD DETAIL LP-01.
- 24 STAIRS IN SIDEWALK. SEE GRADING PLAN FOR ELEVATION INFORMATION AND DETAILS 1-5/C-504.
- 25 MOUNTABLE TYPE "H" CURB PER APWA STANDARD PLAN NO. 205.2.
- 26 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- 27 STAMPED ASPHALT. PATTERN AND FINISH PER OWNER.
- 28 RADIUS DRIVE APPROACH PER DRAPER CITY DETAIL ST-09. SIDEWALK MUST BE THICKENED FOR COMMERCIAL APPROACH PER DRAPER CITY DETAIL ST-09.
- 29 12" RIBBON CURB PER DETAIL 6/C-500.
- 30 COVERED PARKING STALLS PER DETAIL 1/C-501.
- 31 MENU BOARD. TO BE DESIGNED BY OTHERS.
- 32 4" THICK CONCRETE PAD FOR MAIL KIOSKS.
- 33 5' X 5' X 4" THICK CONCRETE LANDING FOR ACCESS DOOR.
- 34 ISLAND CURB-CUT PER DETAIL 2/C-501.
- 35 CHEEK WALL. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- 36 REMOVE AND PROPERLY DISPOSE OF EXISTING STAMPED CONCRETE. SEE LANDSCAPING PLANS FOR PLANTING DESIGN.
- 37 CONCRETE STOOP PER ARCHITECTURAL PLANS.
- 38 CONCRETE WHEEL STOP PER DETAIL 4/C-501.



SITE PLAN

PROJECT NUMBER: 7928B
PRINT DATE: 4/17/24
PROJECT MANAGER: RWF
DESIGNED BY: RWF

C-104

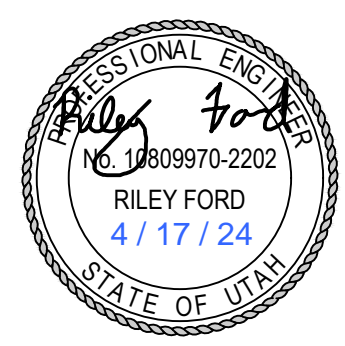
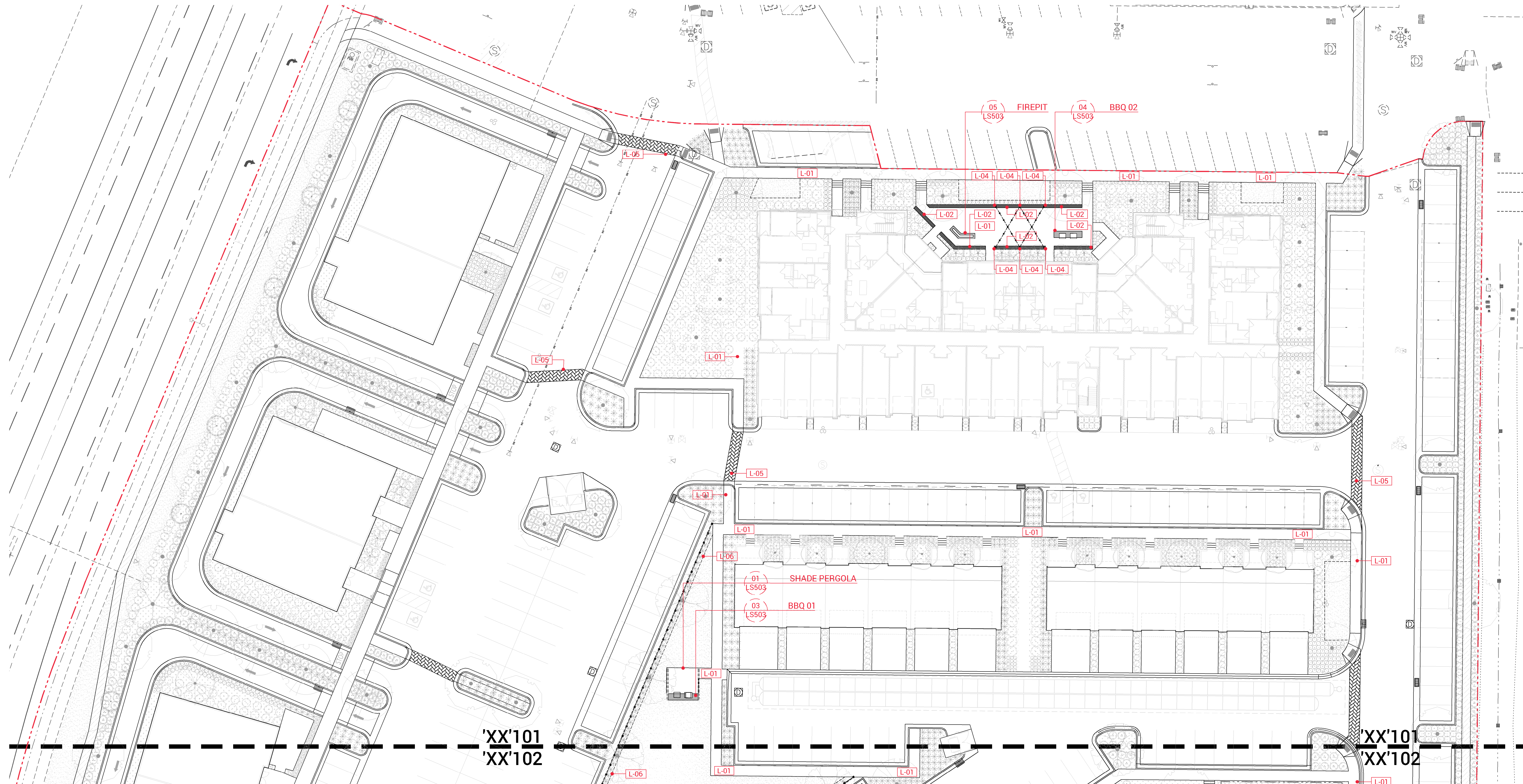


EXHIBIT G
LANDSCAPE PLAN

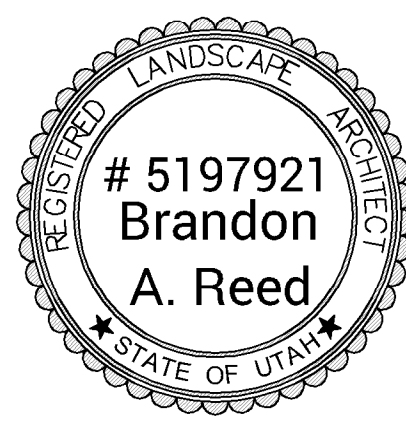
REFERENCE NOTES SCHEDULE

SYMBOL	SITE LAYOUT DESCRIPTION	QTY	DETAIL
L-01	WALKWAY CONCRETE - BOMANITE ALLOY - COLOR: EX-SSA-100112-15 - OR APPROVED EQUAL	1/LS501	
L-02	SEATWALLS: PLAIN GREY CONCRETE - BOARDFORM FINISH - SEE BOARFORM FINISH NOTES	2/LS501	
L-04	BISTRO LIGHT POST - FINISH: POWDERCOATED - COLOR: STEEL GRAY TEXTURE (C292-GR494) PER CARDINAL OR APPROVED EQUAL		
L-05	STAMPED ASPHALT - COLOR: LIGHT GREY - PATTERN: HERRINGBONE - PER CONTRACTOR		
L-06	1/4 THICK STEEL EDGING		



DESIGNING OUTDOOR LIVING EXPERIENCES.
A: 9500 S. 500 W. STE. 215
SANDY UT 84070
P: 801.878.4717
W: LOFTSIXFOUR.COM

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VISTA 11 SOUTH
 600 WEST /
 DRAPER / UT

DATE // 01.10.24
 PROJECT NO. // 2321
 DRAWN BY // RAL
 CHECKED BY // NKJ

REVISIONS	DATE	DESCRIPTION

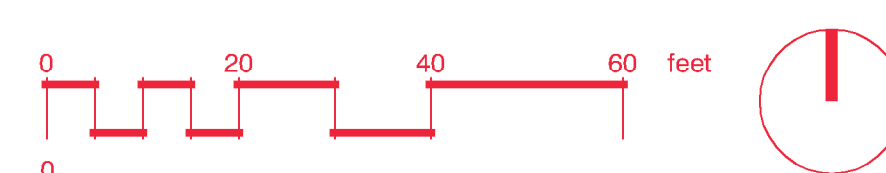
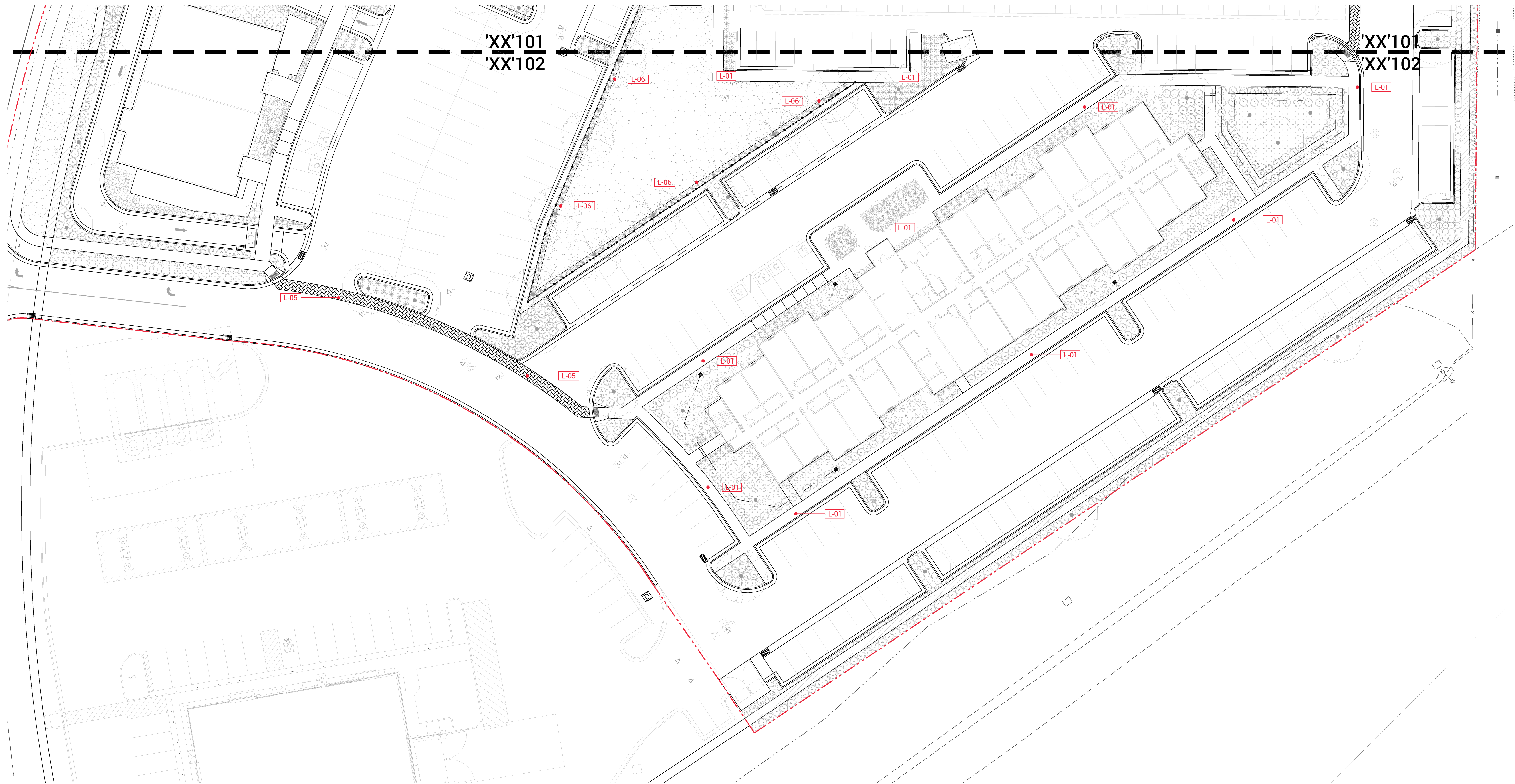
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TITLE // SITE LAYOUT PLAN

SHEET // **LS101**

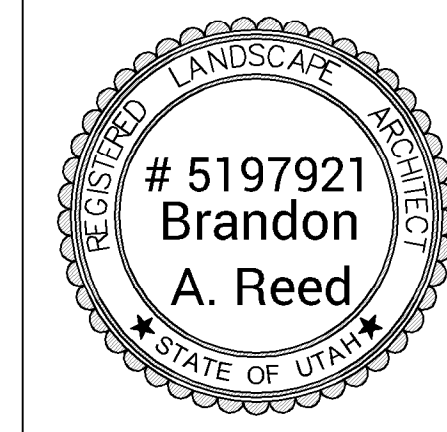
REFERENCE NOTES SCHEDULE

SYMBOL	SITE LAYOUT DESCRIPTION	QTY	DETAIL
L-01	WALKWAY CONCRETE - BOMANITE ALLOY - COLOR: EX-SSA-100112-15 - OR APPROVED EQUAL	1/LS501	
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VISTA 11 SOUTH
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DATE // 01.10.24
 PROJECT NO. // 2321
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TITLE // **SITE LAYOUT PLAN**

SHEET // **LS101**

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY
TREES				
	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER	2" CAL.	B&B	1
DECIDUOUS TREES				
	ACER FREEMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE	2" CAL.	B&B	45
	CARPINUS BETULUS 'FRANZ FONTAINE' / FRANZ FONTAINE HORNBEAM	2" CAL.	B&B	15
	CERCIS CANADENSIS / EASTERN REDBUD MULTI-TRUNK	2" CAL.	B&B	3
	CERCIS CANADENSIS 'FOREST PANSY' TM / FOREST PANSY REDBUD	2" CAL.	B&B	7
	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER LOCUST	3" CAL.	B&B	5
	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST' / SUNBURST COMMON HONEYLOCUST	2" CAL.	B&B	18
	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SLENDER SILHOUETTE SWEET GUM	2" CAL.	B&B	14
	ZELKOVA SERRATA 'MUSASHINO' / MUSASHINO ZELKOVA	2" CAL.	B&B	10
SYMBOL	BOTANICAL / COMMON NAME	SIZE	HZONE	QTY

SYMBOL	BOTANICAL / COMMON NAME	SIZE	HZONE	QTY	
SHRUBS					
	BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD	5 GAL.		13	
	CORNUS ALBA 'BAILHALO' / IVORY HALO® TATARIAN DOGWOOD	5 GAL.		317	
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL.		301	
	HYDRANGEA PANICULATA 'LIMELIGHT' / LIMELIGHT PANICLE HYDRANGEA	5 GAL.		111	
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL.		831	
	SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA	5 GAL.		392	
GRASSES					
	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	1 GAL.		456	
	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL.		315	
ORNAMENTAL GRASSES					
	CALAMAGROSTIS BRACHYTRICHA / KOREAN FEATHER REED GRASS	1 GAL.		853	
	MISCANTHUS SINENSIS 'ZEBRINUS' / ZEBRA EULALIA GRASS	1 GAL.		687	
PERENNIALS					
	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL.		665	
SYMBOL	BOTANICAL / COMMON NAME	CONT.	HZONE	SPACING	QTY
ROCK MULCH					
	1" GRAY ROCK MULCH		SOIL		49,857 SF
	WASATCH GRAY CRUSHER FINES (CHAT)		ROCK MULCH		6,064 SF
SOD/SEED					
	TURF GRASS		SOD		16,615 SF

LANDSCAPING REQUIREMENTS

-TREES PROVIDED ARE WATER-WISE/BROUGHT TOLERANT, PLANTED IN APPROPRIATE AREAS, NONINVASIVE, AND LOW MAINTENANCE.

-SHRUBS PLANTED ALONG BUFFER/PERIMETER ARE A MINIMUM OF 18" IN HEIGHT

-SHRUBS PLANTED ALONG EXTERIOR PARKING LOTS PROVIDED SUFFICIENT HEIGHT/ROW TO BLOCK TRESPASS.

-TURF TO NOT EXCEED 20% OF LANDSCAPE AREA - AMOUNT OF TURF PROVIDED 19.7%

-TURF AREAS PROVIDED AREA A MINIMUM OF 8FT IN WIDTH.

-LANDSCAPE EDGING USED TO SEPARATE PLANTING BEDS FROM TURF AND OTHER PLANTED AREAS.

PERIMETER PLANTINGS ALONG STREET: 600 WEST

REQUIRED: PER 100FT

TOTALS REQUIRED:

9 DECIDUOUS TREES	PROVIDED - 12
5 EVERGREEN TREE	PROVIDED - 5
70 SHRUBS	PROVIDED - 256
440 SQ. FT. PLANTING BEDS	PROVIDED - 3,772 SQ. FT.

PERIMETER PLANTINGS ALONG INTERIOR LOT LINES:

REQUIRED ALONG BUILDING: PER 100FT (88 FT)

1 DECIDUOUS TREE	PROVIDED - 2
5 SHRUBS	PROVIDED - 19

REQUIRED ALONG PARKING: PER 100FT (770 FT)

8 DECIDUOUS TREE	PROVIDED - 10
72 SHRUBS	PROVIDED - 479

SITE LANDSCAPE PARKING AREA

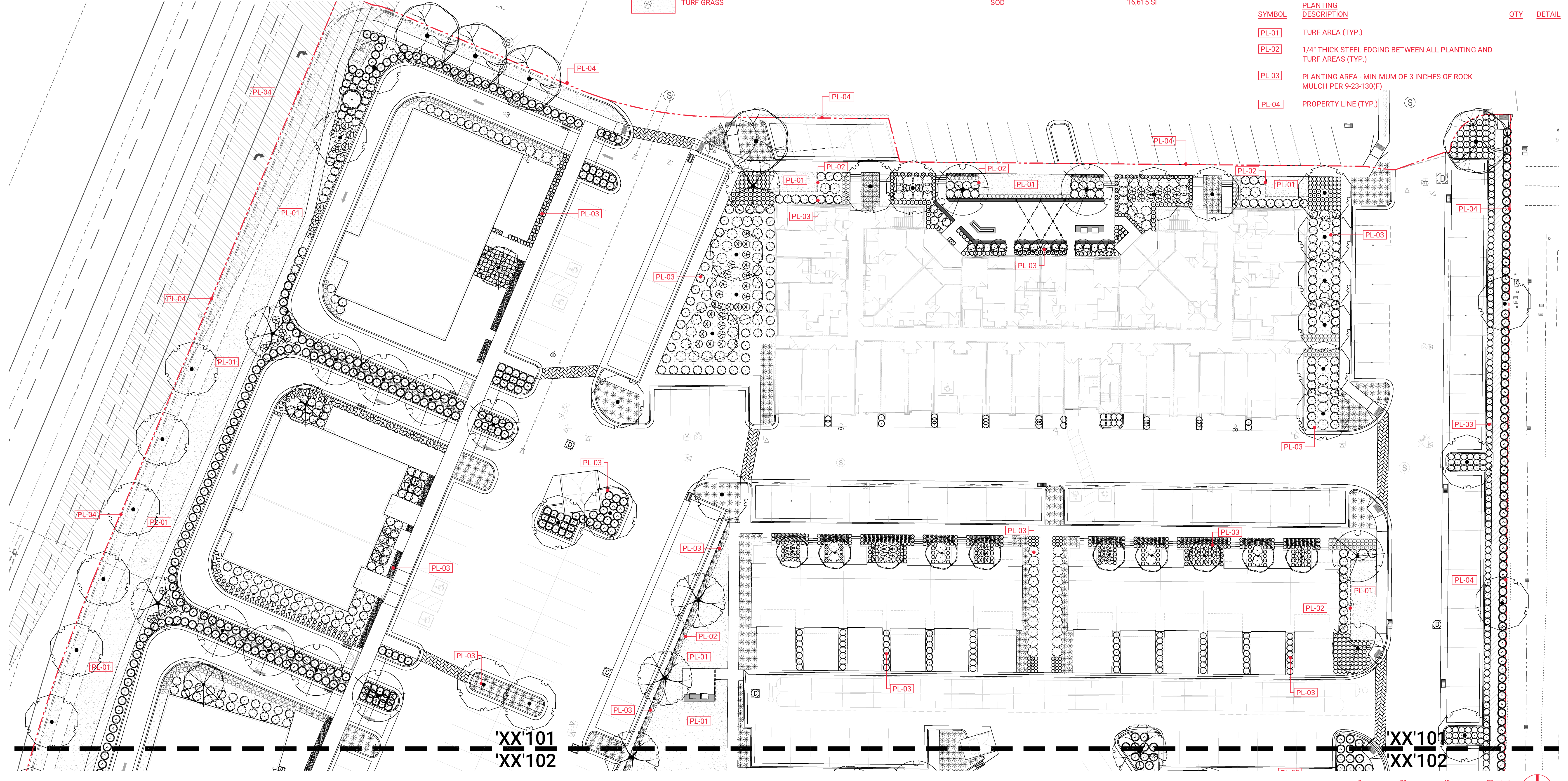
COMMERCIAL PARKING AREA	108,377 SF
REQUIRED LANDSCAPE AREA	7,586 SF - 7.0%
PROVIDED LANDSCAPE AREA	7,960 SF - 7.3%

MULTIFAMILY PARKING AREA

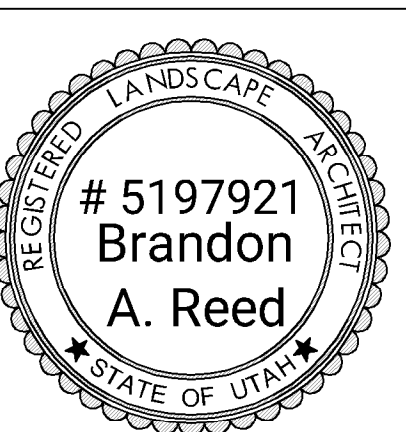
REQUIRED LANDSCAPE AREA	49,708 SF
PROVIDED LANDSCAPE AREA	4,971 SF - 10.0%
	10,487 SF - 21.1%

REFERENCE NOTES SCHEDULE

SYMBOL	PLANTING DESCRIPTION	QTY	DETAIL
PL-01	TURF AREA (TYP.)		
PL-02	1/4" THICK STEEL EDGING BETWEEN ALL PLANTING AND TURF AREAS (TYP.)		
PL-03	PLANTING AREA - MINIMUM OF 3 INCHES OF ROCK MULCH PER 9-23-130(F)		
PL-04	PROPERTY LINE (TYP.)		



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600 WEST / DRAPER / UT

DATE // 04.17.24
PROJECT NO. // 2321
DRAWN BY // RAL
CHECKED BY // NKJ

REVISIONS //

NOT FOR CONSTRUCTION

TITLE // PLANTING PLAN

SHEET // LP101

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY
TREES				
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DECIDUOUS TREES				
	ACER FREEMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE	2" CAL.	B&B	45
	CARPINUS BETULUS 'FRANZ FONTAINE' / FRANZ FONTAINE HORNBEAM	2" CAL.	B&B	15
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	CORNUS ALBA 'BAILHALO' / IVORY HALO® TATARIAN DOGWOOD	5 GAL.		317
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	HYDRANGEA PANICULATA 'LIMELIGHT' / LIMELIGHT PANICLE HYDRANGEA	5 GAL.		111
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	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL.		315
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	CALAMAGROSTIS BRACHYTRICHA / KOREAN FEATHER REED GRASS	1 GAL.		853
	MISCANTHUS SINENSIS 'ZEBRINUS' / ZEBRA EULALIA GRASS	1 GAL.		687
PERENNIALS				
	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL.		665
SYMBOL BOTANICAL / COMMON NAME CONT HZONE SPACING QTY				
ROCK MULCH				
	1" GRAY ROCK MULCH	SOIL		49,857 SF
	WASATCH GRAY CRUSHER FINES (CHAT)	ROCK MULCH		6,064 SF
SOD/SEED				
	TURF GRASS	SOD		16,615 SF

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-TURF AREAS PROVIDED AREA A MINIMUM OF 8FT IN WIDTH.

-LANDSCAPE EDGING USED TO SEPARATE PLANTING BEDS FROM TURF AND OTHER PLANTED AREAS.

PERIMETER PLANTINGS ALONG STREET: 600 WEST

REQUIRED: PER 100FT

TOTALS REQUIRED:

9 DECIDUOUS TREES PROVIDED - 12
 5 EVERGREEN TREE PROVIDED - 5
 70 SHRUBS PROVIDED - 256
 440 SQ. FT. PLANTING BEDS PROVIDED - 3,772 SQ. FT.

PERIMETER PLANTINGS ALONG INTERIOR LOT LINES:

REQUIRED ALONG BUILDING: PER 100FT (88 FT)

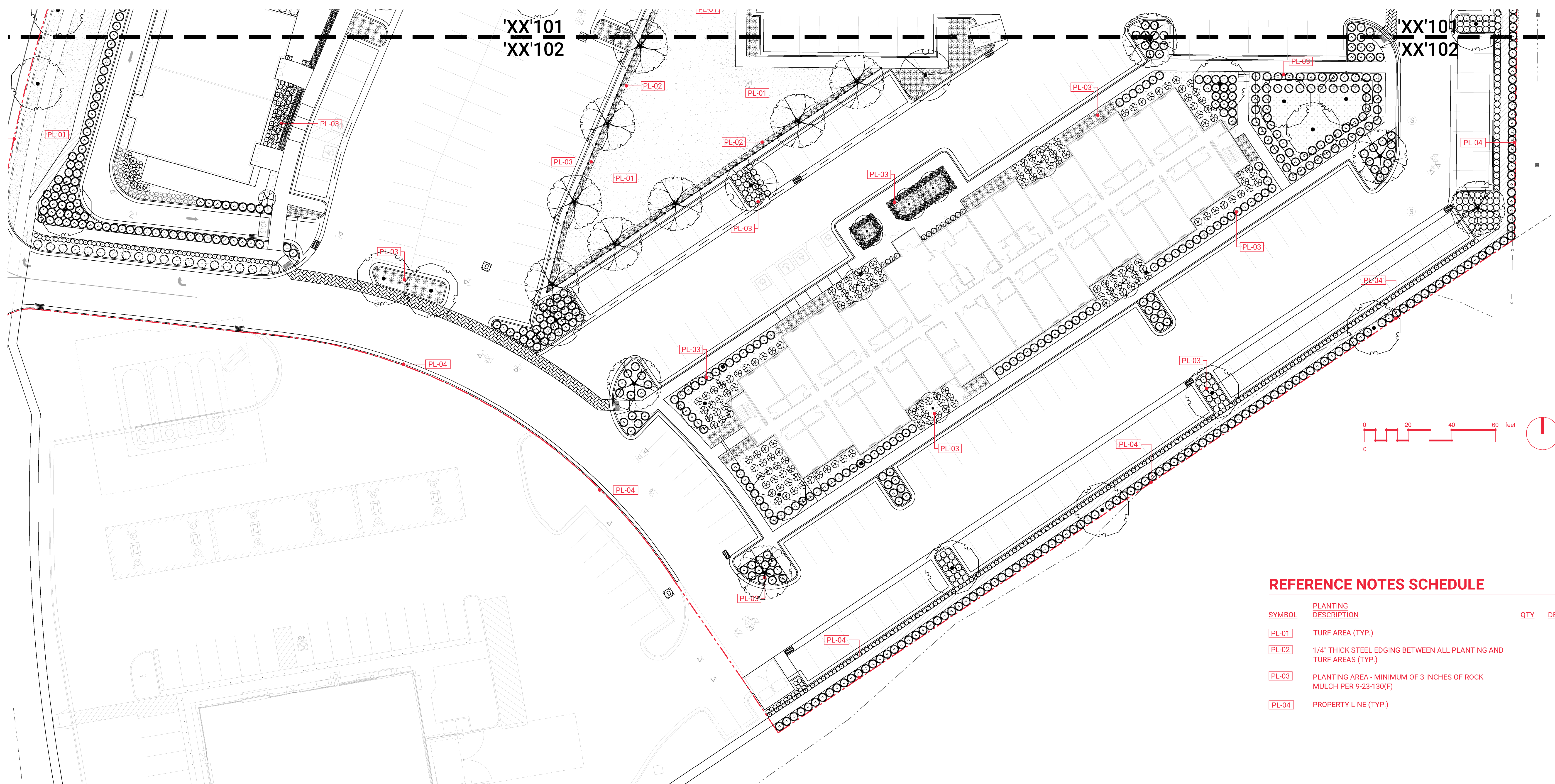
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8 DECIDUOUS TREE PROVIDED - 10
 72 SHRUBS PROVIDED - 479

SITE LANDSCAPE PARKING AREA 108,377 SF
 COMMERCIAL PARKING AREA 7,586 SF - 7.0%
 REQUIRED LANDSCAPE AREA 7,960 SF - 7.3%

MULTIFAMILY PARKING AREA 49,708 SF
 REQUIRED LANDSCAPE AREA 4,971 SF - 10.0%
 PROVIDED LANDSCAPE AREA 10,487 SF - 21.1%

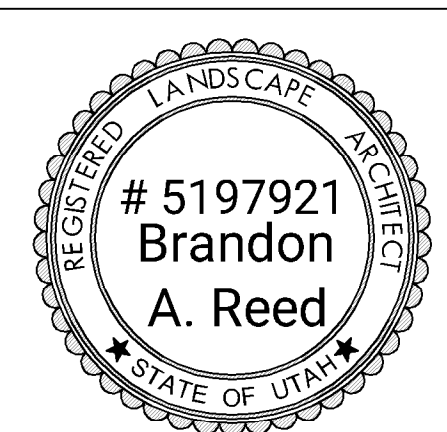


REFERENCE NOTES SCHEDULE

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PL-02	1/4" THICK STEEL EDGING BETWEEN ALL PLANTING AND TURF AREAS (TYP.)		
PL-03	PLANTING AREA - MINIMUM OF 3 INCHES OF ROCK MULCH PER 9-23-130(F)		
PL-04	PROPERTY LINE (TYP.)		

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DATE // 04.17.24
 PROJECT NO. // 2321
 DRAWN BY // RAL
 CHECKED BY // NIJ

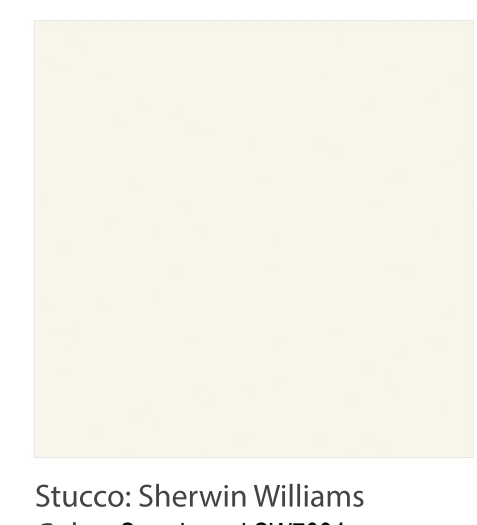
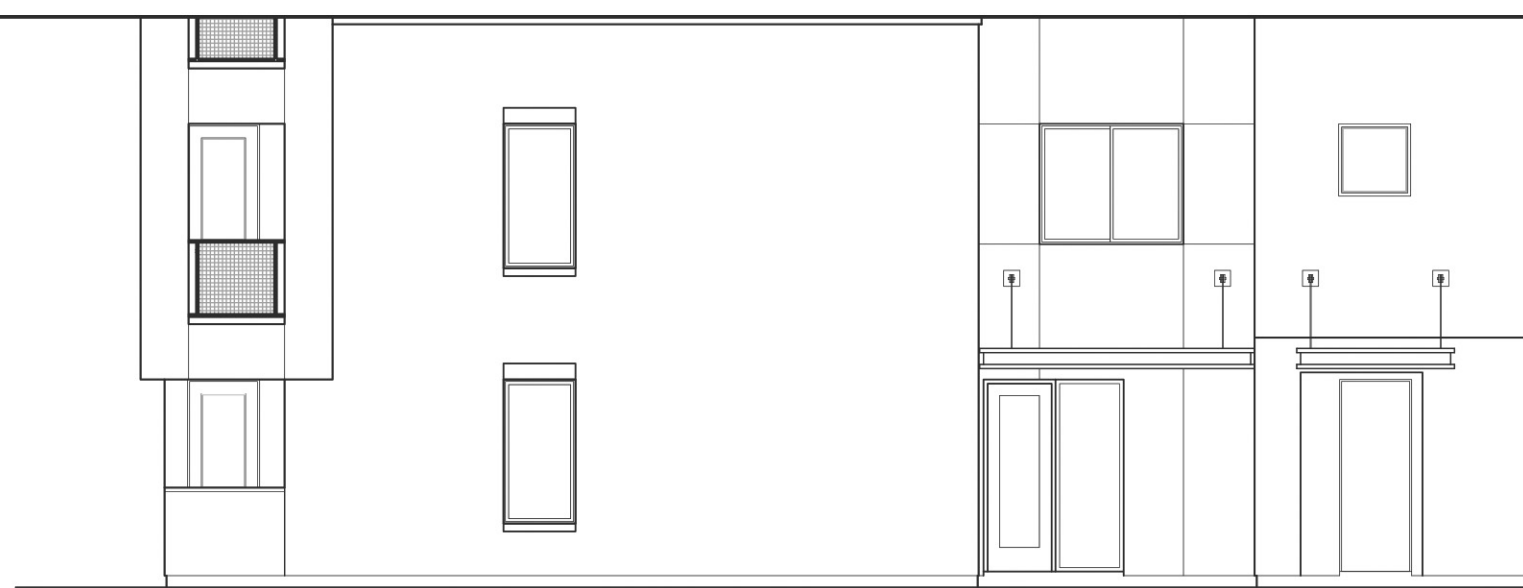
REVISIONS

NOT FOR CONSTRUCTION

TITLE // PLANTING PLAN

SHEET // LP102

**EXHIBIT H
ELEVATIONS**



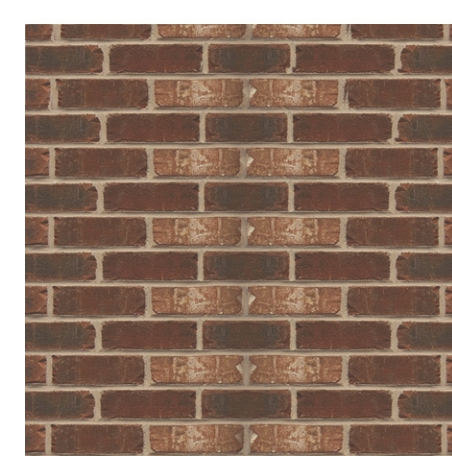
Stucco: Sherwin Williams
Color: Snowbound SW7004



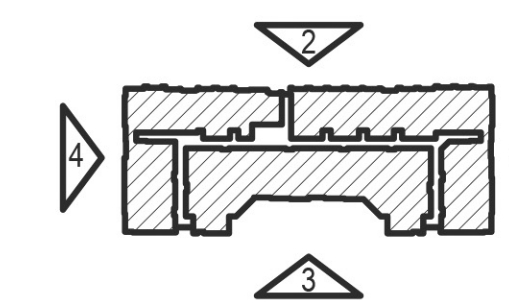
Siding 1: Hardie
Collection: Rich Espresso



Siding 2: Quality Edge
Collection: 482 Glided Grain



Brick 1: Summit Brick
Collection: Heritage Hills
Mortar Color: 860 Iron Oxide



KEYPLAN



StK.a
TEL: 949.444.0889
EMAIL: ssk@stark.com
WEB: www.stark.com

STOREFRONT @ BUILDING A ONLY

SCALE: 1/8" = 1'-0" 5

SEAL:



CONSULTANT:



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

3



REAR ELEVATION

SCALE: 1/8" = 1'-0"

2



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

4



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

1

VISTA 11 APARTMENTS
RESIDENTIAL BUILDING

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ISSUE DATES:

	Date
PERMIT SET	03-21-2022
BID SET	03-25-2022
CONSTRUCT SET	

REVISIONS:

No.	Date	Description

DESCRIPTION:
EXTERIOR ELEVATIONS

SHEET:
A-4.01



FRONT ELEVATION
 TOTAL WALL AREA = 8,259 (100%) 4,129 (50%) 1,404 (17%) 1,321 (16%)
 STUCCO WALL AREA = 4,173 (51%)
 BRICK WALL AREA = 1,719 (21%)
 SIDING WALL AREA = 2,366 (29%)

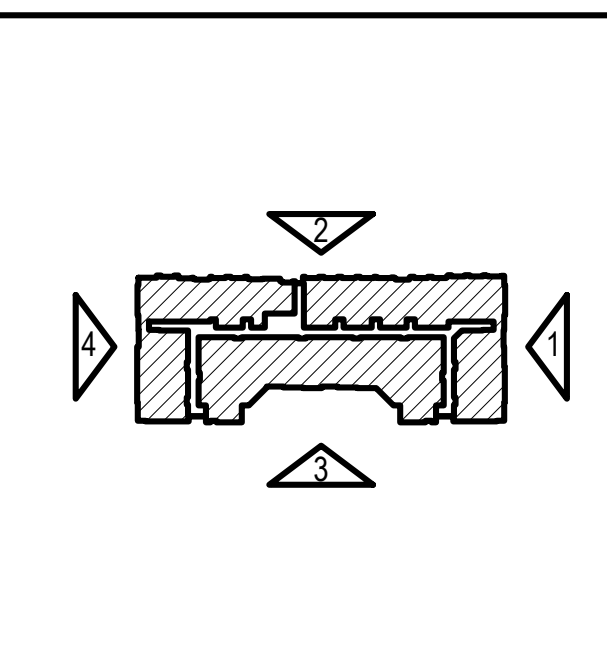
RIGHT ELEVATION
 TOTAL WALL AREA = 3,194 (100%) 543 (17%) 511 (16%)
 STUCCO WALL AREA = 1,596 (50%)
 BRICK WALL AREA = 563 (18%)
 SIDING WALL AREA = 1,035 (32%)

REAR ELEVATION
 TOTAL WALL AREA = 6,858 (100%) 3,429 (50%) 1,167 (17%) 1,097 (16%)
 STUCCO WALL AREA = 3,446 (50%)
 BRICK WALL AREA = 1,255 (18%)
 SIDING WALL AREA = 2,157 (31%)

LEFT ELEVATION
 TOTAL WALL AREA = 3,160 (100%) 1,580 (50%) 537 (17%) 506 (16%)
 STUCCO WALL AREA = 1,615 (51%)
 BRICK WALL AREA = 561 (18%)
 SIDING WALL AREA = 984 (31%)

- ELEVATION KEYNOTES**
- ONE-COAT INSULATING STUCCO SYSTEM
 - FIBER CEMENT LAP SIDING - 6" EXPOSURE
 - BRICK
 - NOT USED
 - FIBER CEMENT SIDING TRIM
 - ALUMINUM STOREFRONT: SEE WINDOW SCHEDULE
 - CANOPY OVER BACONY: SEE DETAIL GG/A-8.01A
 - BALCONY METAL RAILING SYSTEM
 - PRE-FAB METAL SUNSHADE CANOPY: SEE DETAILS 2 & 3/A-8.07
 - STUCCO CONTROL JOINT: SEE DETAILS
 - MATERIAL TO RETURN AROUND CORNER
 - BUILDING SIGN: BY OWNER
 - OVERHEAD GARAGE DOOR
 - STUCCO LOW WALL
 - PRE-FINISHED METAL COPING
 - GUTTER
 - DOWNSPOUT

- GENERAL NOTES**
- ALL PAINTS, PRIMERS, AND ANTI-CORROSION COATINGS APPLIED ON SITE TO THE BUILDING EXTERIOR AND INTERIOR MUST NOT EXCEED THE VOLATILE ORGANIC COMPOUND (VOC) LIMIT OF THE STATE OF UTAH.
 - NOT USED
 - PROVIDE DRIP CAP FLASHING AT ALL WINDOW & DOOR HEADS.
 - REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS.
 - PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER INTO THE EXTERIOR SHELL OF THE BUILDING.
 - NOT USED
 - SEE SPECIFICATIONS AND DETAILS FOR MORE INFORMATION.
 - WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING AS REQUIRED PER SECTION 2406 OF THE 2018 IBC.



STK
 TEL: (405) 444-8889
 EMAIL: skm@stark.com
 WEB: www.stark.com

STOREFRONT @ BUILDING A ONLY SCALE: 1/8" = 1'-0" 5

% OF BUILDING FAÇADE MATERIAL (APPROXIMATE)

ELEVATION KEYNOTES

GENERAL NOTES

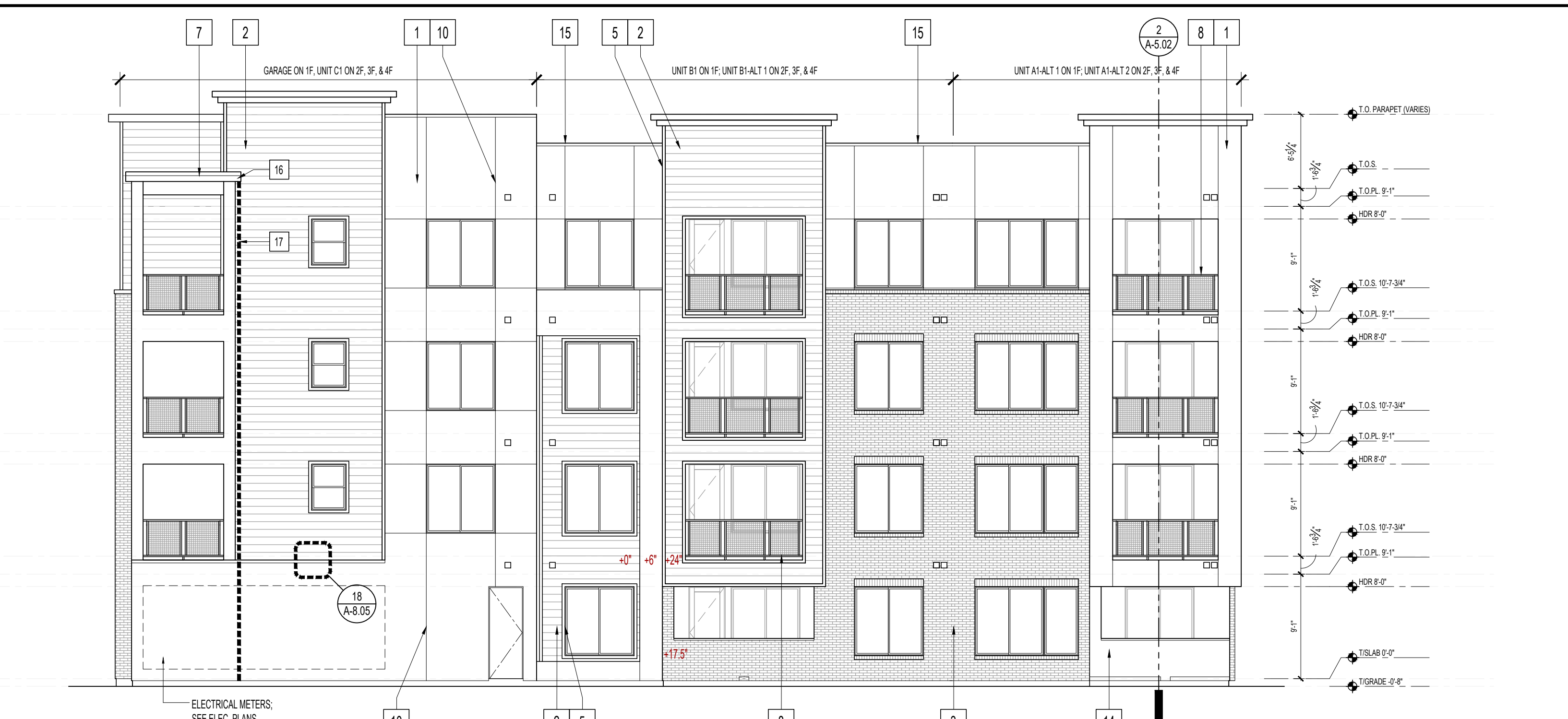
KEYPLAN



FRONT ELEVATION SCALE: 1/8" = 1'-0" 3



REAR ELEVATION SCALE: 1/8" = 1'-0" 2



LEFT ELEVATION SCALE: 1/8" = 1'-0" 4



RIGHT ELEVATION SCALE: 1/8" = 1'-0" 1

SEAL:

CONSULTANT:

VISTA 11 APARTMENTS
 RESIDENTIAL BUILDING



ALL DESIGN IDEAS AND PLANS NOTICED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND PROPERTY OF SK. THEY WERE CREATED AND DEVELOPED FOR SOLE USE IN CONNECTION WITH THE SPECIFIED PROJECT. THESE OR SIMILAR IDEAS, DESIGNS, OR PLANS SHALL BE USED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF CONCRETE OF SK.

ISSUE DATES:

PERMIT SET	Date: 03-21-2022
BID SET	03-25-2022
CONSTRUCT. SET	

REVISIONS:

No.	Date	Description

DESCRIPTION:
 EXTERIOR ELEVATIONS

SHEET:
A-4.01

FRONT ELEVATION

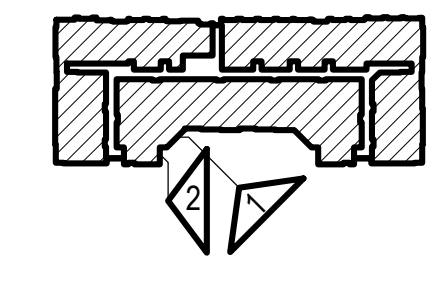
TOTAL WALL AREA = 8,258 (100%) 4,129 (50%) 1,404 (17%) 1,321 (16%)
STUCCO WALL AREA = 4,173 (51%)
BRICK WALL AREA = 1,719 (21%)
SIDING WALL AREA = 2,366 (29%)
RIGHT ELEVATION
TOTAL WALL AREA = 3,194 (100%) 1,597 (50%) 543 (17%) 511 (16%)
STUCCO WALL AREA = 1,596 (50%)
BRICK WALL AREA = 563 (18%)
SIDING WALL AREA = 1,035 (32%)

REAR ELEVATION

TOTAL WALL AREA = 6,858 (100%) 3,429 (50%) 1,167 (17%) 1,097 (16%)
STUCCO WALL AREA = 3,446 (50%)
BRICK WALL AREA = 1,255 (18%)
SIDING WALL AREA = 2,157 (31%)
LEFT ELEVATION
TOTAL WALL AREA = 3,160 (100%) 1,580 (50%) 537 (17%) 506 (16%)
STUCCO WALL AREA = 1,615 (51%)
BRICK WALL AREA = 561 (18%)
SIDING WALL AREA = 984 (31%)

- 1 ONE-COAT INSULATING STUCCO SYSTEM
2 FIBER CEMENT LAP SIDING - 6" EXPOSURE
3 BRICK
4 NOT USED
5 FIBER CEMENT SIDING TRIM
6 ALUMINUM STOREFRONT; SEE WINDOW SCHEDULE
7 CANOPY OVER BACONY; SEE DETAIL GG/A-8.01A
8 BALCONY METAL RAILING SYSTEM
9 PRE-FAB METAL SUNSHADE CANOPY; SEE DETAILS 2 & 3/A-8.07
10 STUCCO CONTROL JOINT; SEE DETAILS
11 MATERIAL TO RETURN AROUND CORNER
12 BUILDING SIGN; BY OWNER
13 OVERHEAD GARAGE DOOR
14 STUCCO LOW WALL
15 PRE-FINISHED METAL COPING
16 GUTTER
17 DOWNSPOUT

- 7. ALL PAINTS, PRIMERS, AND ANTI-CORROSIVE COATINGS APPLIED ON SITE TO THE BUILDING EXTERIOR AND INTERIOR MUST NOT EXCEED THE VOLATILE ORGANIC COMPOUND (VOC) LIMIT OF THE STATE OF UTAH.
8. NOT USED
1. PROVIDE DRIP CAP FLASHING AT ALL WINDOW & DOOR HEADS
2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS.
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER INTO THE EXTERIOR SHELL OF THE BUILDING.
4. NOT USED
5. SEE SPECIFICATIONS AND DETAILS FOR MORE INFORMATION.
6. WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING AS REQUIRED PER SECTION 2406 OF THE 2018 IBC.



SKK logo and contact information: TEL: (435) 444-8889, EMAIL: skk@skkarch.com, WEB: www.skkarch.com

% OF BUILDING FAÇADE MATERIAL (APPROXIMATE)

ELEVATION KEYNOTES

GENERAL NOTES

KEYPLAN

SEAL:



CONSULTANT:

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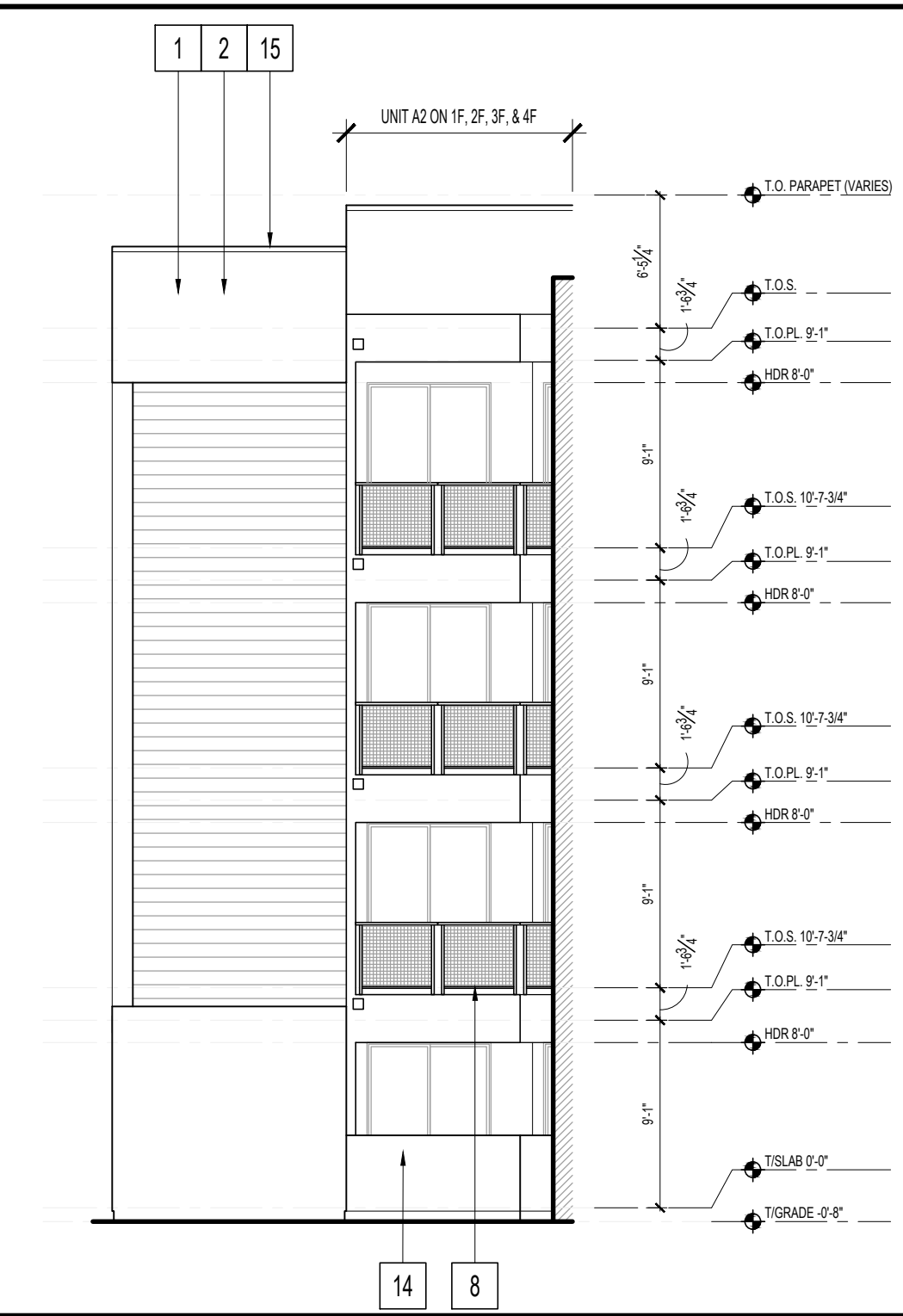
Table with columns: ISSUE DATES, Date, Description. Rows for PERMIT SET, BID SET, CONSTRUCT. SET.

Table with columns: REVISIONS, No., Date, Description.

DESCRIPTION: EXTERIOR ELEVATIONS

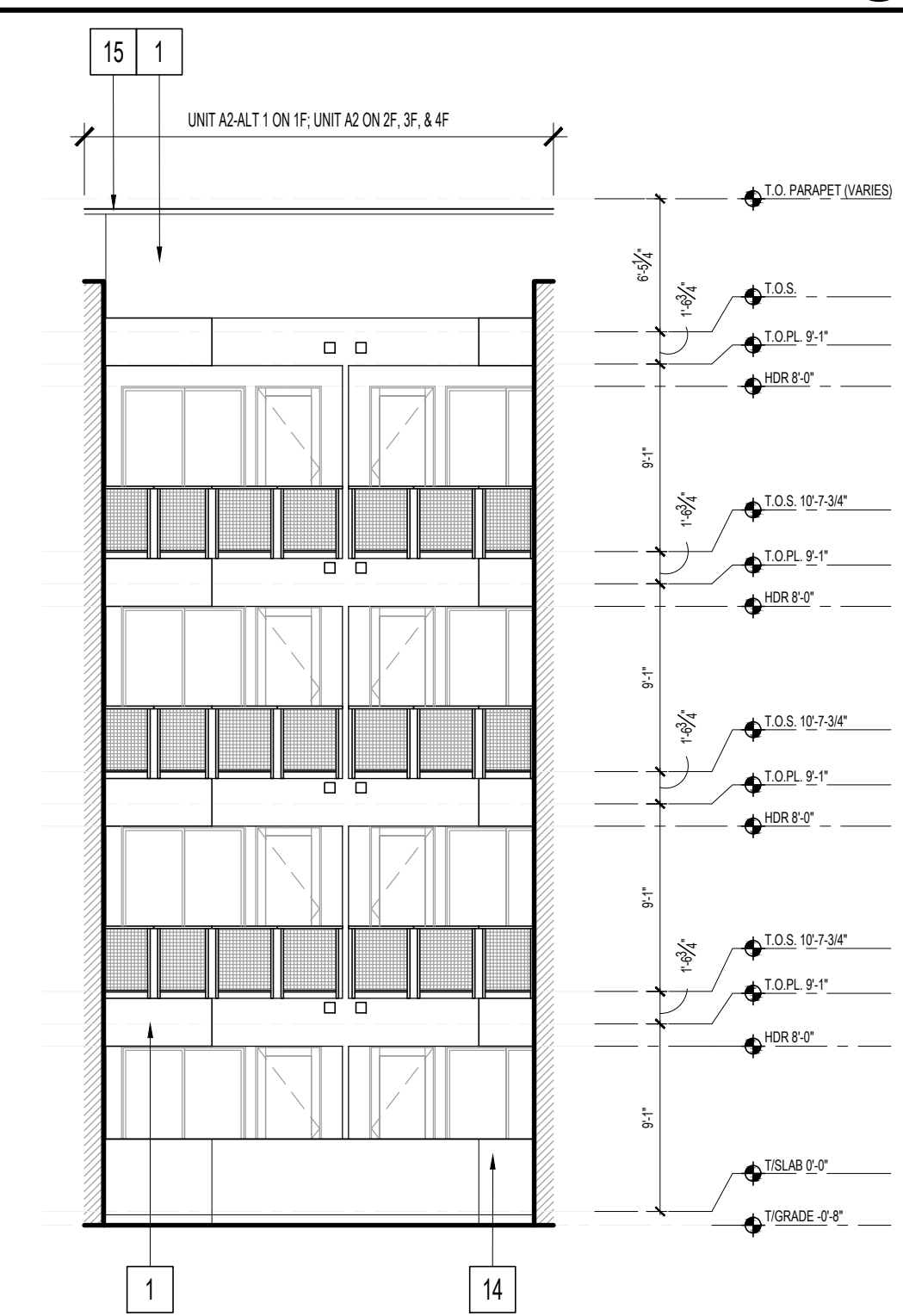
SHEET: A-4.02

NOT USED SCALE: 1/8" = 1'-0" 3



STAIRS @ INTERIOR COURTYARD SCALE: 1/8" = 1'-0" 2

NOT USED SCALE: 1/8" = 1'-0" 4



PARTIAL ELEVATION @ INTERIOR CORNER SCALE: 1/8" = 1'-0" 1

Vista 600 Phase 2 Townhomes
 Draper, Utah
 WRG Construction

Sheet Title
 6 Plex
 Rear and
 Left
 Elevations

Date
 January 5, 2024



1 6PLEX- FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

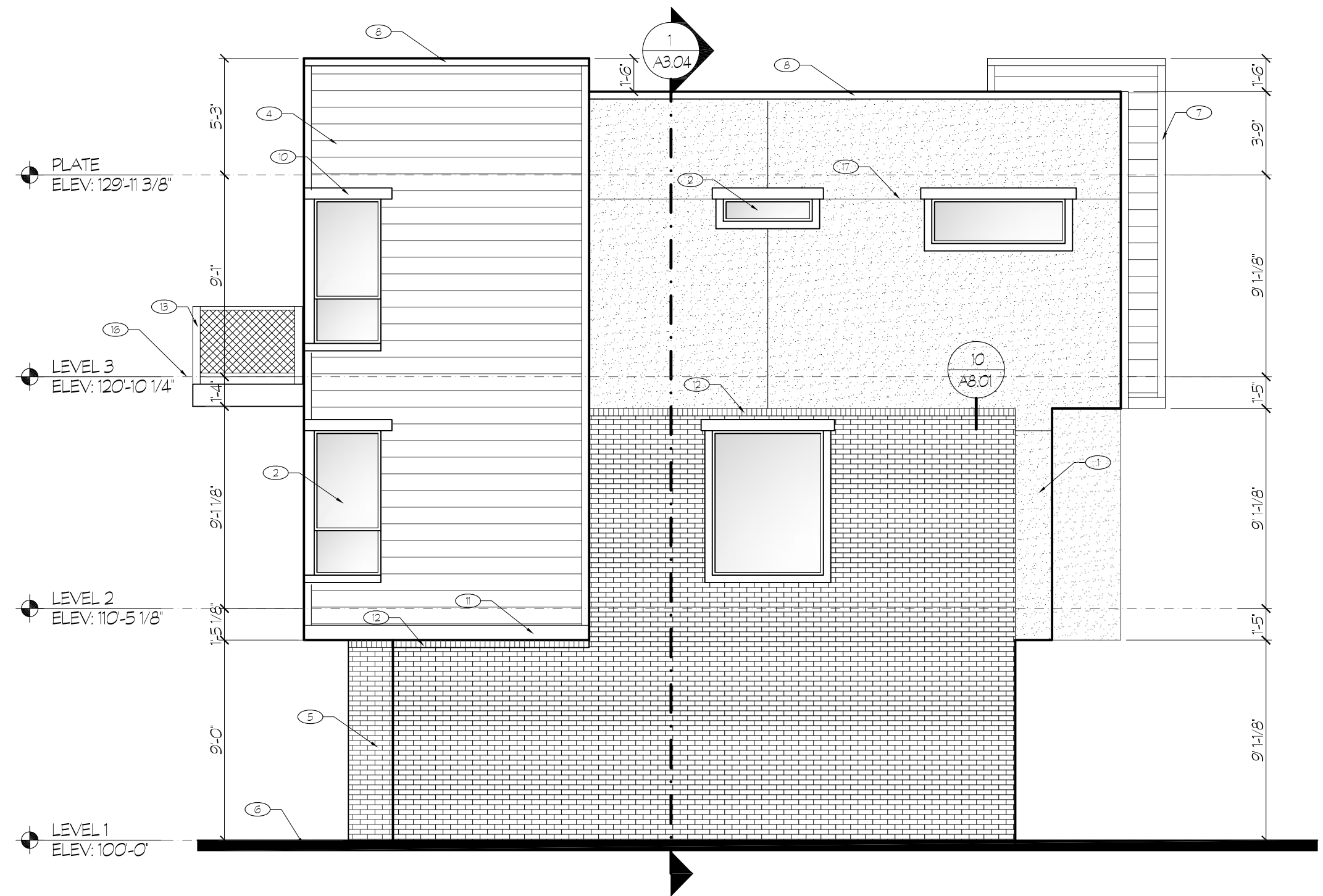
FRONT ELEVATION MATERIAL LEGEND

Hardie	= 38%
BRICK	= 39%
STUCCO	= 23%

- EXTERIOR ELEVATION KEYED NOTES:
- 1 DRYVIT STUCCO (HARD COAT) EXTERIOR VENEER SYSTEM ON SCHEDULED SHEATHING OVER 2x6 FRAMING SPACED @ 16" O.C. (I.N.O.). PROVIDE VAPOR BARRIER @ ALL INTERIOR SIDES OF EXTERIOR WALLS (TYP.). COLOR & TEXTURE OF FINISH TO BE SELECTED BY OWNER.
 - 2 SCHEDULED WINDOW. SEE WINDOW SCHEDULE & TYPES ON SHEET A-6.01. WINDOW COLOR & MANUFACTURER TO BE OWNER SELECTED. PROVIDE & INSTALL ALL REQUIRED WINDOW SEALANTS & FLASHING AS PER MANUFACTURER'S RECOMMENDATIONS.
 - 3 SCHEDULED DOOR. SEE DOOR SCHEDULE & TYPES ON SHEET A-6.01. DOOR COLOR & MANUFACTURER TO BE OWNER SELECTED. PROVIDE & INSTALL ALL REQUIRED DOOR SEALANTS & FLASHING AS PER MANUFACTURER'S RECOMMENDATIONS.
 - 4 8" HARDBOARD LAP SIDING. COLOR TBD BY OWNER. INSTALL PER MANUFACTURER RECOMMENDATIONS.
 - 5 BRICK VENEER.
 - 6 BUILDING EARTHWORK. ALL FINISHED GRADES TO SLOPE AWAY FROM PERIMETER OF BUILDING TO PROVIDE POSITIVE DRAINAGE. SEE CIVIL DRAWINGS.
 - 7 4" HARDBOARD TRIM.
 - 8 CONTINUOUS GALVNEUM (OR APPROVED EQUAL) METAL FLASHING.
 - 9 NOT USED.
 - 10 8" HARDBOARD TRIM.
 - 11 8" HARDBOARD TRIM.
 - 12 ROWLOCK BRICK COURSE FOR CAP.
 - 13 POWDER COATED POSTS & TOP RAIL W/ HORIZ. 1/2" POWDER COATED STEEL PIPE.
 - 14 4" STUCCO POP OUT TRIM.
 - 15 THE UNDER SIDE OF ALL EXTERIOR DECKS SHALL HAVE A 2HR FIRE RATED T-11 SHEATHING 4'-0" OUT FROM BOTH SIDES OF PARTY WALL. THE REMAINING DECK AREA SHALL HAVE A 1HR FIRE RATED MATERIAL STANDARD.
 - 16 ELEVATION HEIGHTS ARE TO TOP OF FLOOR JOIST (BELOW SHEATHING). REFER TO A3.01 - A3.04 INTERIOR UNIT FLOOR HEIGHTS.
 - 17 STUCCO CONTROL JOINT.

RIGHT ELEVATION MATERIAL LEGEND

Hardie	= 27%
BRICK	= 39%
STUCCO	= 34%



2 6PLEX- RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"



1
A2.06/ 6PLEX- REAR ELEVATION
SCALE: 3/16" = 1'-0"

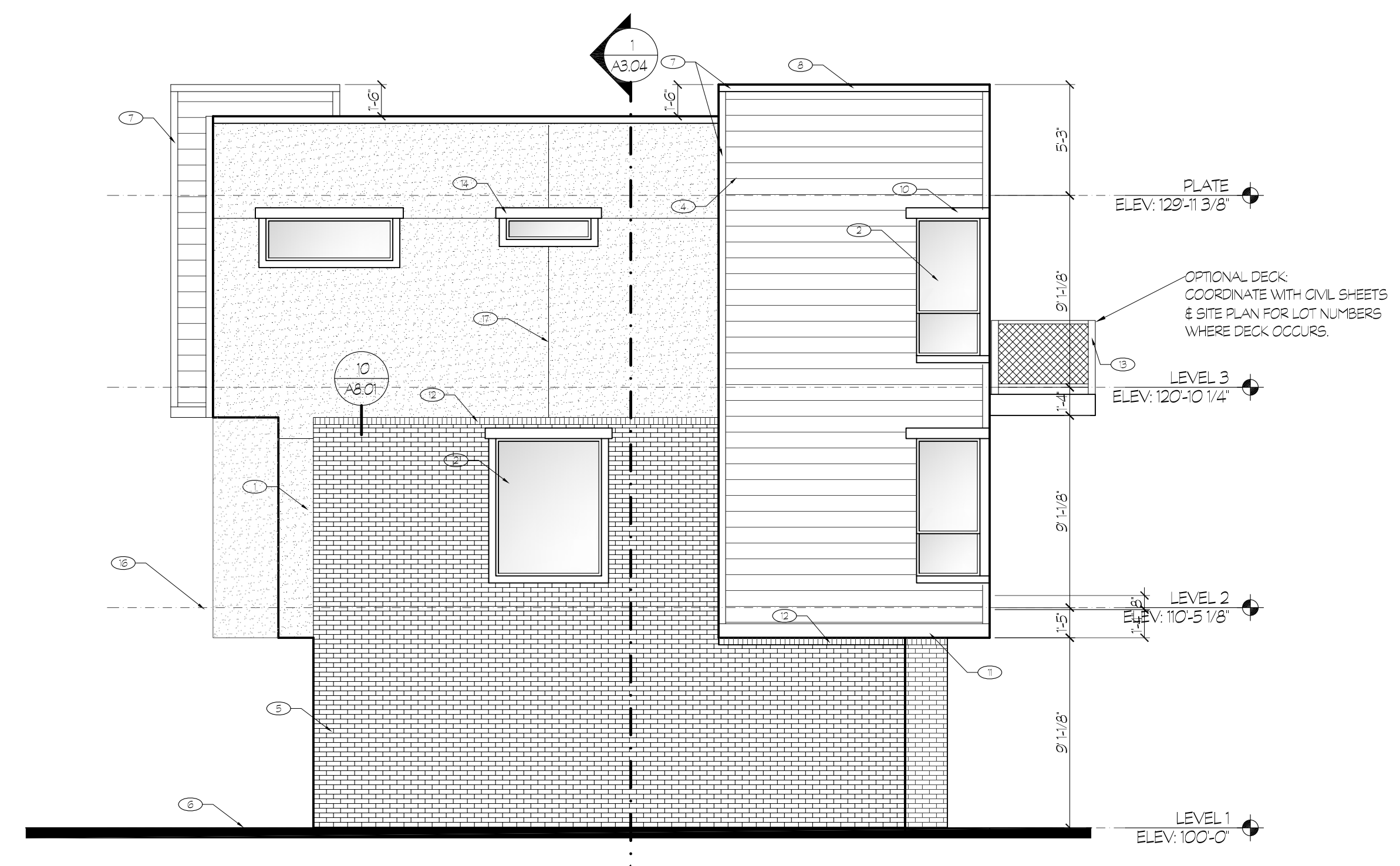
REAR ELEVATION MATERIAL LEGEND

(1)	HARDBOARD	=	25%
(2)	BRICK	=	33%
(3)	STUCCO	=	42%

- EXTERIOR ELEVATION KEYED NOTES:**
- DRY-IT STUCCO (HARD COAT) EXTERIOR VENEER SYSTEM ON SCHEDULED SHEATHING OVER 2x6 FRAMING SPACED @ 16" O.C. (I.N.O.). PROVIDE VAPOR BARRIER @ ALL INTERIOR SIDES OF EXTERIOR WALLS (TYP.). COLOR & TEXTURE OF FINISH TO BE SELECTED BY OWNER.
 - SCHEDULED WINDOW. SEE WINDOW SCHEDULE & TYPES ON SHEET A-6.01. WINDOW COLOR & MANUFACTURER TO BE OWNER SELECTED. PROVIDE & INSTALL ALL REQUIRED WINDOW SEALANTS & FLASHING AS PER MANUFACTURER'S RECOMMENDATIONS.
 - SCHEDULED DOOR. SEE DOOR SCHEDULE & TYPES ON SHEET A-6.01. DOOR COLOR & MANUFACTURER TO BE OWNER SELECTED. PROVIDE & INSTALL ALL REQUIRED DOOR SEALANTS & FLASHING AS PER MANUFACTURER'S RECOMMENDATIONS.
 - 8" HARDBOARD LAP SIDING. COLOR TBD BY OWNER. INSTALL PER MANUFACTURER RECOMMENDATIONS.
 - BRICK VENEER.
 - BUILDING FINISHWORK. ALL FINISHED GRADES TO SLOPE AWAY FROM PERIMETER OF BUILDING TO PROVIDE POSITIVE DRAINAGE. SEE CIVIL DRAWINGS.
 - 4" HARDBOARD TRIM.
 - CONTINUOUS GALVALUME (OR APPROVED EQUAL) METAL FLASHING.
 - NOT USED.
 - 6" HARDBOARD TRIM.
 - 8" HARDBOARD TRIM.
 - ROWLOCK BRICK COURSE FOR CAP.
 - POWDER COATED POSTS & TOP RAIL W/ HORIZ. 1/2" POWDER COATED STEEL PIPE.
 - 4" STUCCO POP OUT TRIM.
 - THE UNDER SIDE OF ALL EXTERIOR DECKS SHALL HAVE A 2HR FIRE RATED T-11 SHEATHING 4" OUT FROM BOTH SIDES OF PARTY WALL. THE REMAINING DECK AREA SHALL HAVE A 1HR FIRE RATED MATERIAL STANDARD.
 - ELEVATION HEIGHTS ARE TO TOP OF FLOOR JOIST (BELOW SHEATHING). REFER TO A3.01 - A3.04 INTERIOR UNIT FLOOR HEIGHTS.
 - STUCCO CONTROL JOINT.

LEFT ELEVATION MATERIAL LEGEND

(1)	HARDBOARD	=	27%
(2)	BRICK	=	33%
(3)	STUCCO	=	34%

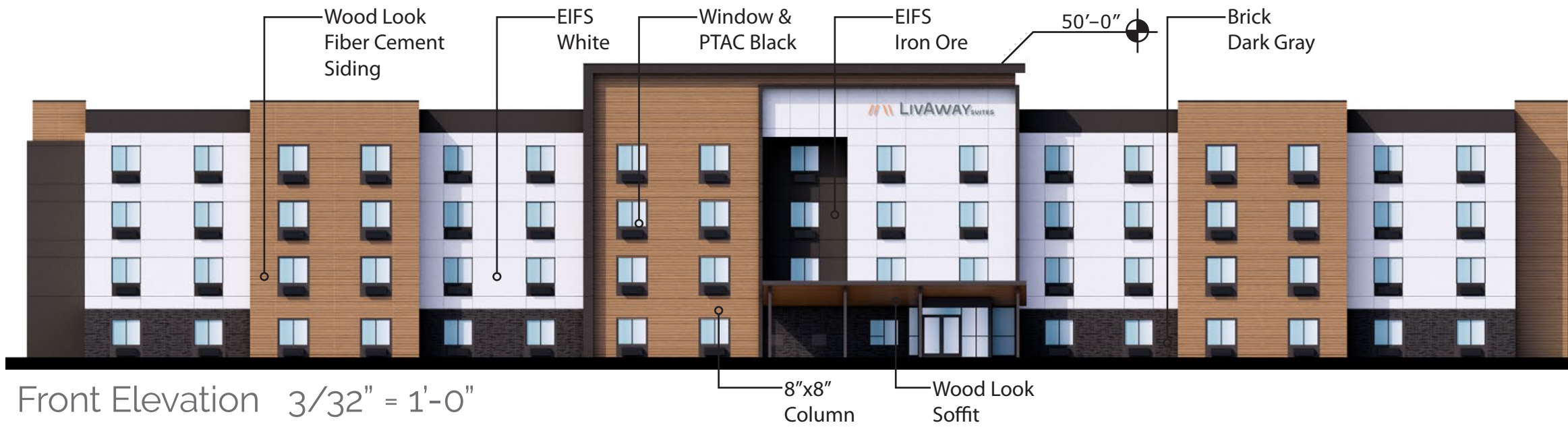


2
A2.06/ 6PLEX- LEFT ELEVATION
SCALE: 3/16" = 1'-0"

Vista 600 Phase 2 Townhomes
Draper, Utah
WRG Construction

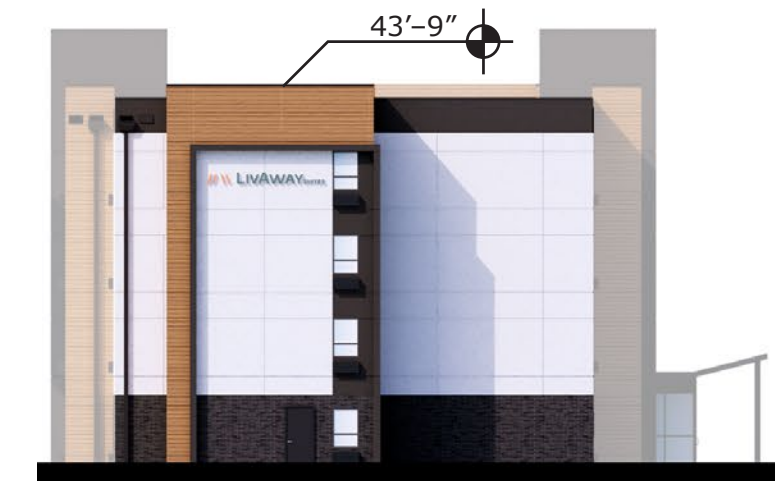
Sheet Title
6 Plex
Rear and
Left
Elevations

Date
January 5, 2024



Front Elevation 3/32" = 1'-0"

FRONT MATERIAL CALCULATIONS	
EIFS	43.79%
BRICK	7.93%
WOOD LOOK SIDING	34.18%
GLAZING	14.10%



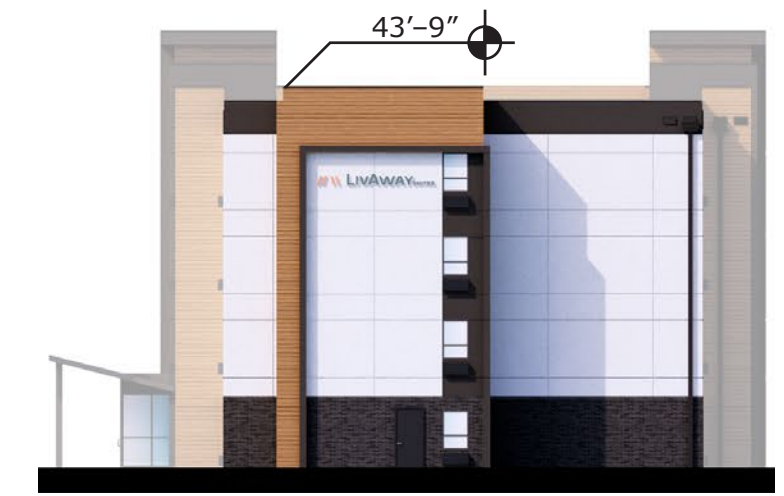
Left Elevation 3/32" = 1'-0"

LEFT MATERIAL CALCULATIONS	
EIFS	60.38%
BRICK	12.95%
WOOD LOOK SIDING	24.91%
GLAZING	1.76%



Rear Elevation 3/32" = 1'-0"

REAR MATERIAL CALCULATIONS	
EIFS	44.82%
BRICK	8.51%
WOOD LOOK SIDING	32.99%
GLAZING	13.68%



Right Elevation 3/32" = 1'-0"

RIGHT MATERIAL CALCULATIONS	
EIFS	55.98%
BRICK	13.85%
WOOD LOOK SIDING	28.28%
GLAZING	1.88%



EIFS - Iron Ore



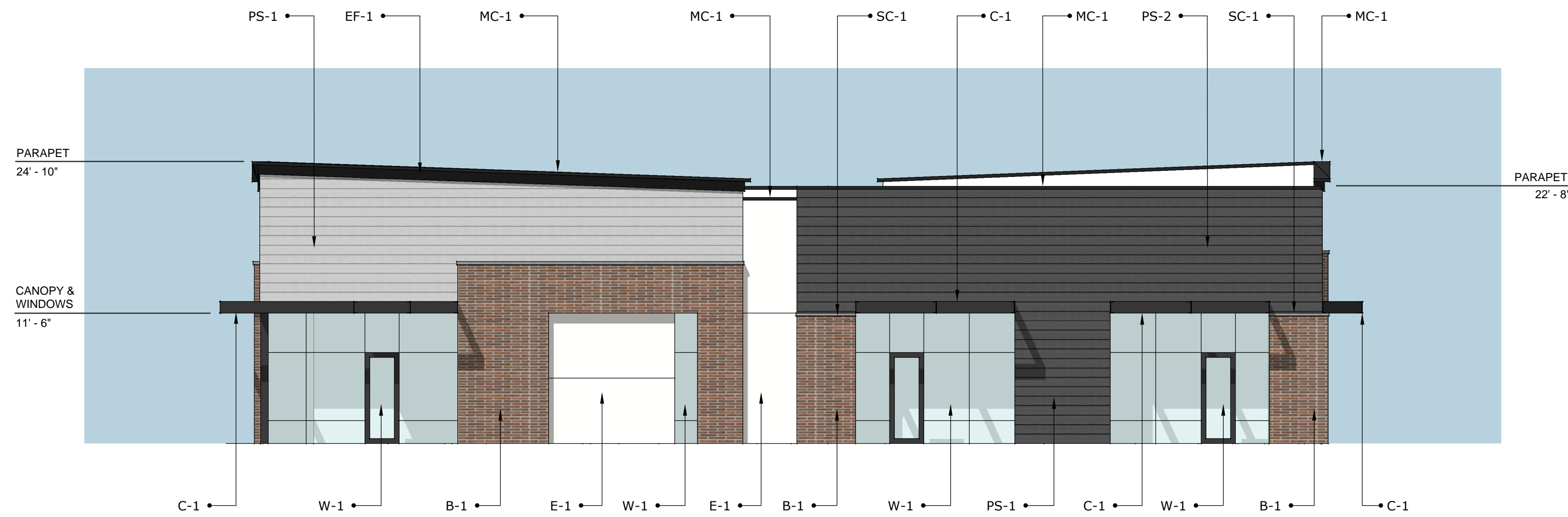
EIFS - White



Wood Look Fiber
Cement Siding

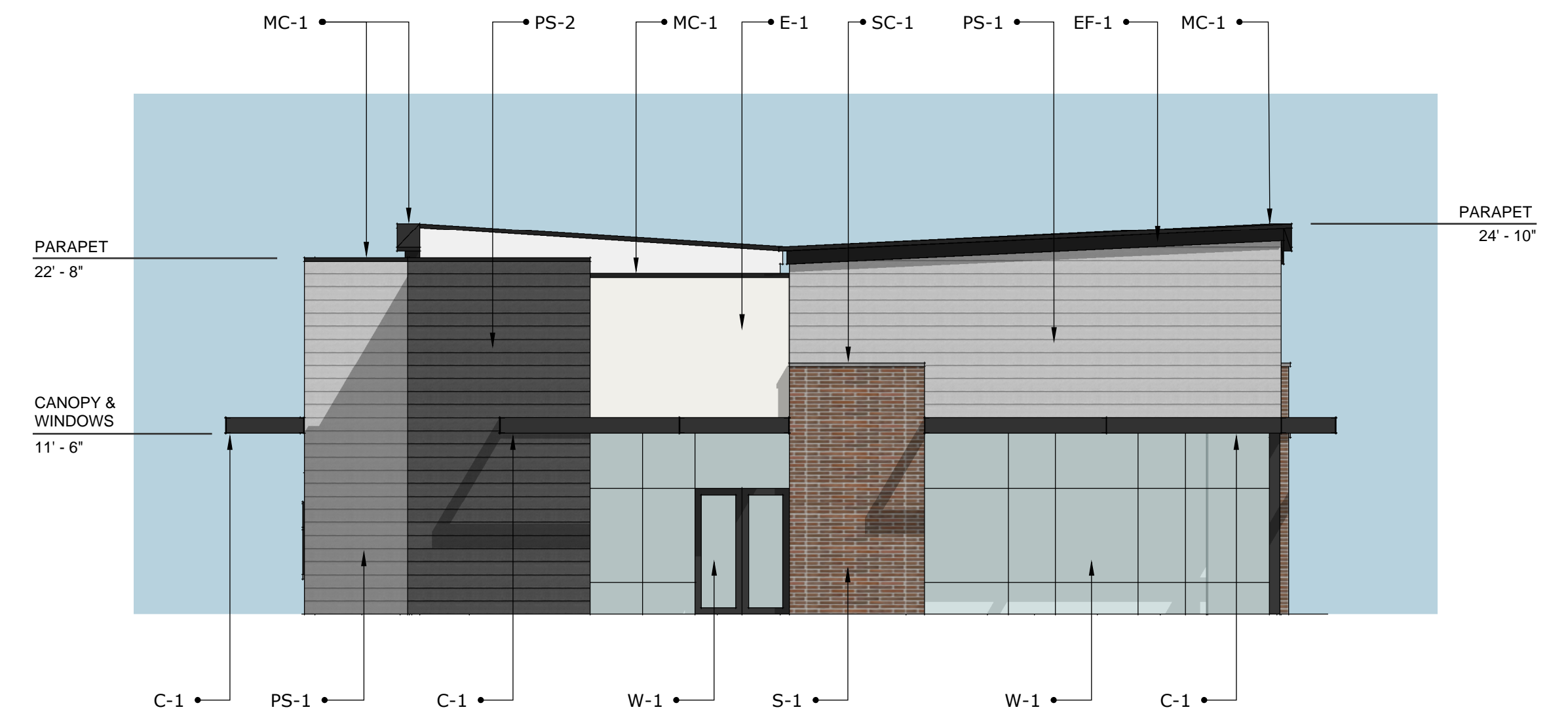


Brick - Dark Gray



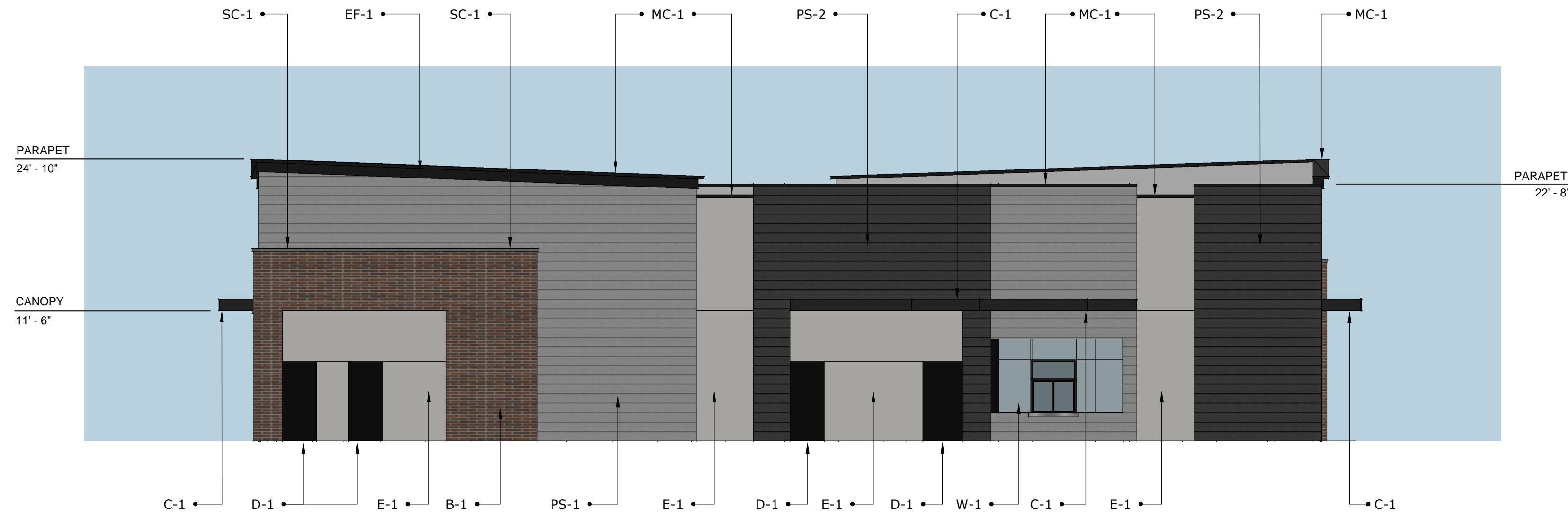
FRONT ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

EIFS:	266 SF (16%)
BRICK:	372 SF (23%)
HARDIE SIDING:	944 SF (58%)
STEEL CANOPY:	49 SF (3%)
WALL TOTAL: 1,631 SF (100%)	
GLAZING:	522 SF



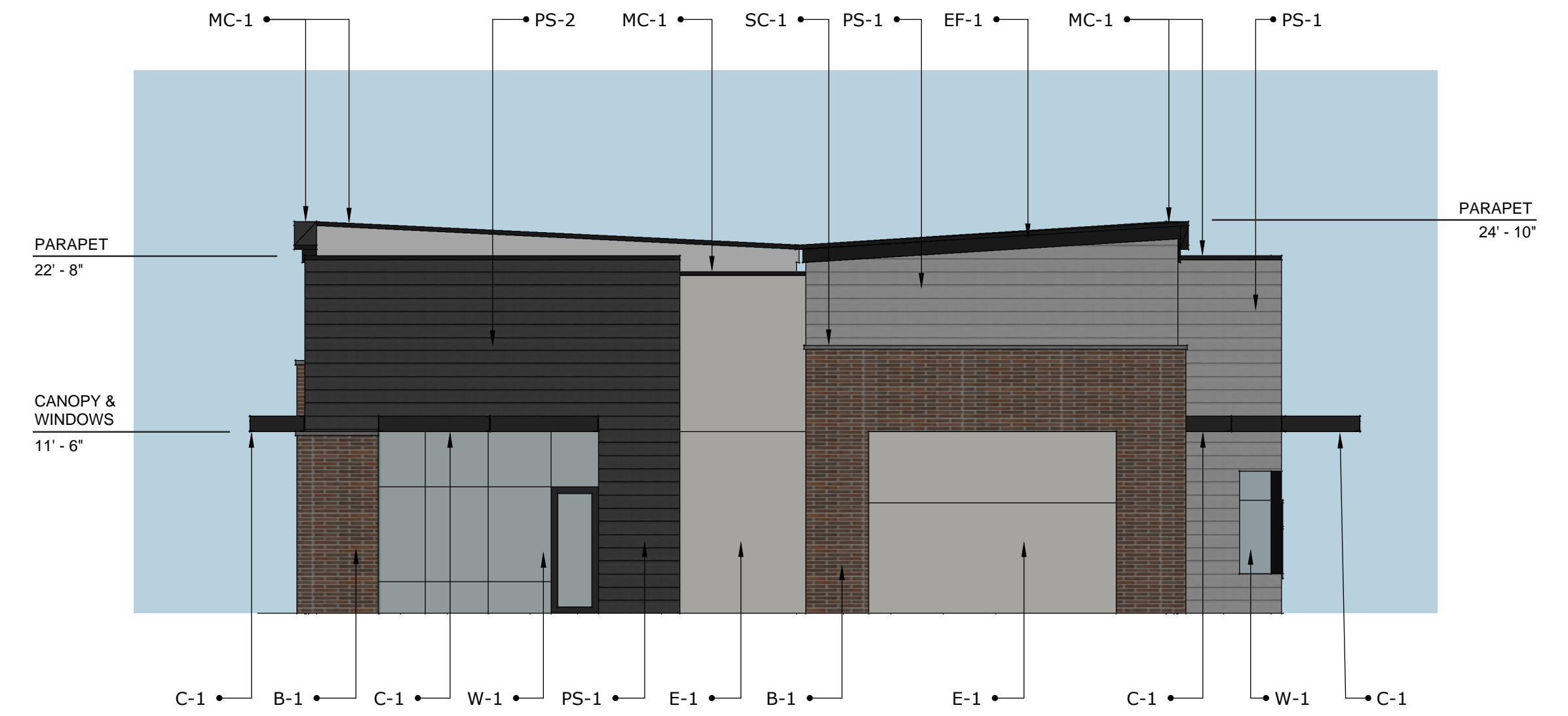
LEFT ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"

EIFS:	143 SF (14%)
BRICK:	137 SF (13%)
HARDIE SIDING:	704 SF (68%)
STEEL CANOPY:	49 SF (5%)
WALL TOTAL: 1,033 SF (100%)	
GLAZING:	405 SF



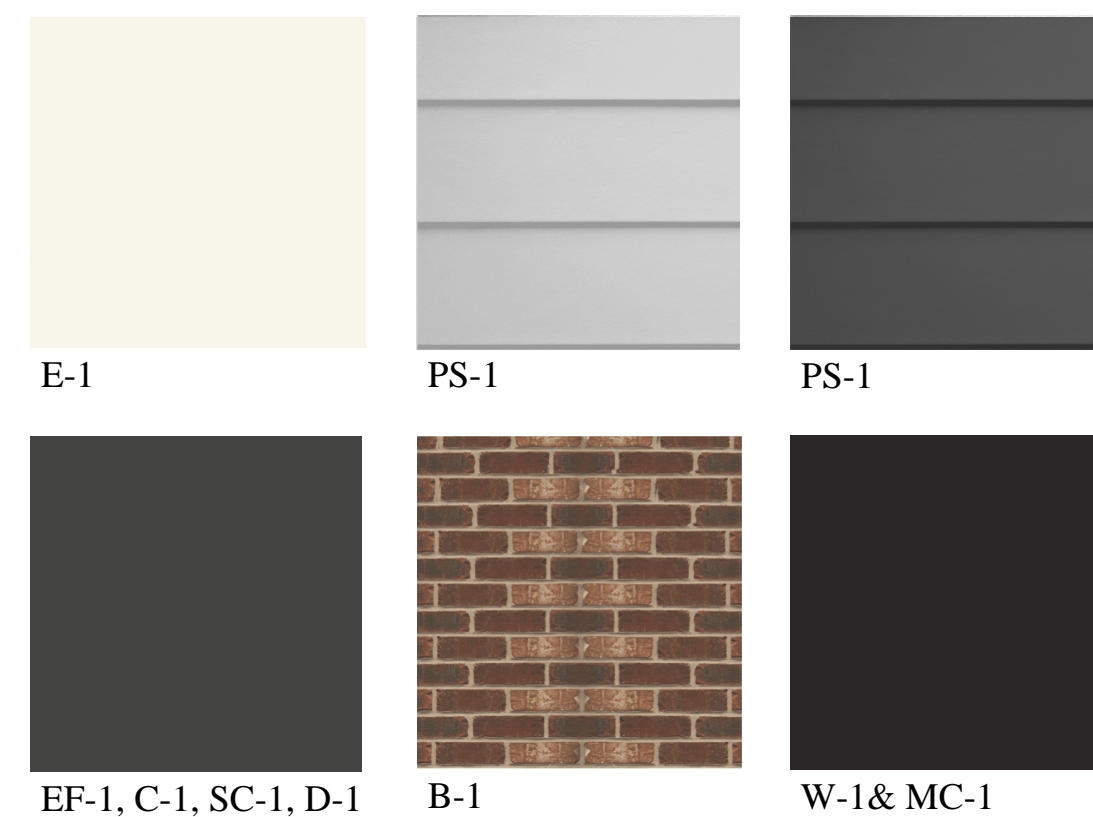
BACK ELEVATION (WEST)
SCALE: 1/8" = 1'-0"

EIFS:	500 SF (25%)
BRICK:	258 SF (13%)
HARDIE SIDING:	1,205 SF (61%)
STEEL CANOPY:	29 SF (1%)
WALL TOTAL: 1,992 SF (100%)	
GLAZING:	75 SF
HM DOOR:	88 SF



RIGHT ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

EIFS:	354 SF (15%)
BRICK:	290 SF (23%)
HARDIE SIDING:	573 SF (46%)
STEEL CANOPY:	24 SF (2%)
WALL TOTAL: 1,241 SF (100%)	
GLAZING:	179 SF



FINISH SCHEDULE

PS-1:	PAINTED HARDIE PLANK SIDING <i>SW IRON ORE 7069</i>
PS-2:	PAINTED HARDIE PLANK SIDING <i>SW SILVERPLATE 7649</i>
B-1:	THIN BRICK VENEER <i>SUMMIT BRICK, HERITAGE HILLS</i>
SC-1:	PRECAST CONCRETE CAP <i>NATURAL COLOR</i>
E-1:	EIFS <i>SW SNOWBOUND 7004</i>
EF-1:	EIFS CORNICE FEATURE <i>SW IRON ORE 7069</i>
MC-1:	PREFINISHED METAL CAP FLASHING <i>EXTRA DARK BRONZE</i>
C-1:	PAINTED STEEL CANOPY <i>SW IRON ORE 7069</i>
D-1:	PAINTED HOLLOW METAL DOOR & FRAME <i>SW IRON ORE 7069</i>
W-1:	ALUMINUM STOREFRONT SYSTEM <i>EXTRA DARK BRONZE</i>



VISTA 600 PHASE II RETAIL SHELL
GARDNER COMPANY | DRAPER, UTAH

Salt Lake City 52 Exchange Place SLC, UT 84111 801.531.1144 | Boise 800 W. Main Street Suite 940 Boise, ID 83702 208.424.7675 | babcockdesign.com

01 MARCH 2024

A-1.1

TF-01



BL-1



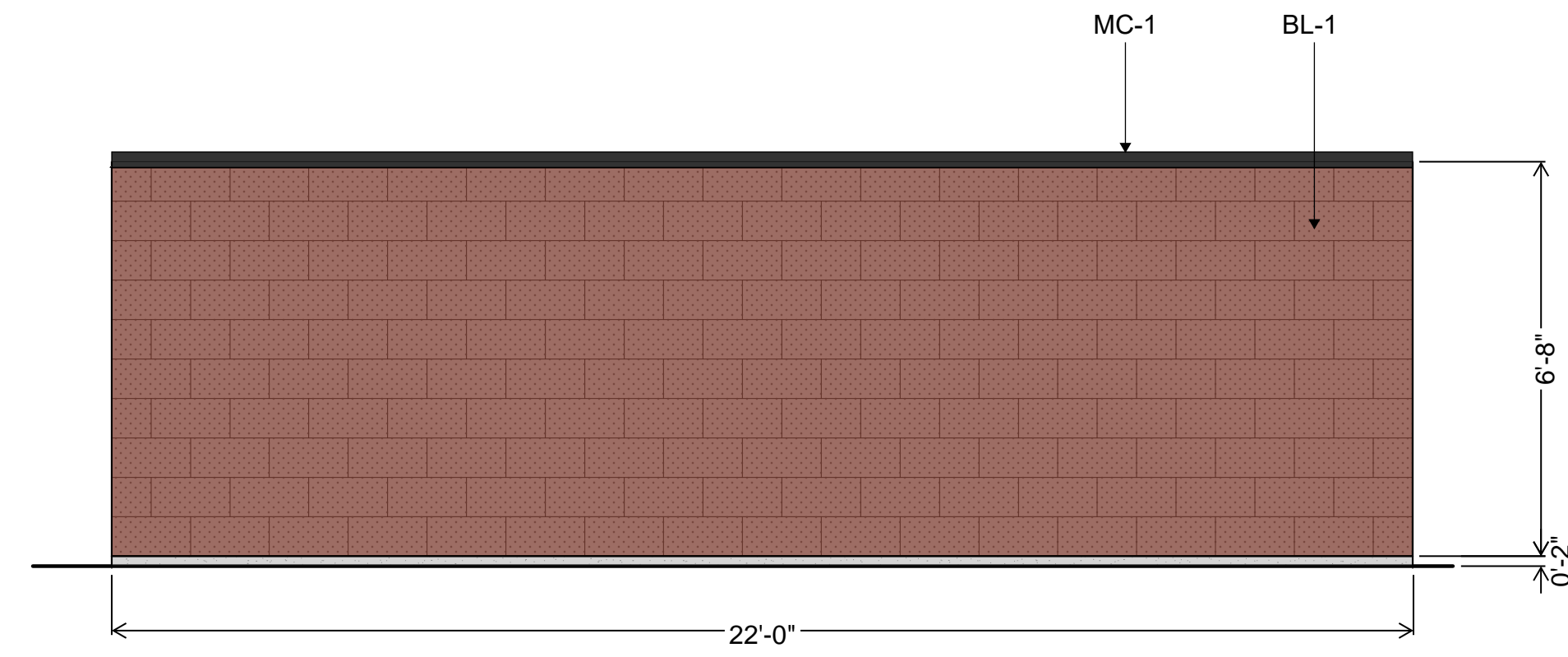
MC-1



P-1

FINISH SCHEDULE

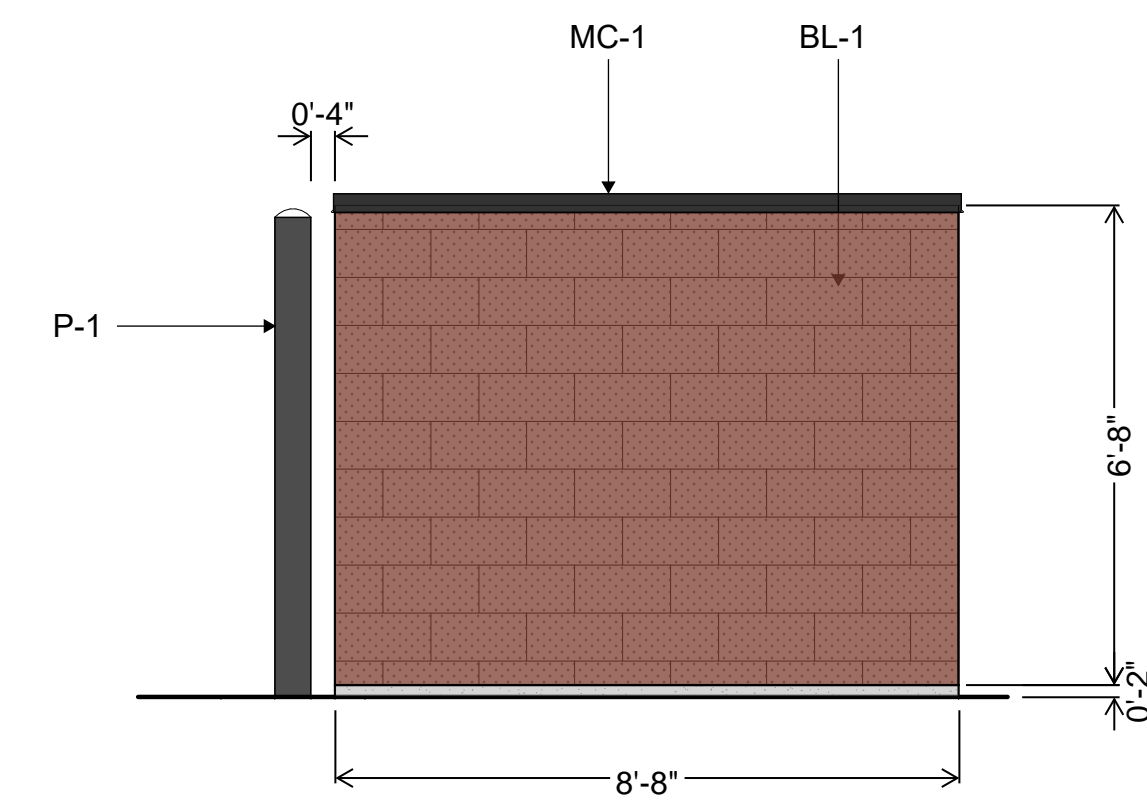
- BL-1 CMU BLOCK W/ INTEGRAL COLOR
SUNROC CHOCOLATE
- P-1 PAINTED STEEL
SW IRON ORE 7069
- MC-1 PREFINISHED METAL CAP FLASHING
EXTRA DARK BRONZE



DUMPSTER ENCLOSURE - REAR ELEVATION
SCALE: 3/8" = 1'-0"



DUMPSTER ENCLOSURE - FRONT ELEVATION
SCALE: 3/8" = 1'-0"



DUMPSTER ENCLOSURE - SIDE ELEVATION
SCALE: 3/8" = 1'-0"



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01 MARCH 2024

A-1.2

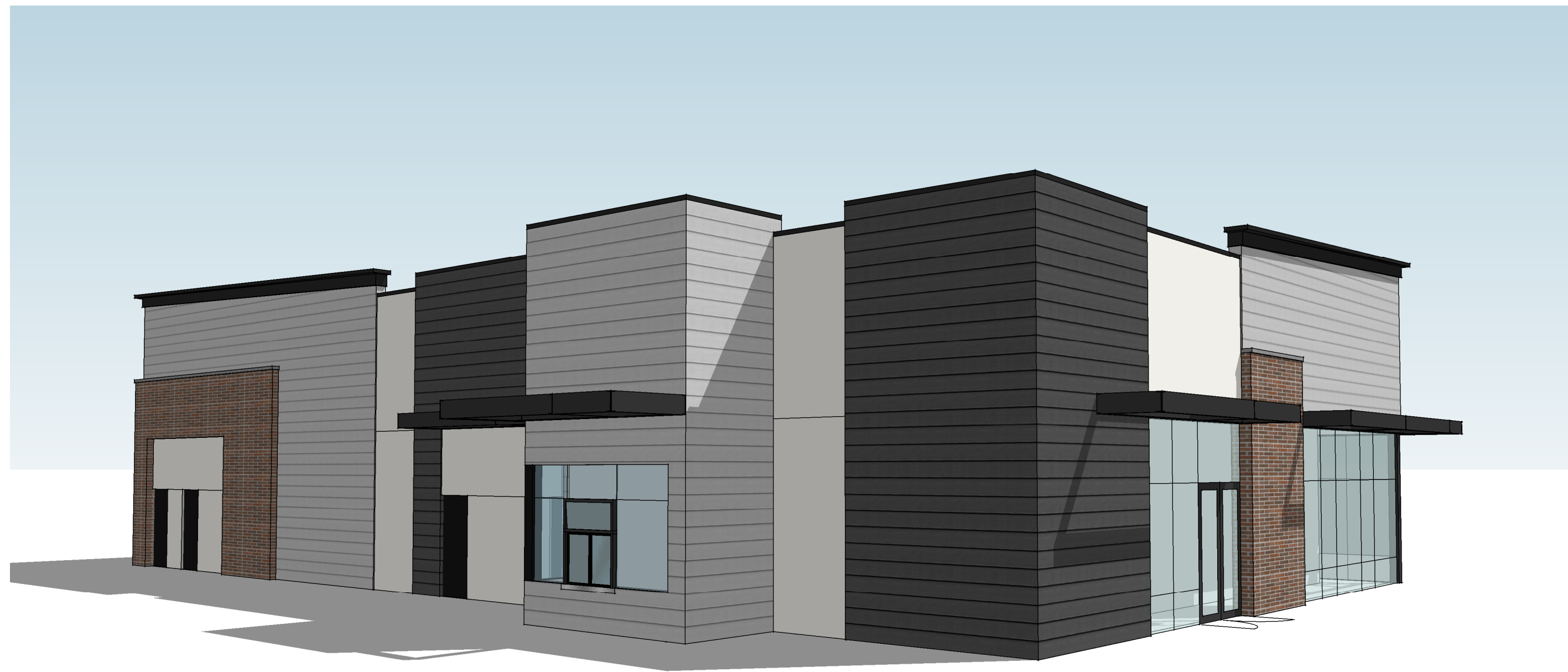
TF-01



SOUTHEAST ELEVATION



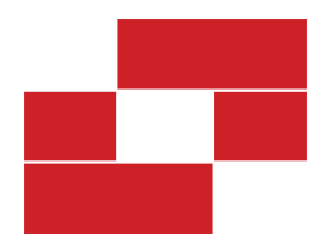
NORTHEAST ELEVATION



SOUTHWEST ELEVATION



NORTHWEST ELEVATION



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01 MARCH 2024

A-1.3

TF-01

**EXHIBIT I
LIGHTING PLAN**



TAGUS ENGINEERING

PROFESSIONAL | INNOVATIVE | RELIABLE



VISTA 600 WEST
PHASE 2

13677 SOUTH 600 WEST
DRAPER, UTAH

DRAWN BY: SM

CHECKED BY: PCH

PROJECT NO: #####

NO.	DATE	DESCRIPTION

SITE PHOTOMETRIC

DRAWING NO.

E1.1



A ELECTRICAL SITE PHOTOMETRIC
E1.1 SCALE: 1/32" = 1'-0"