



Development Review Committee

1020 East Pioneer Road

Draper, UT 84020

STAFF REPORT

November 4, 2024

To: Jennifer Jastremsky, Zoning Administrator

Approved

Date

From: Todd Taylor, Planner III
801-576-6510, todd.taylor@draperutah.gov

Re: **Skaggs Performing Arts and Classroom Addition – Site Plan Amendment Request**

Application No.: 2023-4646-SP

Applicant: Joe Colosimo, representing the Catholic Diocese of Salt Lake City Real Estate Corporation

Project Location: 300 E. Kimballs Ln.

Current Zoning: A5 (Agricultural, 5 acre lot minimum) and RA2 (Residential Agricultural, 20,000 ft² lot minimum) Zones

Acreage: 56.7 Acres (Approximately 2,469,852 ft²)

Request: Request for approval of a Site Plan Amendment in the A5 and RA2 zone regarding the addition of a Performing Arts Center and classrooms.

SUMMARY AND BACKGROUND

This application is a request for approval of a Site Plan Amendment on the approximately 56.7 acre Juan Diego Catholic High School campus located at 300 E. Kimballs Ln. (Exhibit B & C). The property is currently zoned A5 and RA2. The applicant is requesting that a Site Plan Amendment be approved to allow for the addition of a Performing Arts Center and eight (8) classrooms.

On January 7, 1997, the City Council approved the initial Conditional Use Permit for the Skaggs Catholic Center Project. On July 10, 1997, the Planning Commission approved the related site plan application. Construction of the Juan Diego Catholic High School campus



was completed in 1999. The campus encompasses two parcels and is split by two zoning districts.

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Cultural and Institutional	Exhibit D
Current Zoning	A5, RA2	Exhibit E
Current Use	Private School	
Adjacent Zoning		
East	RA1 (Residential Agricultural, 40,000 ft ² lot minimum)	
West	R3 (Single Family Residential, 13,000 ft ² lot minimum)	
North	RA1, RA2, R3	
South	RA1, RM1 (Multiple-Family Residential)	

The Cultural and Institutional land use designation is characterized as follows:

Cultural and Institutional

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Major entry points and features • Well-landscaped perimeter and public spaces • Limited traffic access to major streets • Uniform design standards and aesthetics • Common off-street traffic circulation and parking areas • Pedestrian-friendly design
LAND USE MIX	<ul style="list-style-type: none"> • Government and municipal buildings • Schools • Fire and police stations • Hospitals
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Public Facilities (PF) • Public Open Space (OS) • Public Institutional (PI)
OTHER CRITERIA	<ul style="list-style-type: none"> • Zoning for these uses should be based on a demonstration that the project can be successfully completed and has good transportation access • Such operations should be subject to City review and imposition of conditions deemed necessary to keep the land use compatible with its neighbors and with the community in general



According to Draper City Municipal Code (DCMC) Section 9-8-020, the purpose of the A5 zone is to *“maintain the status of large tracts of agricultural land by allowing most commercial agricultural uses. Typical uses include farming, dairy, and cattle production.”*

The purpose of the RA2 zone is to *“foster low density development with little impact on its surroundings and municipal services; to generally preserve the character of the city's semirural areas; and to promote and preserve conditions favorable to large lot family life, including the keeping of limited numbers of animals and fowl. The predominant use in these zones is intended to be detached single-family dwellings, protected from encroachment by commercial and industrial uses.”*

Site Plan Layout. The Site Plan (Exhibit F) shows that the building addition will be located south of the main building towards the center of the parcels that comprise the campus. The building addition is located approximately 200 feet from the nearest exterior parcel line, exceeding all setback requirements. The project would disturb 50,197 ft² (approximately 2% of the campus), primarily in the eastern, A5 zoned portion of the parcel on which the new building additions are proposed. However, landscaping changes will also occur on the western, RA2 portion of the parcel. The new 23,671 ft² building addition will be located on the southern side of the primary building, east of the southern entrance.

Landscaping. The Landscape Plan (Exhibit G) shows that the building addition and newly proposed landscaping will replace a significant amount of area currently landscaped as a lawn within the disturbance area. Two smaller, existing lawn areas will remain at the eastern and western boundaries of the project area. The remainder of the lawn will be replaced by expanded paving at the school's southern entrance, the Performing Arts Center's western doors, and in the enclosed courtyard, as well as plantings of trees, shrubs, ornamental grasses, and perennials around the building addition. Though landscaping area will be removed for the building addition, the overall landscaping of the campus is significant and exceeds the minimum landscaping requirement of twenty percent (20%).

The disturbance area is over 200 feet from the nearest exterior parcel line, and no changes to existing perimeter landscaping, buffers, or street trees are required. Additionally, no modifications are required or will be made to the existing off-street parking.

Table 2 Landscaping Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Overall Landscaping Coverage	20% min.	37%	
Parking Lot Landscaping	N/A	N/A	
Perimeter Landscaping	N/A	N/A	
Buffer Landscaping	N/A	N/A	



Water Wise Landscaping	No lawn on slopes 25% or greater or areas less than 8 feet wide.	Two existing lawn areas of 3,500 ft ² (approx.) to remain. This is less than 19% of the landscaped area.	
Street Trees	N/A	N/A	

Architecture. The Elevations (Exhibit H) show an approximately 28 feet tall addition. The primary materials are brick, architectural precast concrete, and aluminum composite metal panels. Each exterior elevation of the building addition (overall) will include at least 75% in primary materials. Three different colors of brick will be utilized and the proposal will comply with the minimum color requirements of the DCMC.

Table 3 Architectural Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Building Height			
Main Building	35 feet max.	28 feet (approx.)	
Facade Variation			
Vertical or Horizontal	Every 30 feet, or along 60% of the horizontal length for buildings with facades 100 feet or greater.	Variations occur in the surface plane, pattern and treatment of windows.	
Significant	One significant variation of 5 feet deep by 20 feet wide for buildings with facades 100 feet or greater.	There is no uninterrupted facade of 100 feet or greater proposed.	
Materials			
Primary	2 min.	3 (brick, architectural precast concrete, and aluminum composite metal panels).	
Secondary	N/A	EIFS	
Percentage of Primary Materials			
All Sides	75% min.	75%	

Lighting. The Lighting Plan (Exhibit I) shows that lighting will be provided to the building addition and the surrounding landscaped area by existing light poles and downlights in the



- c. *The proposed use and site will conform to applicable requirements of this Code;*
- d. *The proposed expansion meets the approval standards of subsection E of this section;*
- e. *The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and*
2. *If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.*
3. *If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*
4. *Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Geotechnical and Geologic Hazards Review. Taylor Geo-Engineering, LLC in working with the Draper City Building and Engineering Divisions, have completed their review of the geotechnical report submitted as a part of the Site Plan Amendment. Comments from Taylor Geo-Engineering, LLC, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.

The findings for approval of the Site Plan Amendment are as follows:

1. The site plan reflects the full development of the property.
2. The site plan conforms to applicable standards set forth in ordinance, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zoning districts in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans will comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of the DCMC, including traffic, storm water drainage, and utilities concerns.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US, E=brien.maxfield@draperutah.gov,
O=Draper, OU=Public Works - Engineering,
CN=Brien Maxfield
Date: 2024.11.04 08:04:19-07'00'

Draper City Public Works Department

Todd A. Draper

Digitally signed by Todd A.
Draper
DN: C=US,
E=todd.draper@draper.ut.us,
O=Draper City Planning,
CN=Todd A. Draper
Date: 2024.11.01
17:47:42-06'00'

Draper City Planning Division

Don Buckley

Digitally signed by Don Buckley
DN: C=US, E=don.buckley@draper.ut.us,
O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2024.11.04 07:37:04-07'00'

Draper City Fire Department

Spencer DuShane

Digitally signed by Spencer
DuShane
Date: 2024.11.01 16:48:49 -06'00'

Draper City Legal Counsel

Matthew Symes

Digitally signed by Matthew Symes
DN: C=US,
E=matt.symes@draperutah.gov,
O=Draper City Corp., CN=Matthew Symes
Date: 2024.11.04 06:03:50-07'00'

Draper City Building Division

**EXHIBIT A
DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments provided.

Engineering and Public Works Divisions Review.

1. No additional comments provided.

Building Division Review.

1. No additional comments provided.

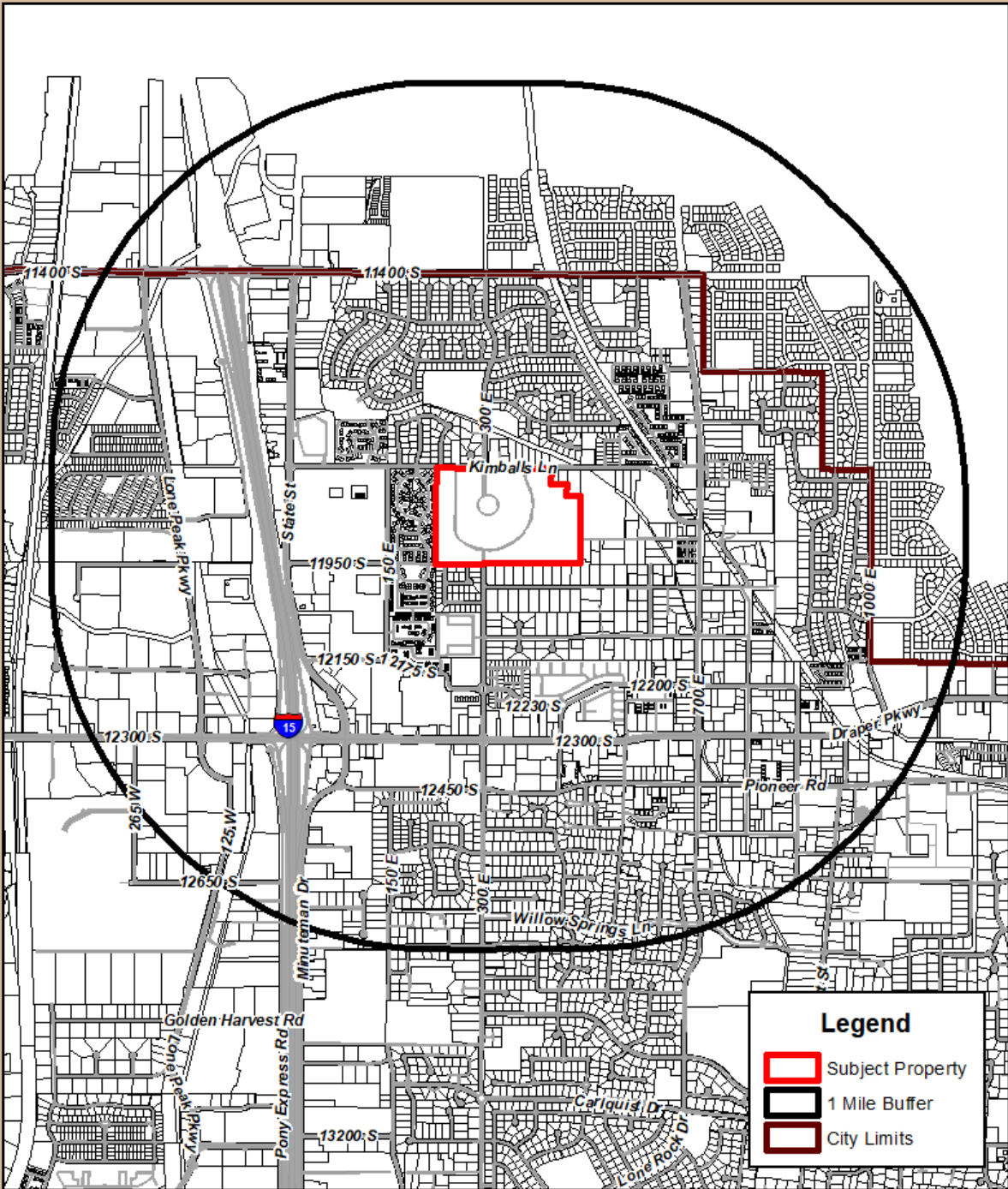
Geotechnical and Geologic Hazards Review.

1. No additional comments provided.

Fire Division Review.

1. No additional comments provided.

EXHIBIT B
VICINITY MAP

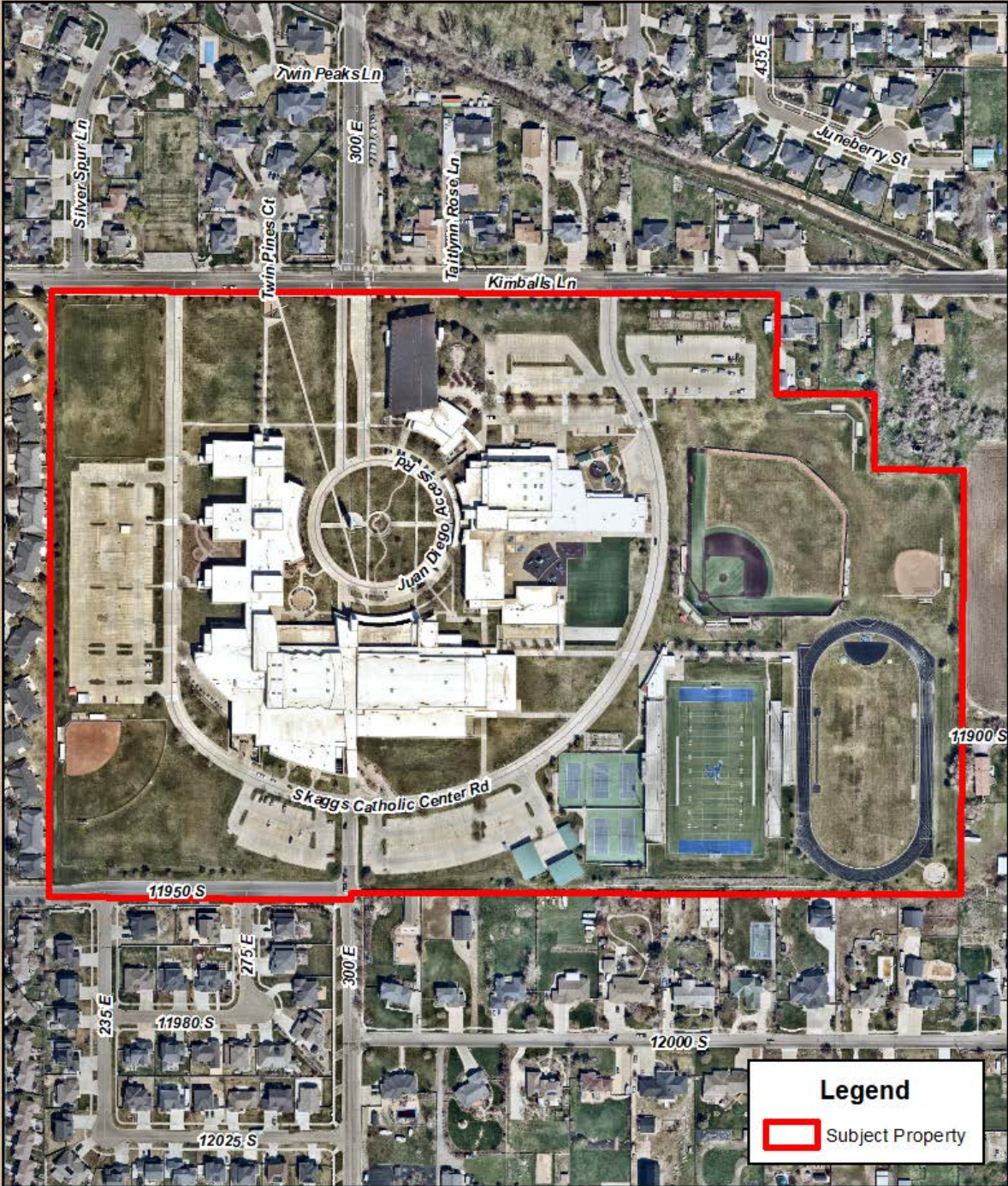


Date Printed: 7/3/2024


Skaggs Performing Arts and Classroom Addition
300 E. Kimballs Ln.



EXHIBIT C
AERIAL MAP



Legend

 Subject Property



Date Printed: 7/3/2024

Skaggs Performing Arts and Classroom Addition
300 E. Kimballs Ln.



EXHIBIT D LAND USE MAP

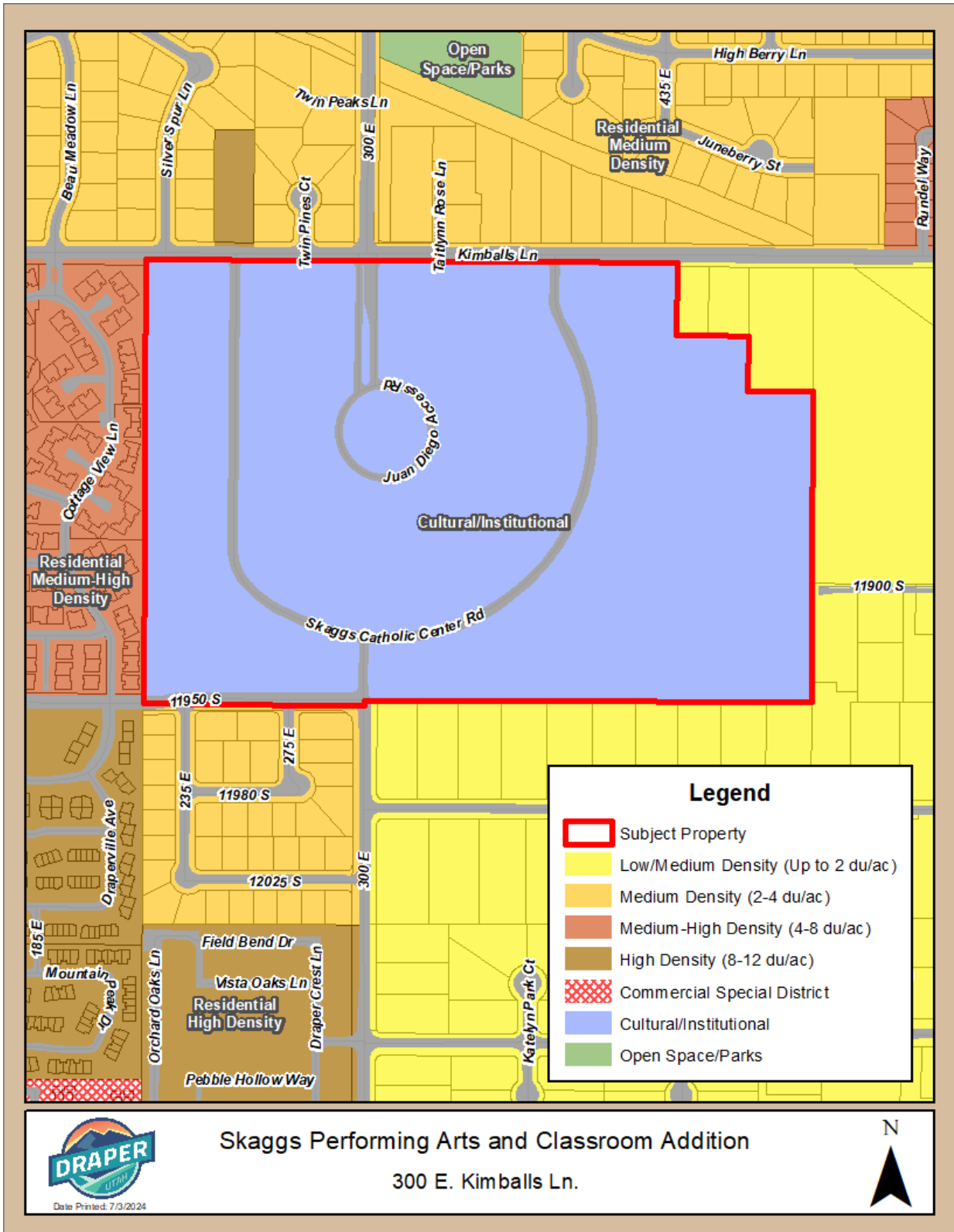
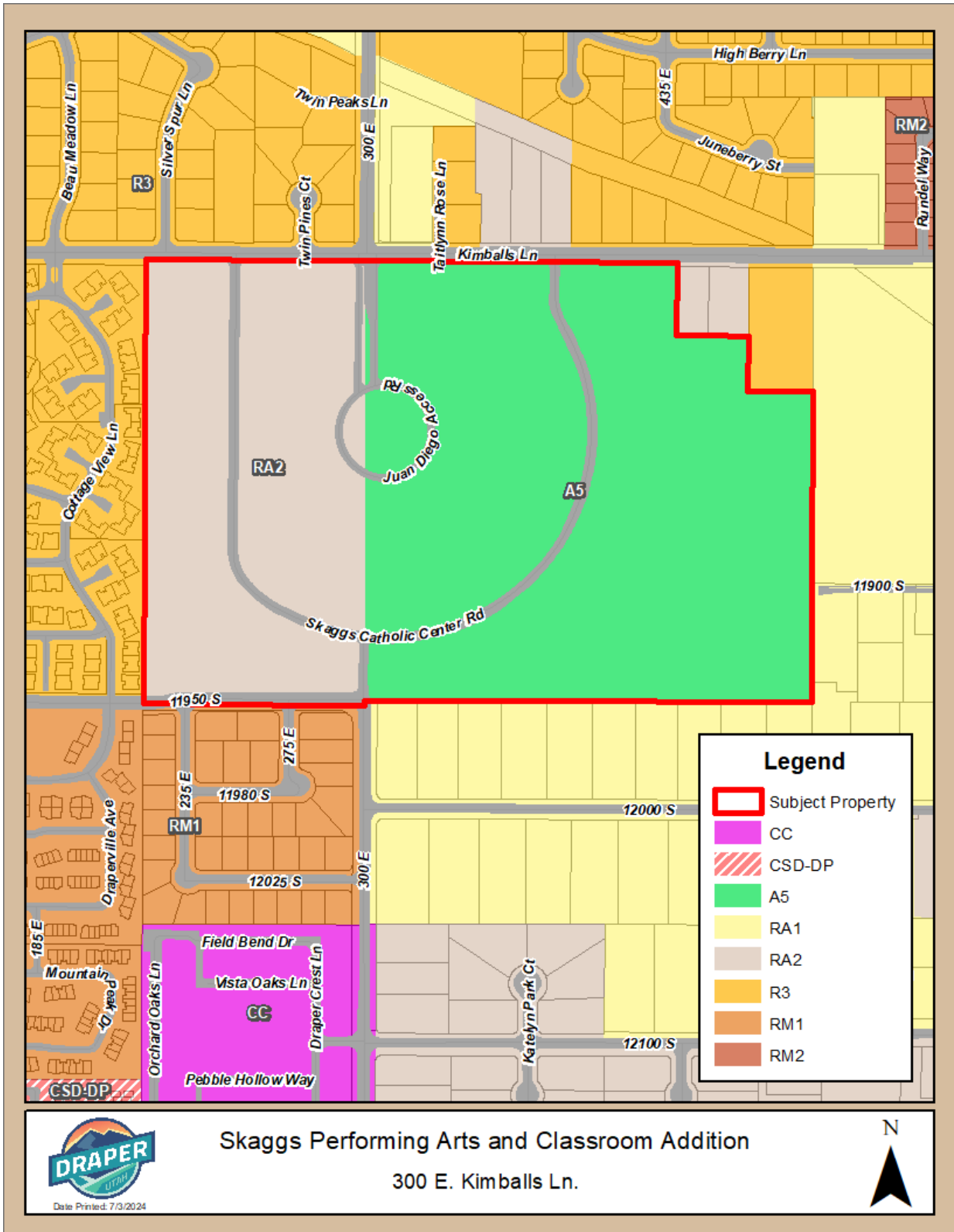


EXHIBIT E ZONING MAP



**EXHIBIT F
SITE PLAN**



JUAN DIEGO CATHOLIC HIGH
PERFORMING ARTS &
CLASSROOM ADDITION
 300 E 11800 S
 DRAPER, UT 84020

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SEAL



MHTN PROJECT NO2023568

Original Drawing is 30 x 42. Do not scale contents of this drawing.

REVISIONS		
CONTRACTOR TO VERIFY DRAWINGS IN FIELD USE REFLECT LAST REVISION DATE.		
NO.	DATE	DESCRIPTION

ISSUE
BID SET
MAY 7, 2024

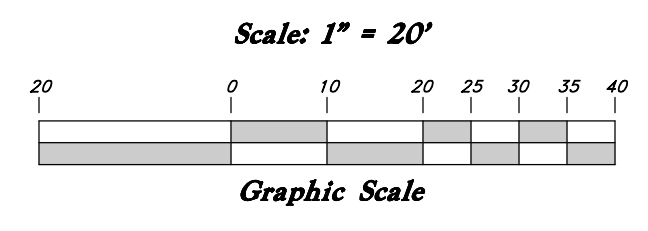
SHEET NAME
SITE PLAN

SHEET NUMBER
C1

Legend

(Note: All items may not appear on drawing)

- San Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Sanitary Sewer
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Water Line
- Fire Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Paving of Concrete
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finished Floor
- Top of Curb
- Top of Wall
- Top of Wall
- Top of Wall
- Natural Ground
- Finished Grade
- Fire Department Connection
- Finished Contour
- Exist. Contour
- Finished Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Spill
- Curb & Gutter
- Demo Tree



GENERAL SITE NOTES:

1. Stalls designated as accessible will require a painted accessible symbol and sign. (See Details)
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
5. All dimensions are to back of curb unless otherwise noted.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property, that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

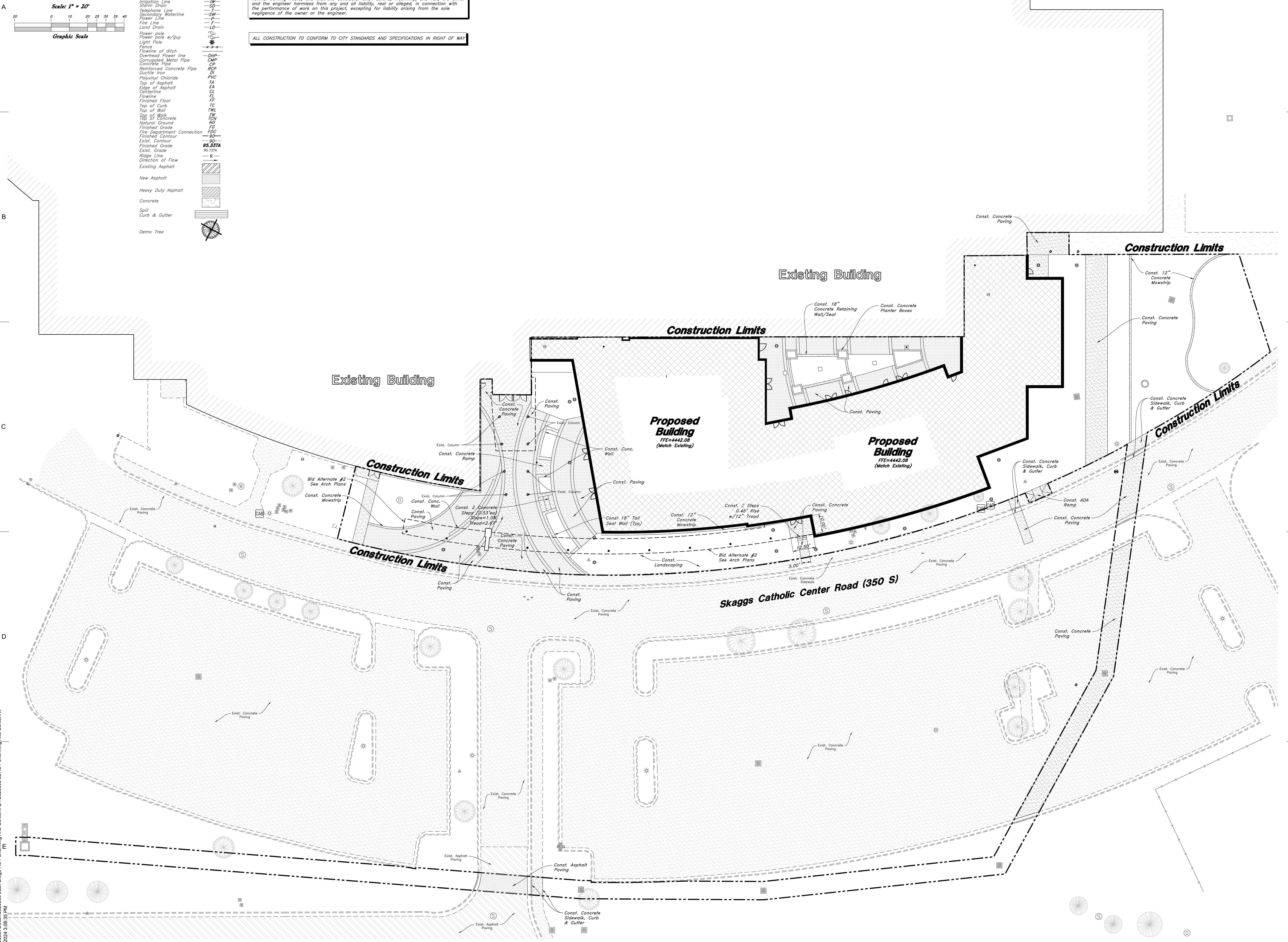
ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

DISTURBANCE AREA CALCS:

Total Disturbance Area: 50,197 SF

Proposed Site Breakdown:

- Roof: 23,671 SF (47%)
- Hardscape: 7,894 SF (16%)
- Landscape: 18,632 SF (37%)



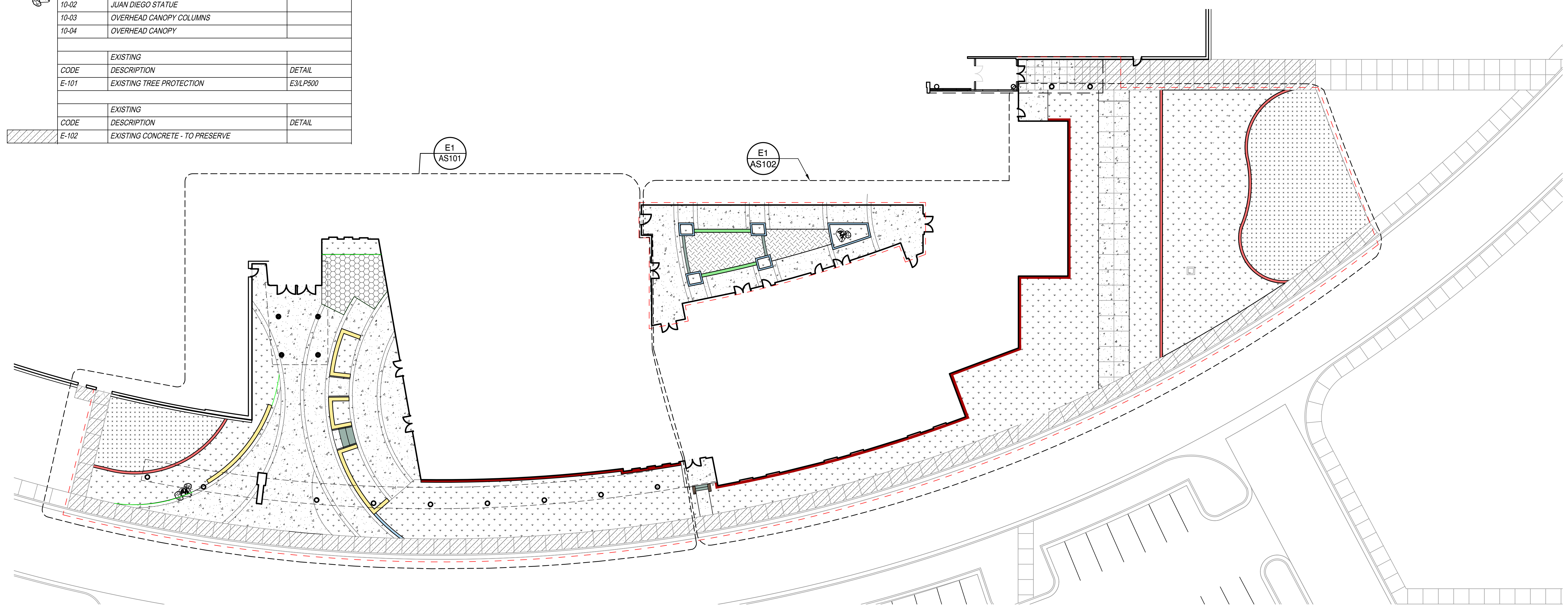
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EXHIBIT G
LANDSCAPE PLAN

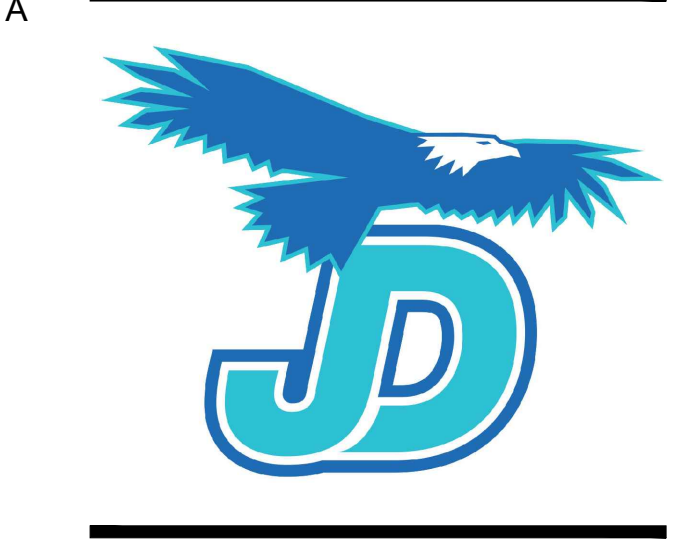
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10	CONCRETE UNIT PAVER	B4/AS500
01 PAVEMENTS, RAMPS, CURBS		
01-01	UNILOCK UMBRIANO CONCRETE UNIT PAVER-COLOR A	B4/AS500
01-02	UNILOCK UMBRIANO CONCRETE UNIT PAVER BANDING SOLDIER COURSE-COLOR B	B4/AS500
01-03	12" CONCRETE APRON	C4/AS500
01-04	12" CONCRETE MOW CURB	B3/AS500
01-05	CONCRETE PAVING- SEE CIVIL	
03 STEPS		
03-01	CONCRETE STAIRS	
04 WALLS AND EMBANKMENTS		
04-01	18" PLANTER SEATWALL	E1/AS500
04-02	FREE STANDING SEATWALL	E1/AS500
04-03	12" PLANTER SEATWALL	C1/AS500
04-04	CONCRETE CHEEKWALL	
06 RAILINGS, BARRIERS, FENCING		
06-01	HANDRAIL	C1/AS501
09 LANDSCAPE AND IRRIGATION		
09-01	3'-5' BOULDER	B3/LP500
09-02	2'-3' BOULDER	B3/LP500
09 LANDSCAPE AND IRRIGATION		
09-03	EXISTING LAWN - TO PRESERVE OR REPLACE	
09-04	PLANTING BED, 1.5"-2" ROCK MULCH	
09-05	STABILIZED DECOMPOSED GRANITE OR CHAT	
09-06	METAL EDGE	
09-07	ARTIFICIAL TURF	A5/AS500
09-08	PLANTING BED, 2"-4" ROCK COBBLE	
09-09	LANDSCAPE AREA	
10 MISCELLANEOUS ELEMENTS		
10-01	LIMIT OF WORK	
10 MISCELLANEOUS ELEMENTS		
10-02	JUAN DIEGO STATUE	
10-03	OVERHEAD CANOPY COLUMNS	
10-04	OVERHEAD CANOPY	
EXISTING		
E-101	EXISTING TREE PROTECTION	E3/LP500
EXISTING		
E-102	EXISTING CONCRETE - TO PRESERVE	

CODE COMPLIANCE

TOTAL LANDSCAPE AREA: 18,212 SQ FT
 TOTAL LAWN AREA: 3,593 SQ FT (20% OF TOTAL LANDSCAPE AREA)
 TOTAL LANDSCAPE AREA WITH PLANTING: 13,970 (76% OF TOTAL LANDSCAPE AREA)

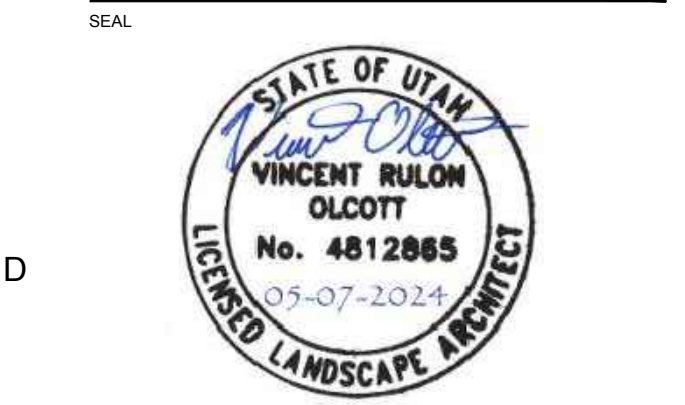


E1 OVERALL SITE PLAN
 SCALE: 1"=20'



JUAN DIEGO CATHOLIC HIGH SCHOOL
 Juan Diego HS Performing Arts Center
 300 11800 S
 Draper, UT 84020

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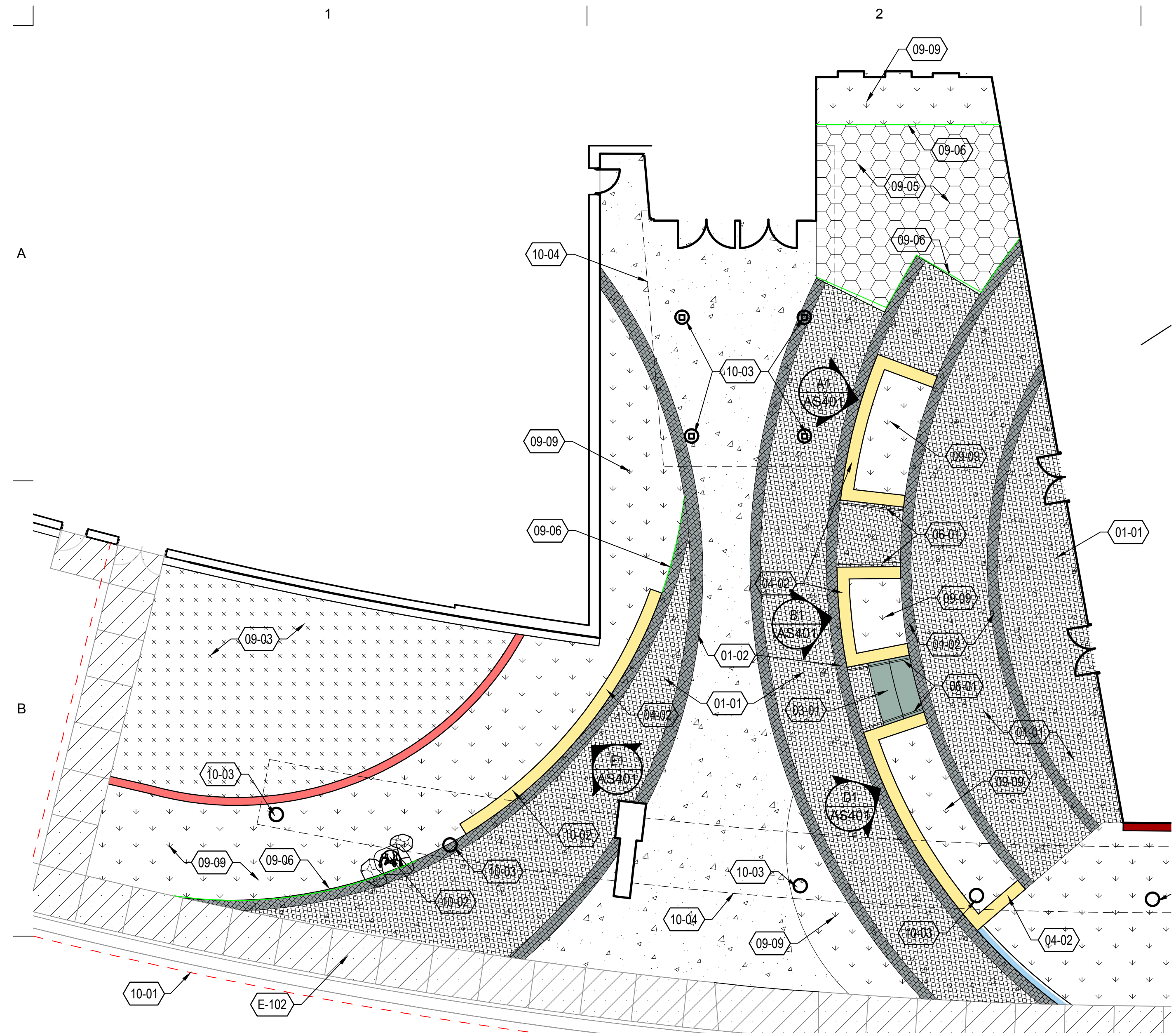
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REVISIONS:
 CONTRACTOR TO VERIFY DRAWINGS IN FIELD USE REFLECT LAST REVISION DATE.

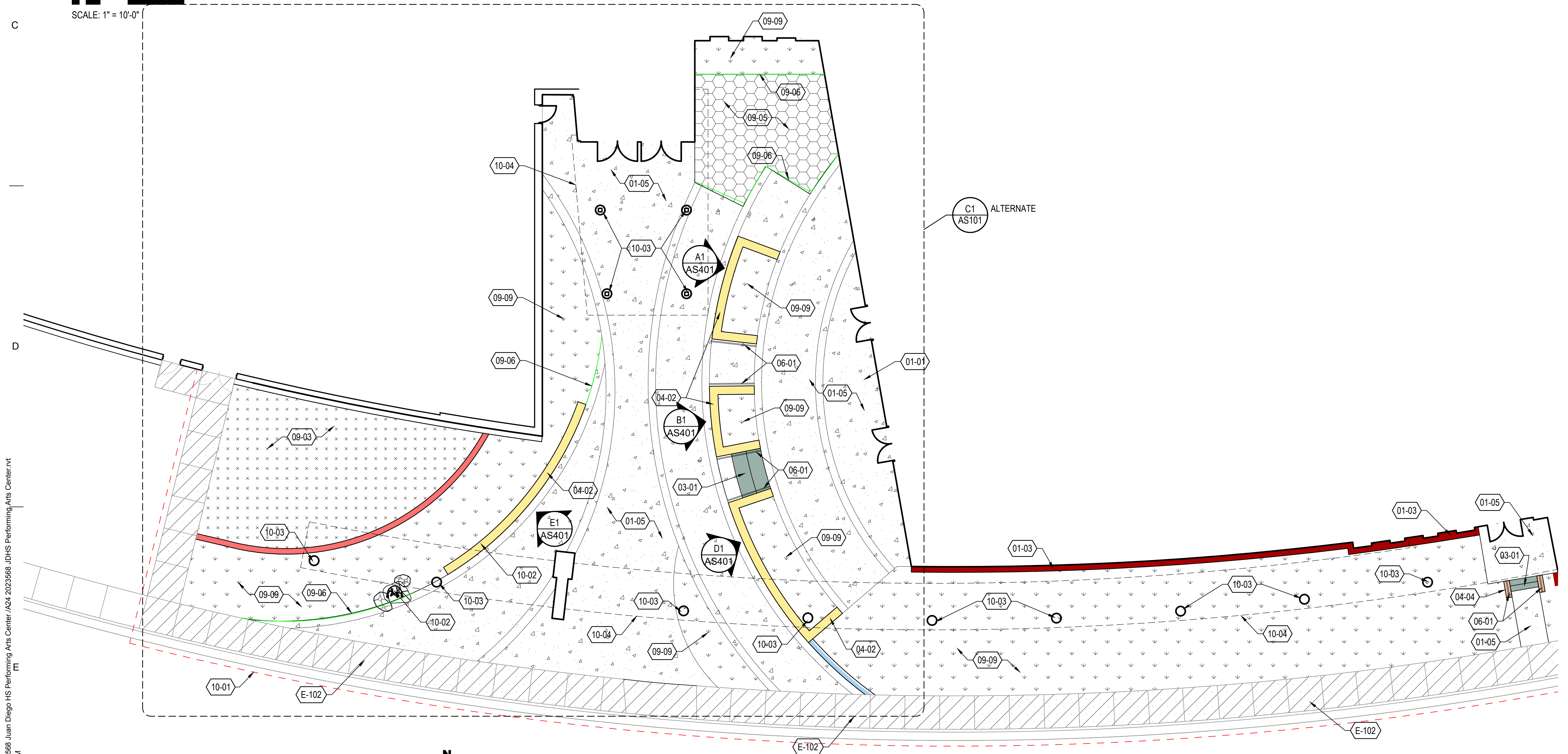
NO.	DATE	DESCRIPTION

ISSUE
 BID SET
 MAY 7, 2024
 SHEET NAME
OVERALL SITE PLAN

SHEET NUMBER
AS100



C1 ENLARGED SITE PLAN ALTERNATE
 SCALE: 1" = 10'-0"



E1 ENLARGED SITE PLAN
 SCALE: 1" = 10'-0"

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	DETAIL
01 PAVEMENTS, RAMPS, CURBS		
01-01	UNILOCK UMBRIANO CONCRETE UNIT PAVER- COLOR A	B4/AS500
01-02	UNILOCK UMBRIANO CONCRETE UNIT PAVER BANDING SOLDIER COURSE- COLOR B	
01-03	12" CONCRETE APRON	C4/AS500
01-04	12" CONCRETE MOW CURB	B3/AS500
01-05	CONCRETE PAVING- SEE CIVIL	
03 STEPS		
03-01	CONCRETE STAIRS	
04 WALLS AND EMBANKMENTS		
04-01	18" PLANTER SEATWALL	E1/AS500
04-02	FREE STANDING SEATWALL	E1/AS500
04-03	12" PLANTER SEATWALL	C1/AS500
04-04	CONCRETE CHEEKWALL	
06 RAILINGS, BARRIERS, FENCING		
06-01	HANDRAIL	C1/AS501
09 LANDSCAPE AND IRRIGATION		
09-03	EXISTING LAWN - TO PRESERVE OR REPLACE	
09-05	STABILIZED DECOMPOSED GRANITE OR CHAT	
09-06	METAL EDGE	
09-07	ARTIFICIAL TURF	A5/AS500
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10 MISCELLANEOUS ELEMENTS		
10-02	JUAN DIEGO STATUE	
10-03	OVERHEAD CANOPY COLUMNS	
10-04	OVERHEAD CANOPY	
EXISTING		
E-102	EXISTING CONCRETE - TO PRESERVE	

MHTN ARCHITECTS
 MHTN Architects, Inc.
 280 South 400 West
 Suite 250
 Salt Lake City, Utah 84101
 Telephone (801) 595-6700
 www.mhtn.com

JUAN DIEGO CATHOLIC HIGH SCHOOL
Juan Diego HS Performing Arts Center
 300 11800 S
 Draper, UT 84020

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NO.	DATE	DESCRIPTION

ISSUE
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 MAY 7, 2024

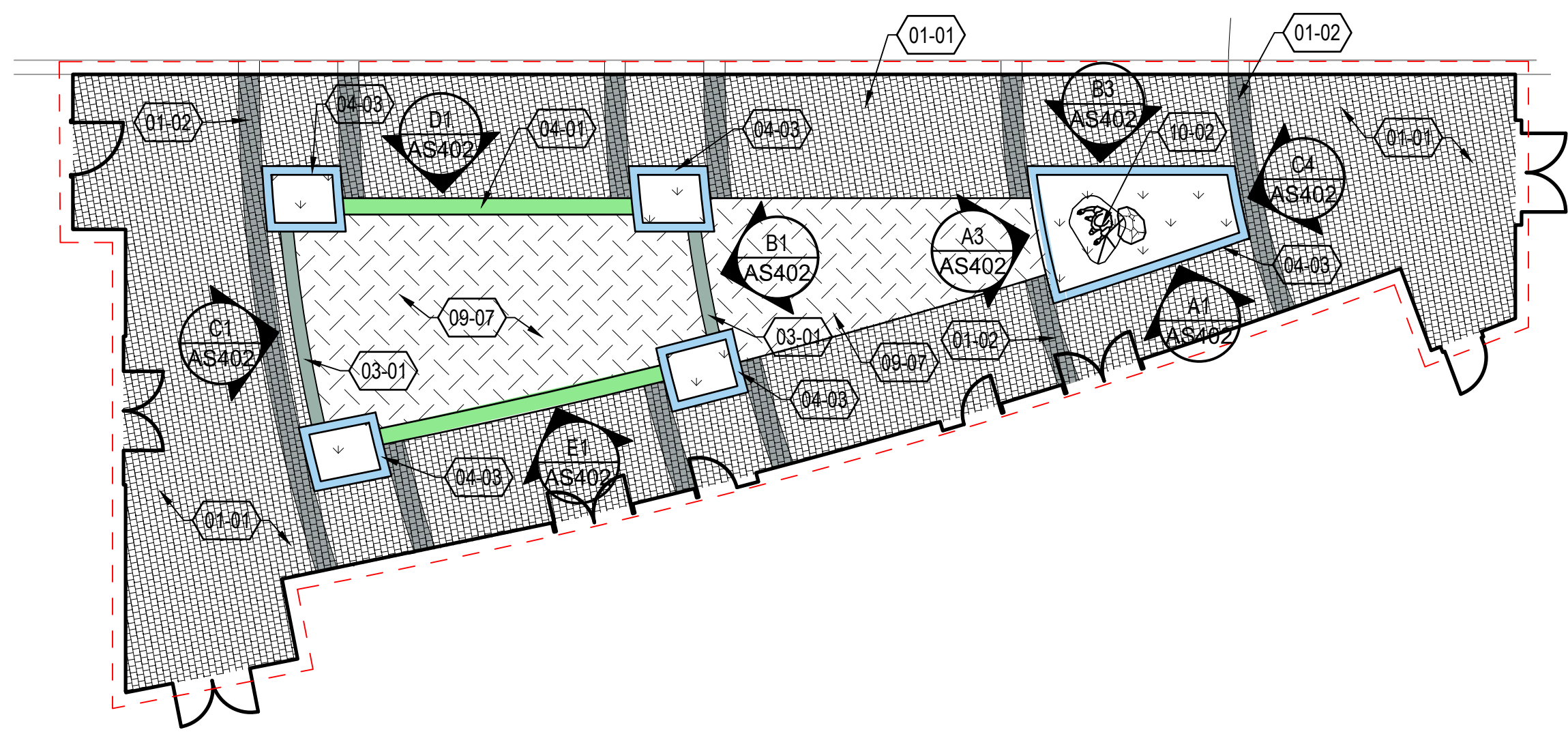
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SHEET NUMBER
AS101

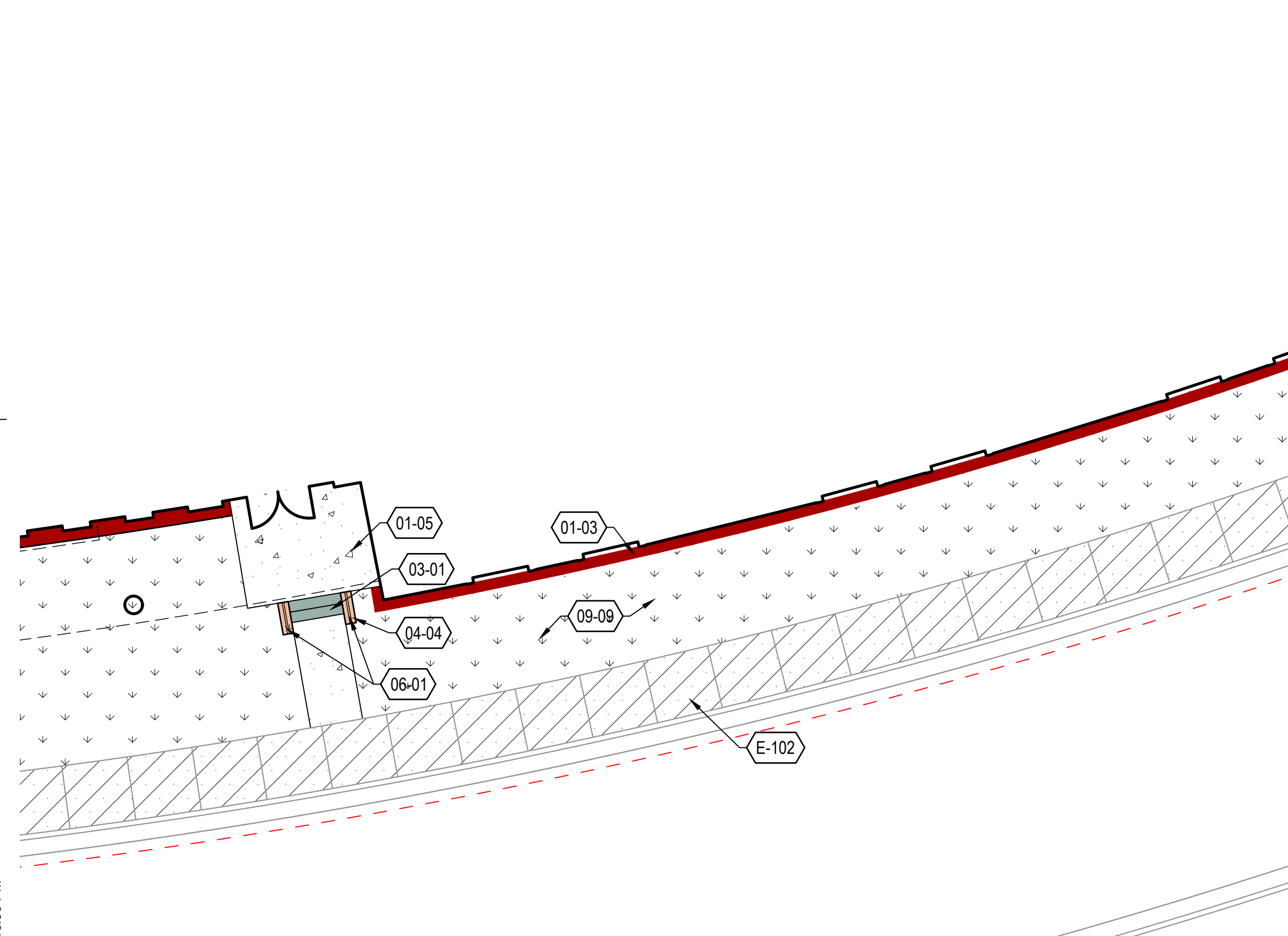
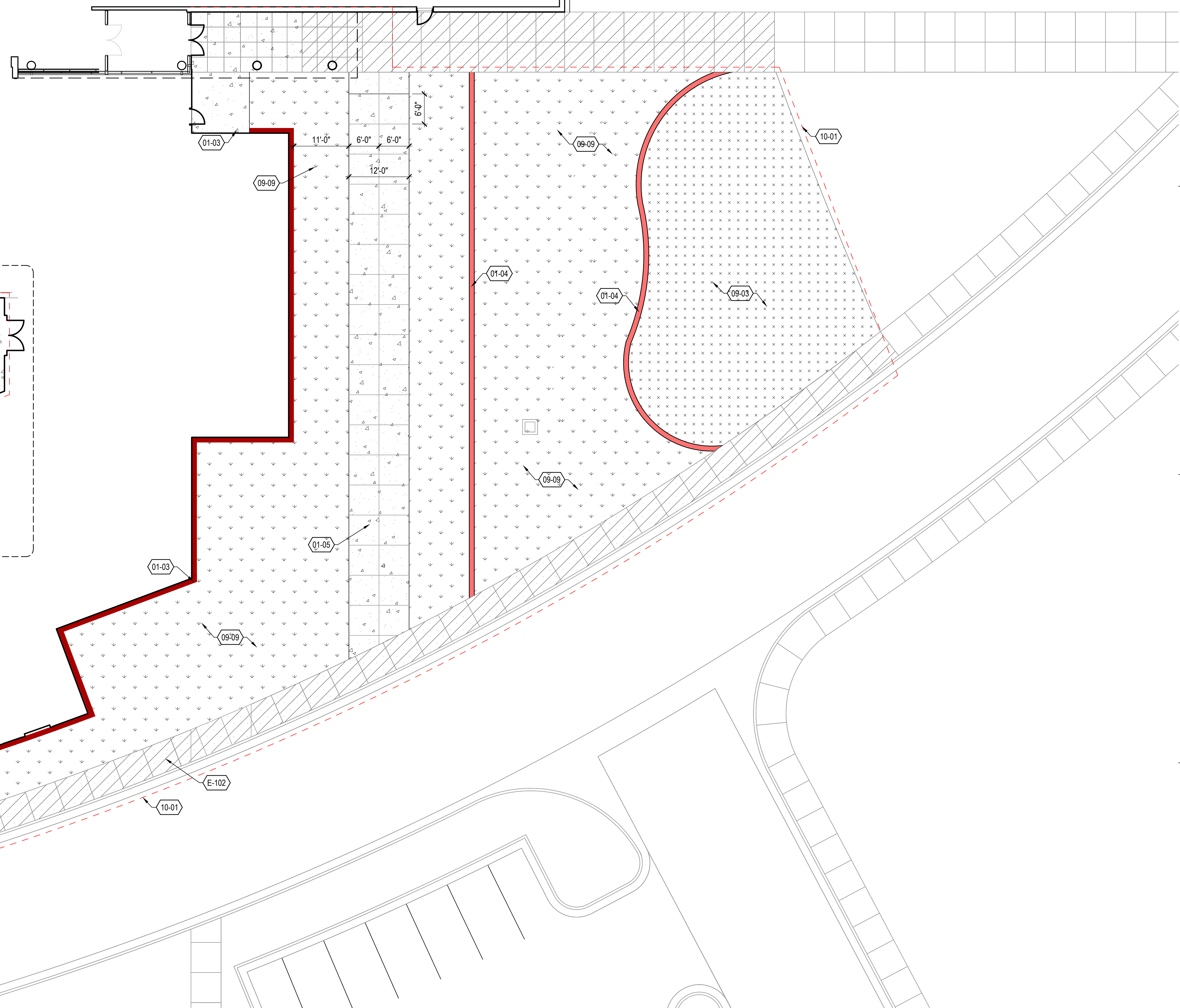
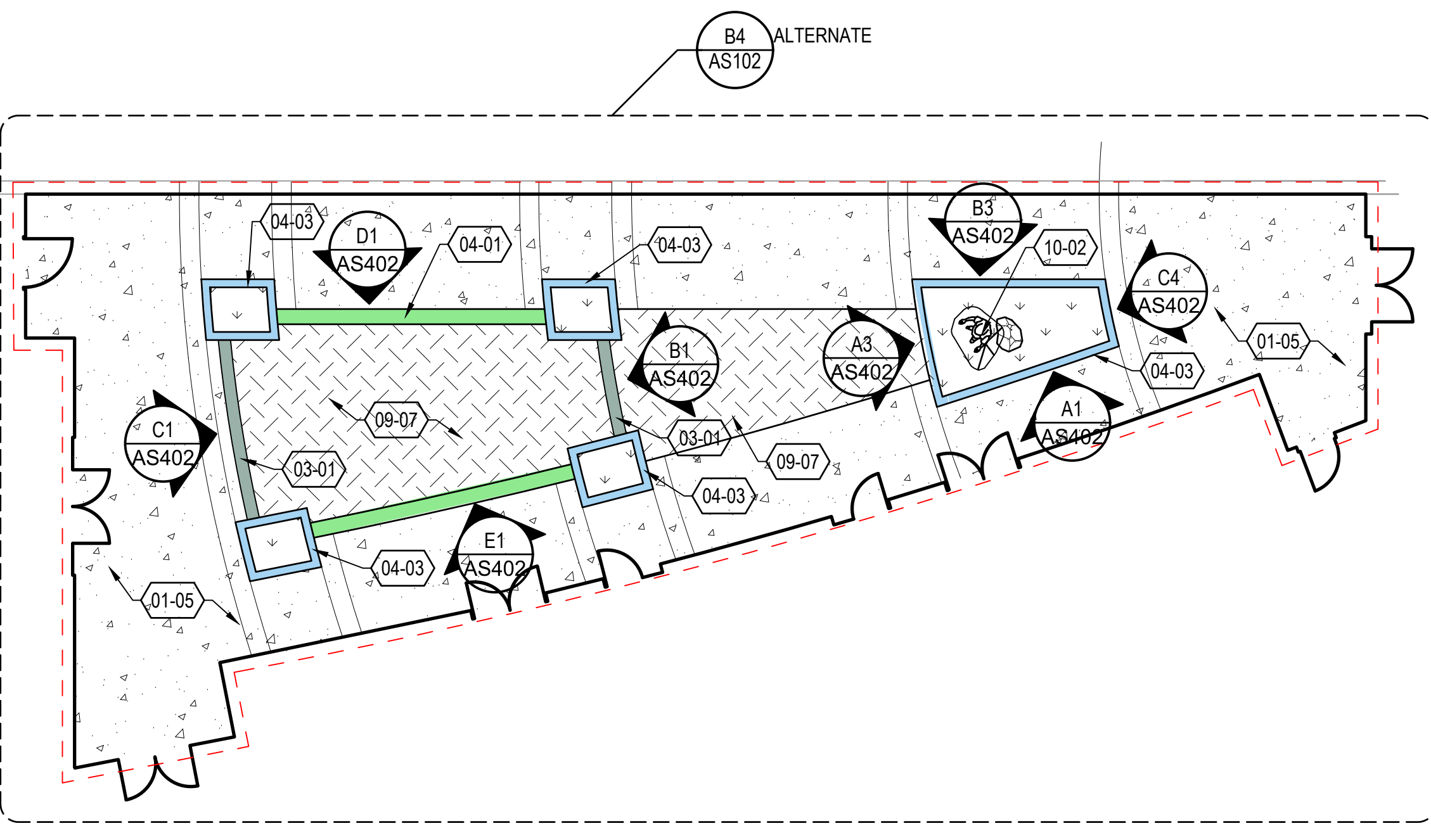
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REFERENCE NOTES SCHEDULE

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01-01	UNILOCK UMBRIANO CONCRETE UNIT PAVER-COLOR A	B4/AS500
01-02	UNILOCK UMBRIANO CONCRETE UNIT PAVER BANDING SOLDIER COURSE-COLOR B	C4/AS500
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09-09	LANDSCAPE AREA	
10 MISCELLANEOUS ELEMENTS		
10-01	LIMIT OF WORK	
10 MISCELLANEOUS ELEMENTS		
10-02	JUAN DIEGO STATUE	
EXISTING		
E-102	EXISTING CONCRETE - TO PRESERVE	



B4 ENLARGED SITE PLAN ALTERNATE
 SCALE: 1" = 10'-0"
 0 5' 10' 20'



E1 ENLARGED SITE PLAN - EAST
 1" = 10'

MHTN ARCHITECTS
 MHTN Architects, Inc.
 280 South 400 West
 Suite 250
 Salt Lake City, Utah 84101
 Telephone (801) 595-6700
 www.mhtn.com

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 Juan Diego HS Performing Arts Center
 300 11800 S
 Draper, UT 84020

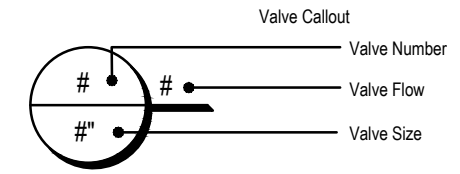
STATE OF UTAH
 VINCENT RULON
 OLDCOTT
 No. 4812885
 05-07-2024
 LANDSCAPE ARCHITECT

MHTN PROJECT NO. 2023568
 Original drawing is 30 x 42. Do not scale contents of this drawing.
 REVISIONS
 CONTRACTOR TO VERIFY DRAWINGS IN FIELD USE REFLECT LAST REVISION DATE.
 NO. DATE DESCRIPTION
 ISSUE
 BID SET
 MAY 7, 2024
 SHEET NAME
E1 ENLARGED SITE PLAN - EAST
 SHEET NUMBER
AS102

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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER PROS-06-PRS40-CV-F 12 SERIES TURF SPRAY, 40PSI REGULATED BIN, POP-UP WITH FACTORY INSTALLED DRAIN CHECK VALVE & FLOGUARD, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	
	HUNTER PROS-06-PRS40-CV-F 15 SERIES TURF SPRAY, 40PSI REGULATED BIN, POP-UP WITH FACTORY INSTALLED DRAIN CHECK VALVE & FLOGUARD, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	
	HUNTER MP2000 PROS-06-PRS40-CV-F TURF ROTATOR, BIN, POP-UP WITH FACTORY INSTALLED CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY, K-BLACK ADJ ARC 90-210, G-GREEN ADJ ARC 210-270, R-RED 360 ARC.	
	RAIN BIRD RW5-B-C 1400 SERIES ROOT WATERING SYSTEM WITH 4.0IN. DIAMETER X 36.0IN. LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE, AND CHECK VALVE. RAIN BIRD BUBBLER OPTION AS INDICATED: 1401 0.25 GPM, 1402 0.5 GPM, 1404 1.0 GPM, 1408 2.0 GPM.	
	RAIN BIRD XCV-100-1/4MO WIDE FLOW IVM DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1IN. BALL VALVE WITH 1IN. PESBVM SMART VALVE W/ FACTORY INSTALLED IVM-SOL 0.3-20 GPM AND 1IN. PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER 0.3-20 GPM	
	AREA TO RECEIVE DRIPLINE RAIN BIRD XCV-09-18 XCV ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 3.5 PSI CHECK VALVE, 0.9 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. GREAT FOR ELEVATION CHANGE. SPECIFY XFF INSERT FITTINGS.	
	RAIN BIRD PEB-PRS-D 1IN. 1-1/2IN. 2IN. PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.	4
	RAIN BIRD 44-RC 1IN. BRASS QUICK-COUPING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	5
	APOLLO VALVES 70-100 BALL VALVE (LEAD FREE), LEAD FREE BRONZE BODY, BLOW-OUT PROOF STEM DESIGN, MULT-FILL PTFE SEATS & SEALS	5
	MATCO-NORCA 759 BRASS SHUT OFF BALL VALVE, 1/2" TO 4". TWO PIECE BODY, BLOW-OUT PROOF STEM, CHROME PLATED SOLID BRASS BALL, THREADED, WITH PTFE SEATS. SAME SIZE AS MAINLINE PIPE.	2
	DRAIN VALVE	5
	RAIN BIRD ESP-9V1 1 ZONE, 9V BATTERY-OPERATED CONTROLLER. INSTALL WITH (TBOSSPOL) 9V. DC LATCHING SOLENOID. USE (TBOSSADAPP OR TBOSSADAPB) ADAPTERS FOR NON-RAIN BIRD PLASTIC/BRASS VALVES.	1
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	2,023 L.F.
	IRRIGATION MAINLINE: PVC SCHEDULE 40 SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 FITTINGS	617.1 L.F.
	PIPE SLEEVE: PVC CLASS 200 SDR 21	149.4 L.F.



IRRIGATION REMODEL NOTES

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE EXISTING SPRINKLER IRRIGATION SYSTEM IN TERMS OF FLOW CAPACITY, VALVE WIRING, VALVE AND HEAD LAYOUT AND CONTROLLER CAPACITY.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMODEL OF A SECTION OF THE EXISTING IRRIGATION SYSTEM AS SHOWN AND FOR PROVIDING FOR FULL COVERAGE OF ALL SYSTEM HEADS AND FOR THE FULL AND COMPLETE OPERATION OF BOTH THE NEW AND EXISTING SYSTEM IN THE AREAS BEING MODIFIED.

THIS CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK AND TIMES WITH THE OWNER.

MAINTAIN AND PROTECT AS MUCH OF THE EXISTING IRRIGATION SYSTEM AS POSSIBLE AND FEASIBLE AND STILL PROVIDE FOR FULL COVERAGE OF THE ENTIRE AREA. KEEP ALL LAWN AREA HEADS ON A SEPARATE CIRCUIT FROM SHRUB AREA HEADS.

THE EXISTING IRRIGATION SYSTEMS NOTED TO REMAIN IN USE SHALL BE PATCHED AND REPAIRED AS NECESSARY. MAINTAIN OPERATION OF THE EXISTING SYSTEM AS REQUIRED TO PROTECT EXISTING PLANT MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE OR DEATH OF EXISTING PLANT MATERIAL.

ALL SALVAGED HEADS SHALL BE RE-USED IN THE NEW SYSTEM, IF COMPATIBLE WITH NEW HEADS, OR RETURNED TO THE OWNER.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING VALVE WIRING AND RE-ROUTING AS SHOWN AND AS REQUIRED. MINIMIZE THE USE OF WIRE SPLICES. PROVIDE TEMPORARY WIRING AS REQUIRED TO KEEP THE EXISTING SYSTEM IN OPERATION.

REPAIR DAMAGE TO EXISTING IRRIGATION SYSTEM AND LAWN RESULTING FROM CONSTRUCTION OPERATIONS.

DRIP IRRIGATION NOTES

LAYOUT DRIP LINE SO THAT AS A MINIMUM ALL SHRUBS LIE BETWEEN TWO ROWS OF DRIPPER LINE AND SO THAT ROWS ARE 18" TO 24" APART TYPICAL. FIELD VERIFY SOIL, SUBSOIL AND SLOPE CONDITIONS AND MODIFY AS REQUIRED.

COORDINATE LAYOUT OF DRIP LINE WITH THE LAYOUT OF THE PLANT MATERIAL THROUGHOUT.

INSTALL AUTOMATIC DRAINS AT ALL LOW POINTS IN THE PVC SUPPLY AND EXHAUST HEADERS TO ENSURE COMPLETE DRAINAGE.

FLUSH OUT THE SYSTEM COMPLETELY PRIOR TO INSTALLING THE FLUSH VALVES TO PREVENT CLOGGING.

INSTALL PVC SUPPLY AND EXHAUST HEADERS A MIN. OF 6" BELOW FINISH GRADE TYPICAL THROUGHOUT.

INSTALL DRIPPER LINE 2" BELOW FINISH GRADE DIRECTLY BELOW BARK MULCH LAYER.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AN ADEQUATE AMOUNT OF AIR RELIEF VALVES. EACH ZONE, SEPARATE AREA WITHIN ZONES, OR AREAS WITHIN ZONES SEPARATED BY GRADE VARIATIONS REQUIRE AIR RELIEF VALVES. INSTALL IN 2" PVC SLEEVES WITH MARKER CAP.

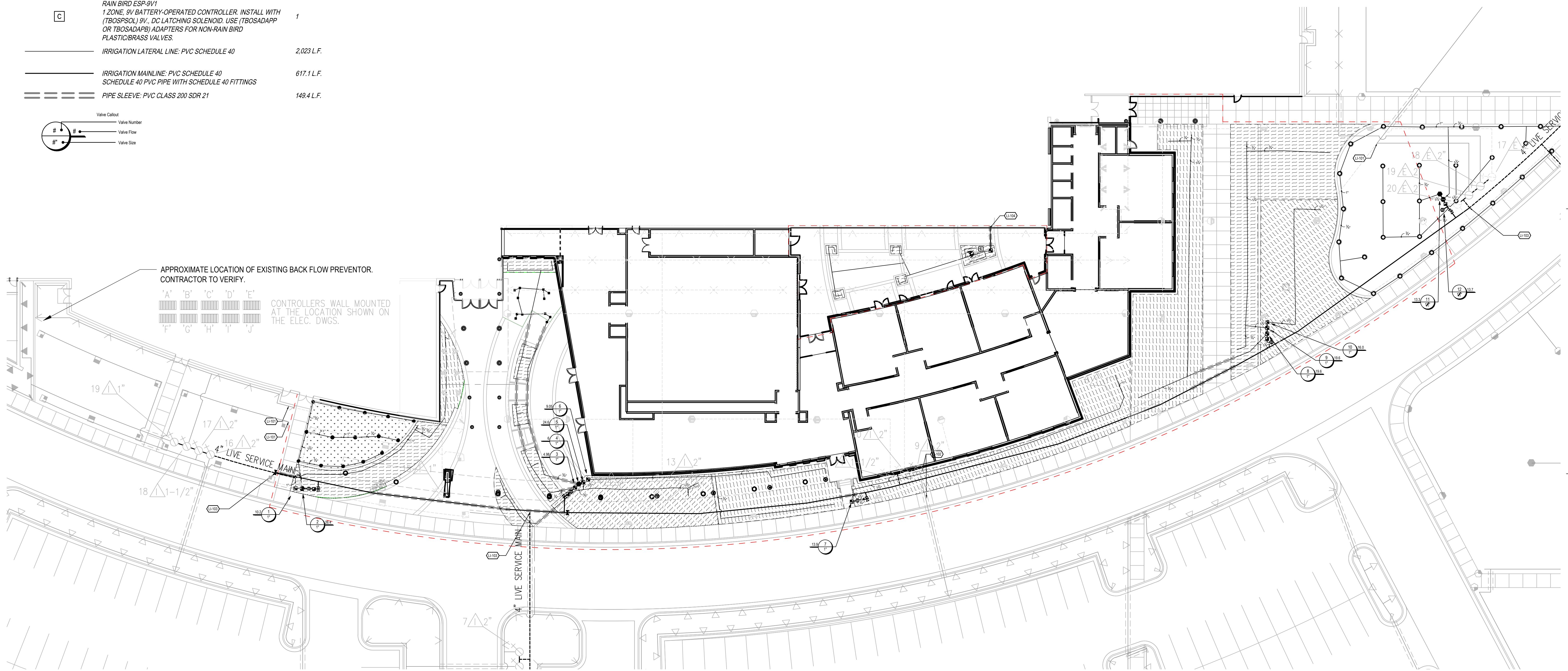
ALL PVC SUPPLY AND EXHAUST HEADERS SHALL BE A MINIMUM OF 1" IN SIZE.

INSTALL MULTI-OUTLET EMITTERS AS DETAILED AND AS PER MFGRS. RECOMMENDATIONS.

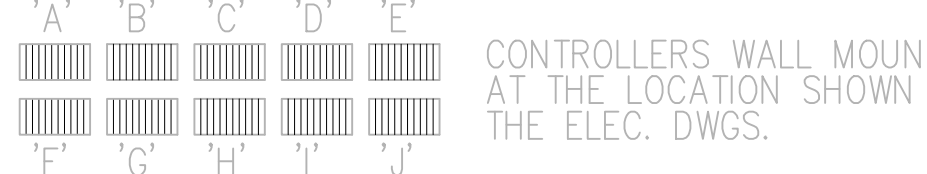
ALL FILTERING AND VALVING FOR BOTH THE DRIPPER LINE AND MULTI-OUTLET EMITTERS SHALL BE ACCOMMODATED USING THE SAME VALVE/FILTER/ PRESSURE REGULATING ASSEMBLY.

REFERENCE NOTES

CODE	DESCRIPTION	DETAIL
LI-101	CUT AND CAP EXISTING LATERAL LINE LEADING TO EXISTING DEMOLISHED HEAD.	
LI-102	CONNECT EXISTING VALVE TO NEW MAINLINE AND CONNECT TO EXISTING LATERAL.	
LI-103	CONNECT TO EXISTING MAINLINE. FIELD VERIFY LOCATION AND SIZE OF EXISTING MAINLINE.	
LI-104	CONNECT VALVE TO CULINARY WATER LINE PROVIDED BY MECHANICAL CONTRACTOR.	



APPROXIMATE LOCATION OF EXISTING BACK FLOW PREVENTOR. CONTRACTOR TO VERIFY.



E1 OVERALL IRRIGATION PLAN

MHTN ARCHITECTS
 MHTN Architects, Inc.
 280 South 400 West
 Suite 250
 Salt Lake City, Utah 84101
 Telephone (801) 595-6700
 www.mhtn.com

JUAN DIEGO CATHOLIC HIGH SCHOOL
 Juan Diego HS Performing Arts Center
 300 11800 S
 Draper, UT 84020

STATE OF UTAH
 VINCENT RULON
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MHTN PROJECT NO. 2023568

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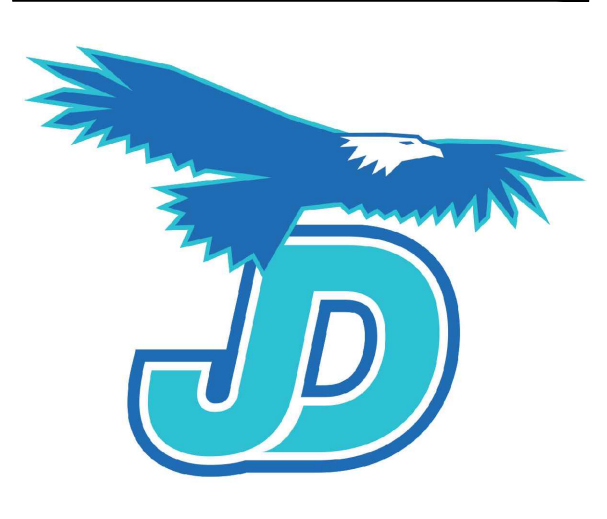
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NO.	DATE	DESCRIPTION

DATE: MAY 7, 2024
 SHEET NAME: OVERALL IRRIGATION PLAN

SHEET NUMBER: LI100

Referenced Drawing: 20230568 Juan Diego HS Performing Arts Center (A2) 2023568 JPHS Performing Arts Center.rvt
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 Juan Diego HS Performing Arts Center
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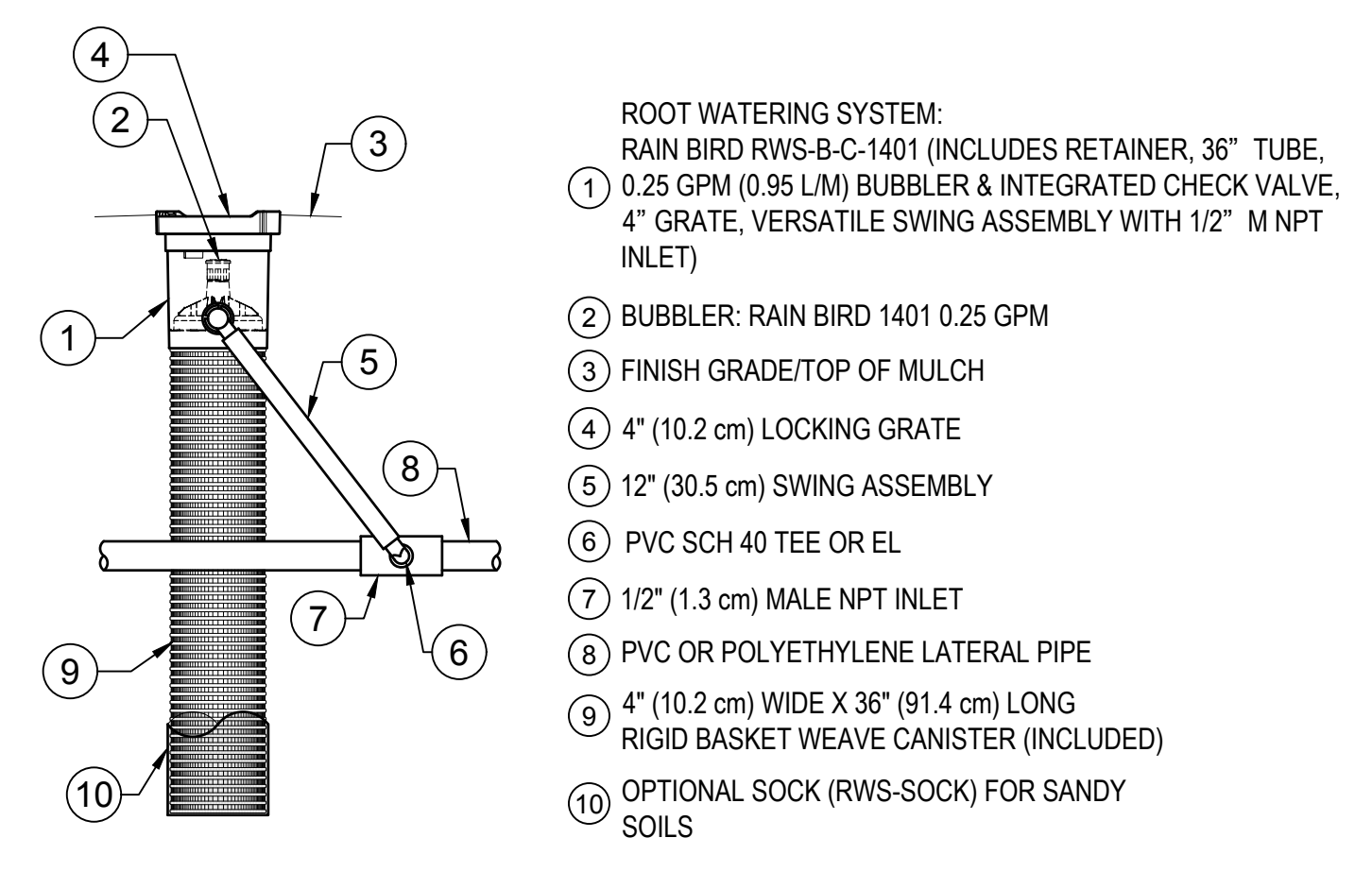
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NO.	DATE	DESCRIPTION

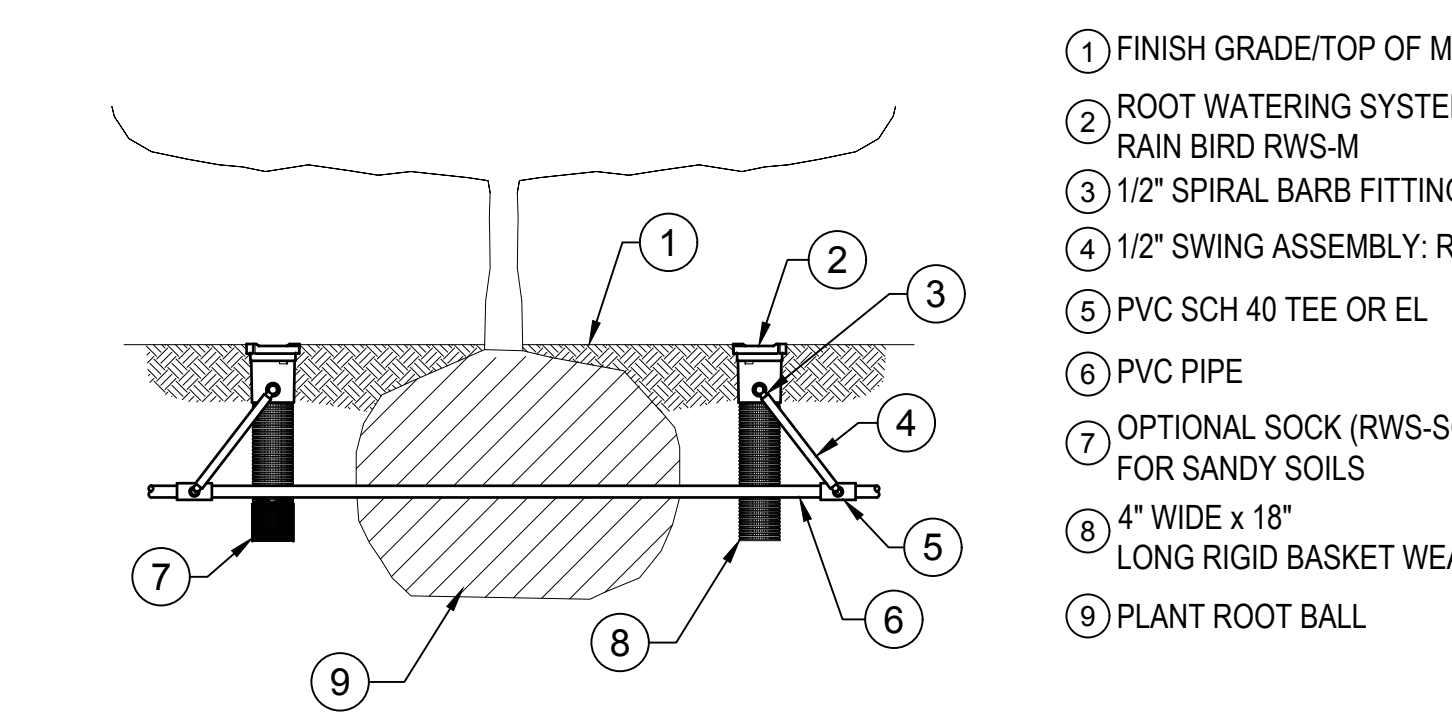
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 BID SET
 SHEET NAME: IRRIGATION DETAILS
 SHEET NUMBER

LI500



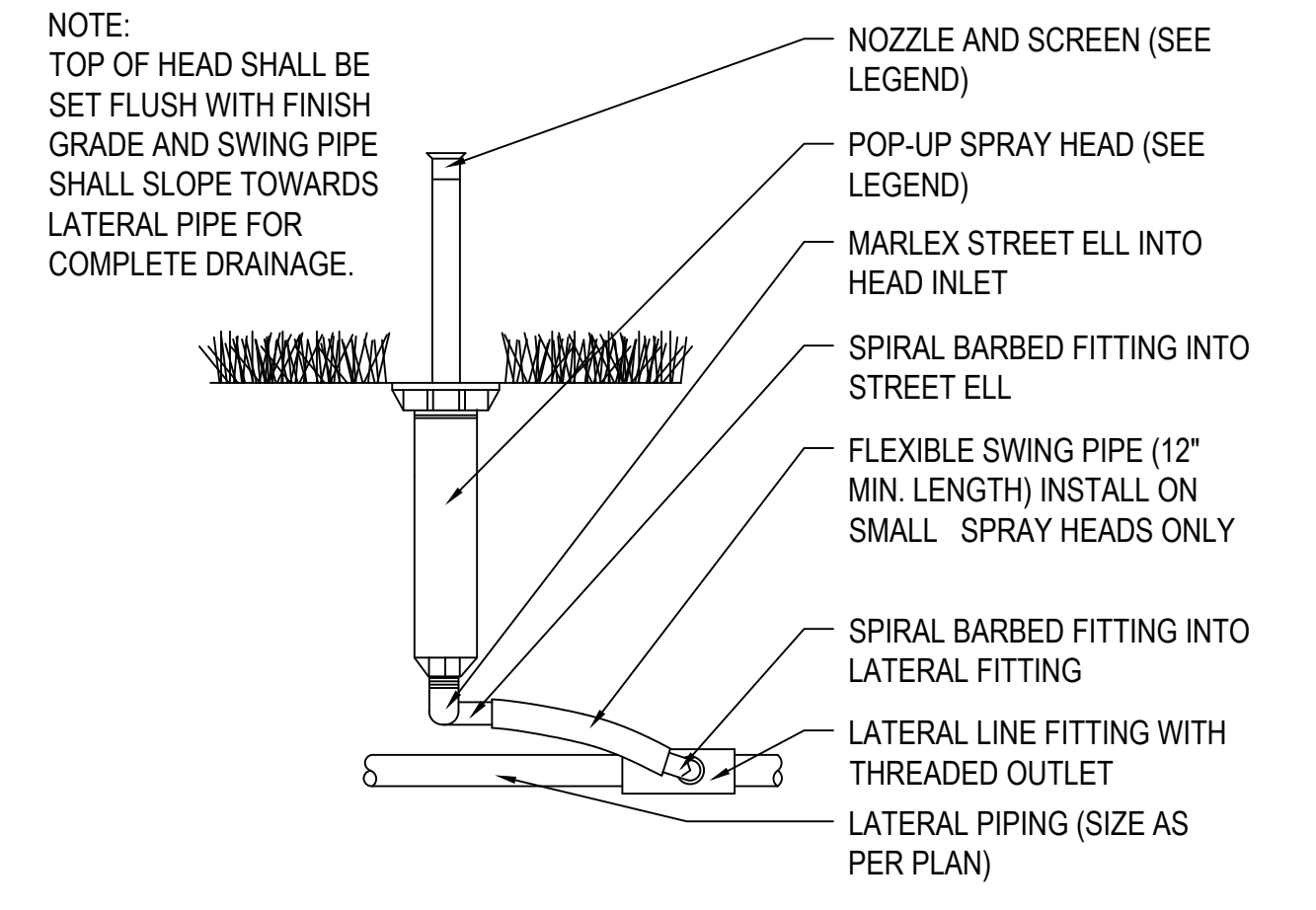
NOTES:
 1. 4" (10.2 cm) GRATE IS ALSO AVAILABLE IN PURPLE (RWS-GRATE-P).
 2. INSTALL PRODUCT SO THAT THE GRATE IS EVEN WITH FINISH GRADE OR TOP OF MULCH.
 3. OPTIONAL SAND SOCK (RWS-SOCK) IS 34" (86.4 cm) IN LENGTH TO COVER MESH BASKET AREA.
 4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 cm) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
 5. ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.

B3 ROOT WATERING SYSTEM-B-C-1401
 NOT TO SCALE P-JU1-328403-01

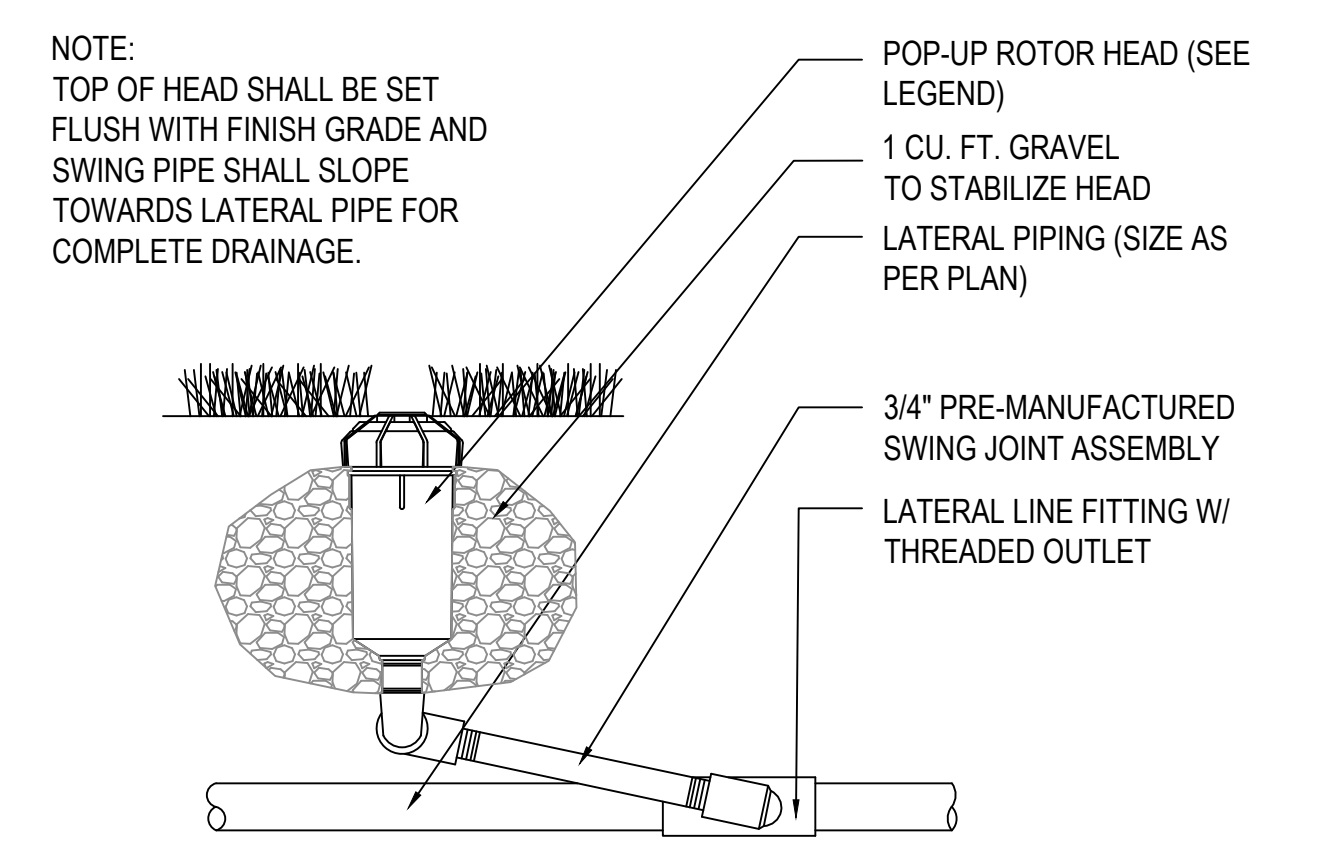


NOTES:
 1. POSITION 2 UNITS EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK.
 2. INSTALL PRODUCT WITH TOP EVEN WITH FINISH GRADE OR THE TOP OF MULCH.
 3. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
 4. ONCE RWS-M HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.
 5. OPTIONAL RWS-SOCK FOR USE IN SANDY SOILS.

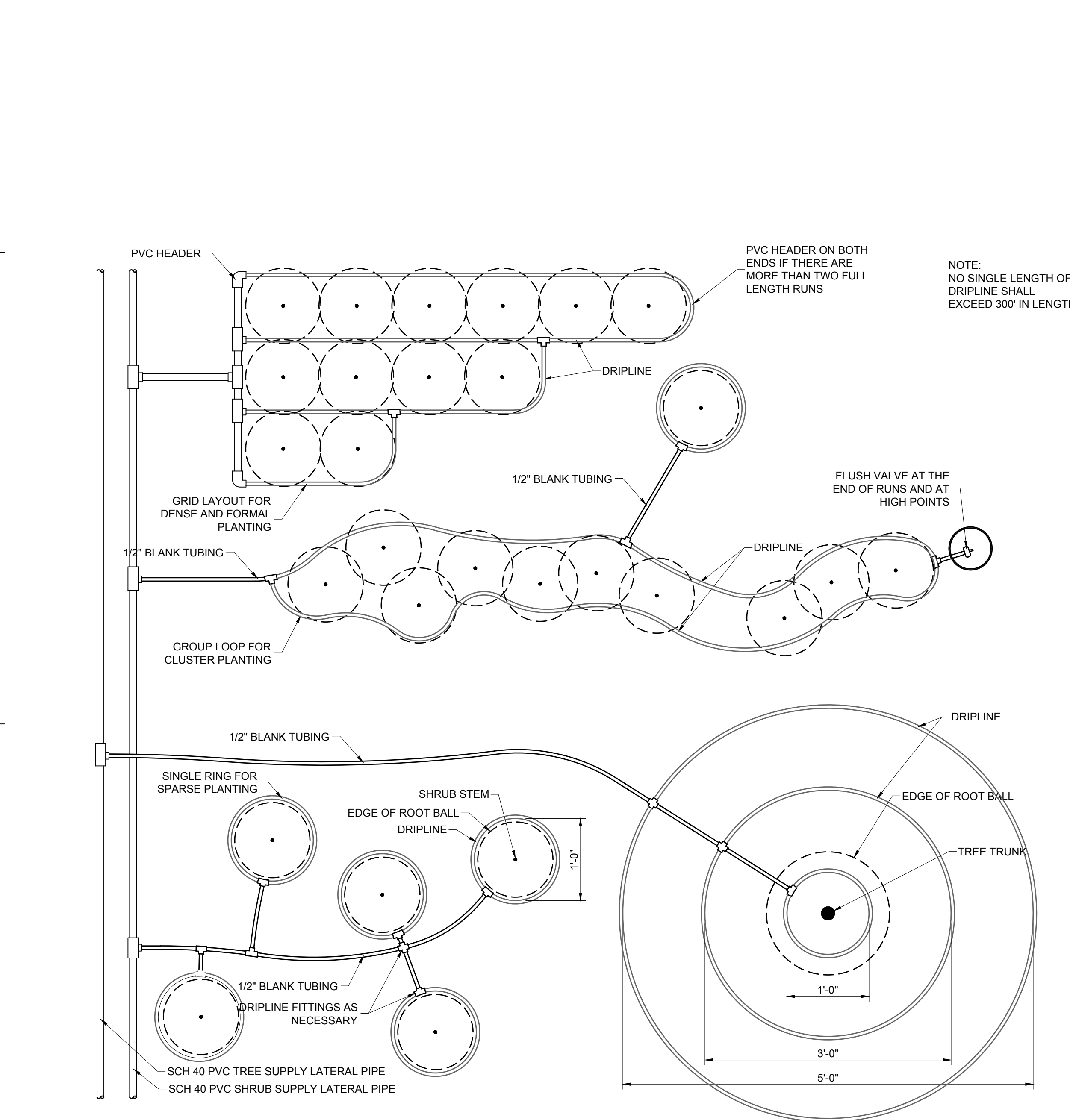
C3 ROOT WATERING SYSTEM - TREE INSTALLATION
 NOT TO SCALE P-JU1-328413-11



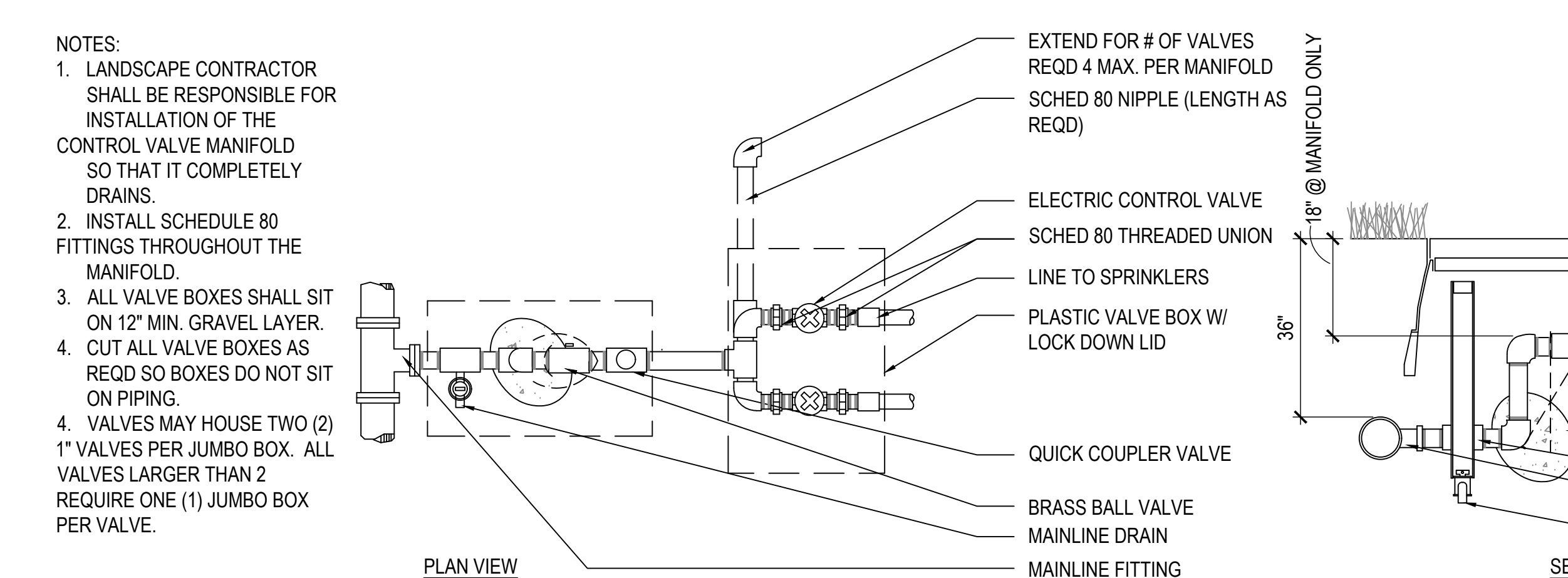
B4 POP-UP SPRAY HEAD
 1" = 1" P-JU1-328403-04



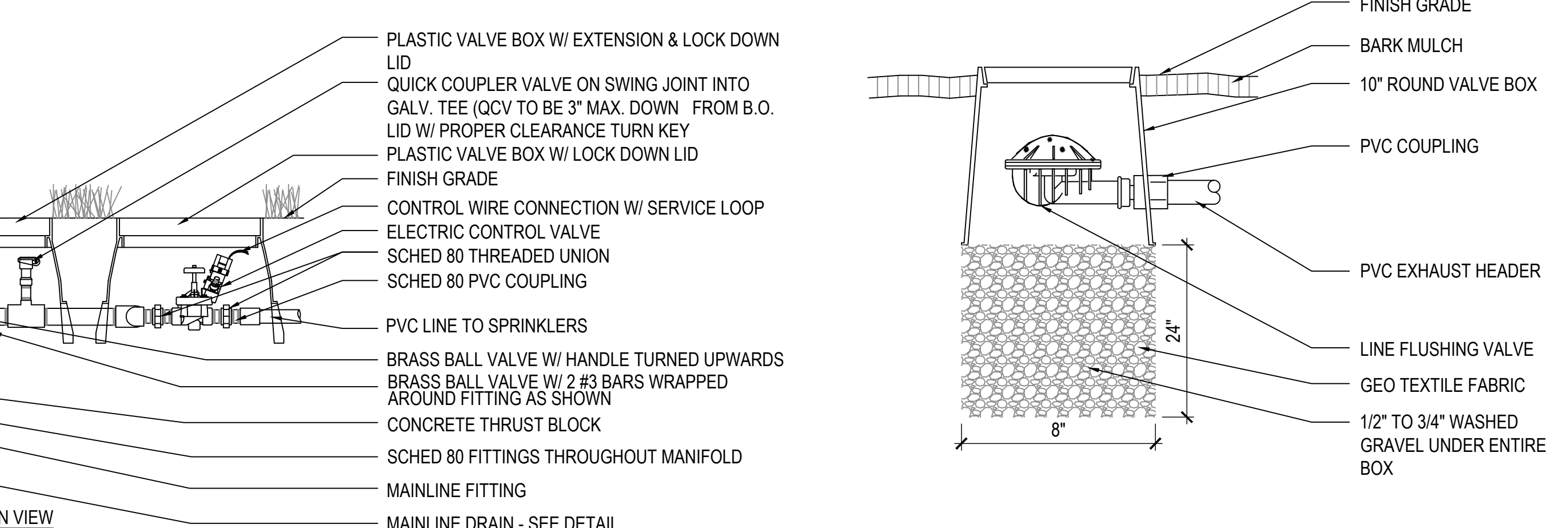
C4 POP-UP ROTOR HEAD
 1" = 1" P-JU1-328403-02



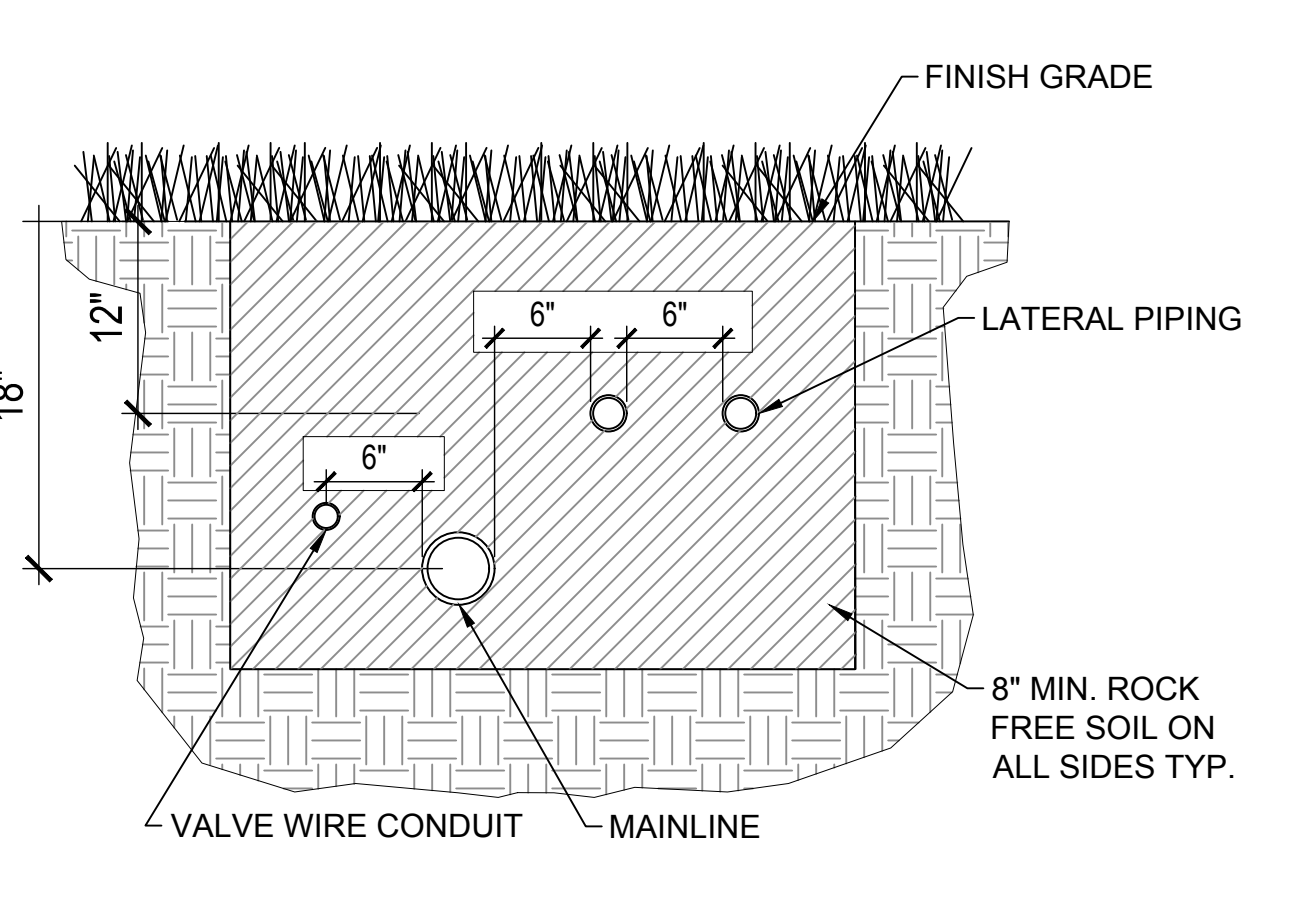
C1 DRIPLINE LAYOUT AT TREES AND SHRUBS
 1" = 1'-0" P-JU1-328413-11



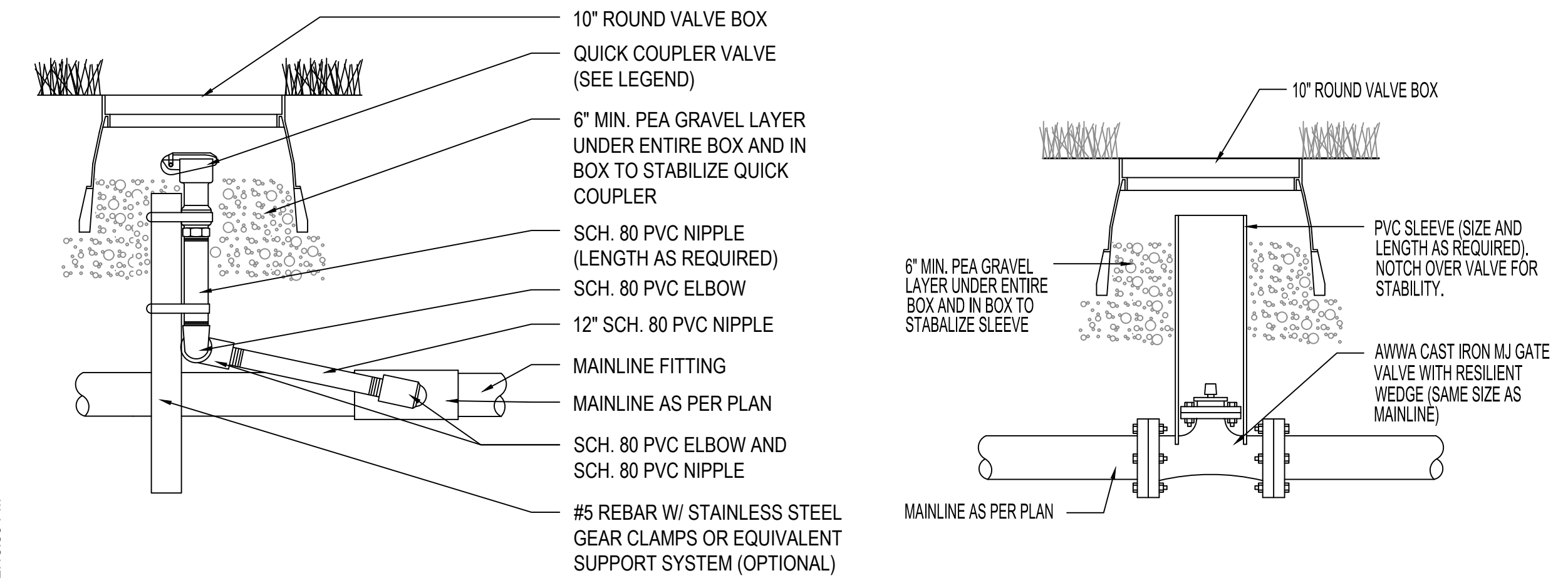
D1 CONTROL VALVE MANIFOLD
 1" = 1" P-JU1-328406-11



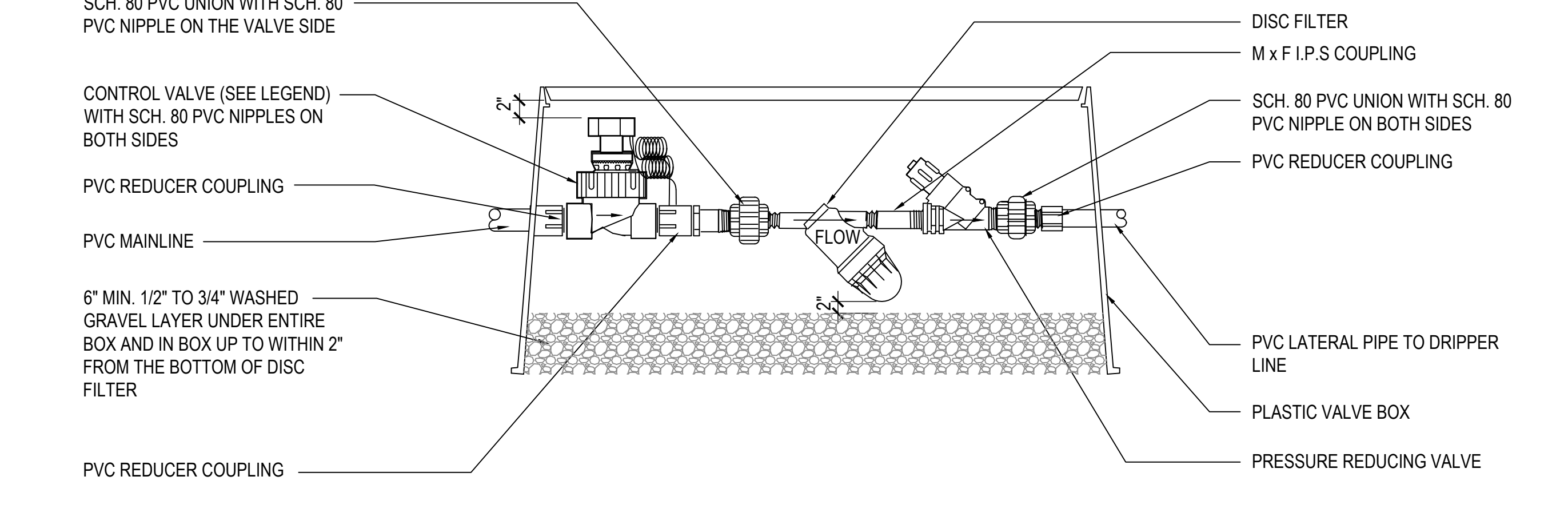
D4 DRIP FLUSH VALVE
 1" = 1" P-JU1-328406-11



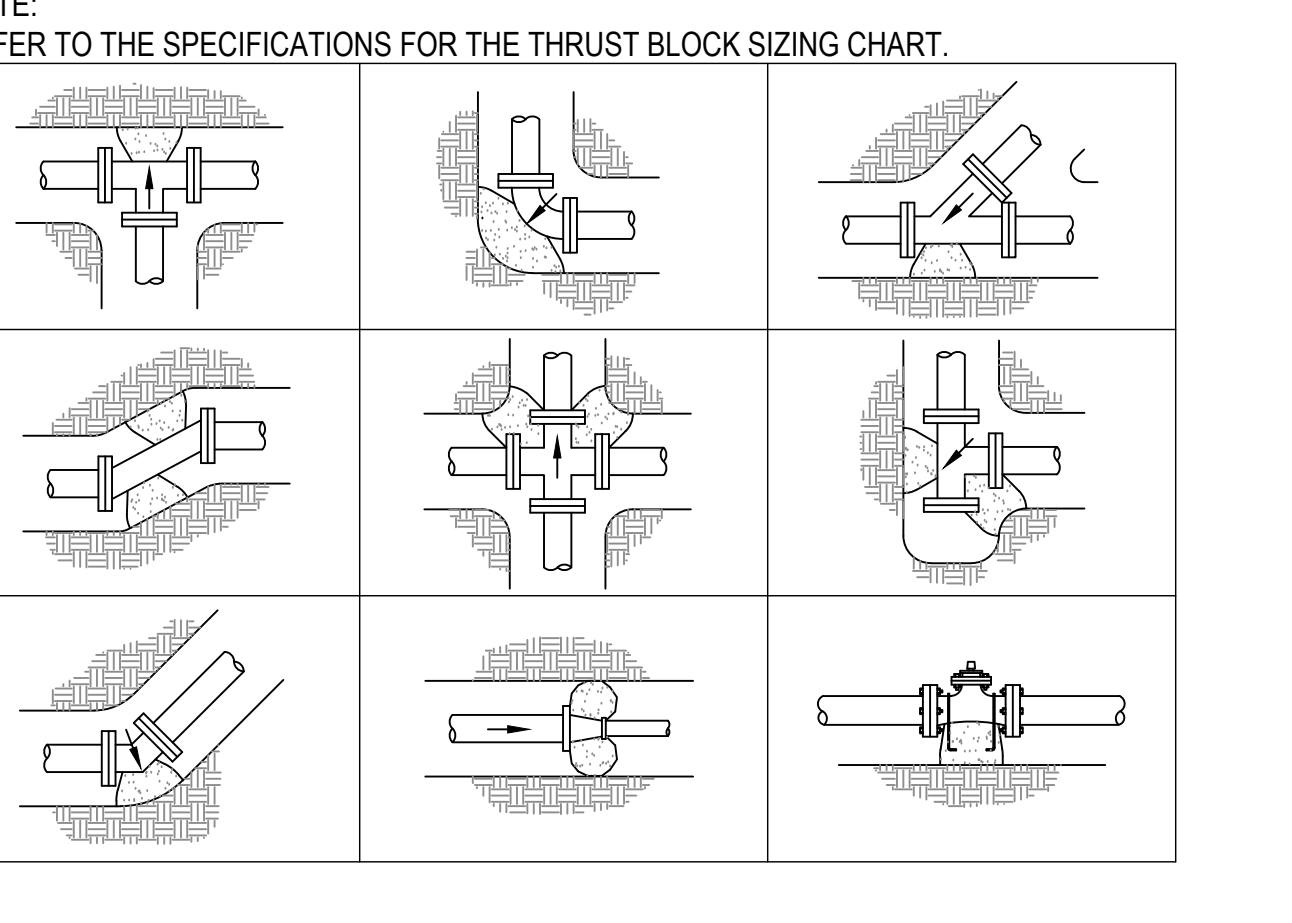
D5 TRENCH DETAIL TYP.
 1" = 1'-0" P-JU1-328409-16



E1 QUICK COUPLER VALVE
 1" = 1" P-JU1-328406-06



E3 CONTROL VALVE - DRIP SYSTEM
 1" = 1" P-JU1-328413-02



E5 THRUST BLOCKING
 1" = 1" P-JU1-328409-02

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PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CAL	HEIGHT
TREES						
	ACE SNS	ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER	-	2" CAL	
	AME GRA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' MULTISTEM	MULTI. AUTUMN BRILLIANCE SERVICEBERRY	-		6-7 HT
	MAL JRS	MALUS X 'JEFFLITE'	STARLITE FLOWERING CRABAPPLE	2" CAL		
	SYR ZHA	SYRINGA PEKINENSIS 'ZHANG ZHIMING'	BEIJING GOLD® PEKING LILAC CLUMP	-		8' HT
	SYR IVO	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	-	2" CAL	
	TIL HAL	TILIA CORDATA 'HALKA'	SUMMER SPRITE® LITTLELEAF LINDEN	-	2" CAL	
	ZEL CSP	ZELKOVA SERRATA 'JFS-KW1'	CITY SPRITE® JAPANESE ZELKOVA	-	2" CAL	
SHRUBS						
	CAR GRB	CARYOPTERIS X CLAUDONENSIS 'NOVERIS'	GRAND BLEU™ BLUEBEARD	5 GAL		
	JUN BL3	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP CREEPING JUNIPER	5 GAL		
	MAH REP	MAHONIA REPENS	CREEPING MAHONIA	5 GAL		
	RHU GRO	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL		
	RHU BAL	RHUS TYPHINA 'BAILTIGER'	TIGER EYES® STAGHORN SUMAC	10 GAL		
ORNAMENTAL GRASS						
	CAL BCY	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	1 GAL		
	NAS TEN	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 GAL		
	PAN SHD	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL		
PERENNIALS						
	GAU SIS	GAURA LINDHEIMERI 'SISKIYOU PINK'	SISKIYOU PINK GAURA	1 GAL		
	RUD UAO	RUDBECKIA X 'AMERICAN GOLD RUSH'	AMERICAN GOLD RUSH CONEFLOWER	1 GAL		
GROUND COVERS						
	TURF SOD		DROUGHT TOLERANT FESCUE BLEND	SOD		

PLANTING NOTES

ALL PLANTS SHALL CONFORM TO THE MINIMUM STANDARDS OF HEIGHT, SIZE, CALIPER AND ETC. OF THE AMERICAN ASSOCIATIONS OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".

THIS CONTRACTOR SHALL SPREAD TOPSOIL TO A DEPTH OF 6" IN ALL LAWN PLANTING AREAS AND 12" IN ALL SHRUB AND PERENNIAL BEDS.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING FROM THE SITE ALL SOIL EXCAVATED FROM TREE PITS.

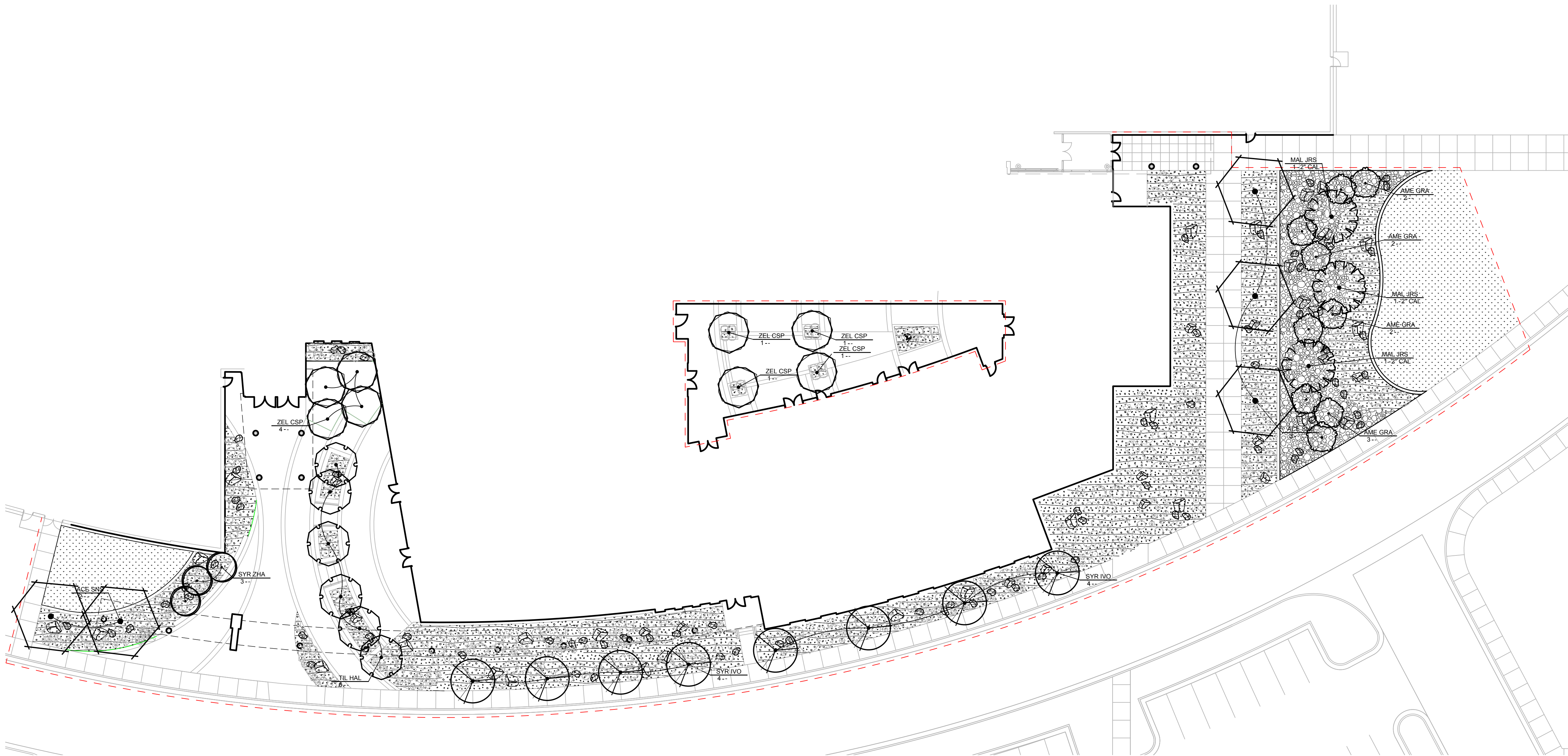
INSTALL MULCH IN ALL SHRUB PLANTING BEDS AFTER PLANT MATERIAL INSTALLATION.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING TREE PIT DRAINAGE AS SHOWN.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THE REQUIRED AMOUNT OF TOPSOIL TO COMPLETE THE PROJECT. NEW TOPSOIL SHALL MATCH QUALITY AND TEXTURE OF THE EXISTING TOPSOIL ON SITE.

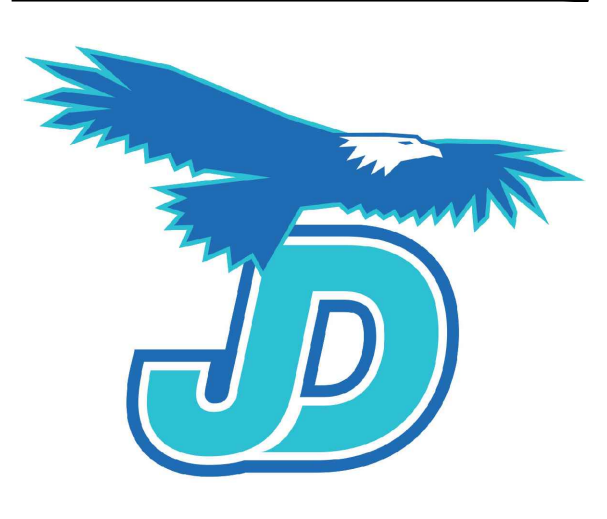
REFERENCE NOTES SCHEDULE

09 LANDSCAPE AND IRRIGATION		
SYMBOL	DESCRIPTION	DETAIL
09-01	3'-5' BOULDER	B3/LP500
09-02	2'-3' BOULDER	B3/LP500
09 LANDSCAPE AND IRRIGATION		
CODE	DESCRIPTION	DETAIL
09-03	EXISTING LAWN - TO PRESERVE OR REPLACE	
09-04	PLANTING BED, 1.5"-2" ROCK MULCH	
09-08	PLANTING BED, 2"-4" ROCK COBBLE	



E1 OVERALL TREE PLANTING PLAN
SCALE 1" = 20'

MHTN ARCHITECTS
MHTN Architects, Inc.
260 South 400 West
Suite 250
Salt Lake City, Utah 84101
Telephone (801) 595-6700
www.mhtn.com



JUAN DIEGO CATHOLIC HIGH SCHOOL
Juan Diego HS Performing Arts Center
300 11800 S
Draper, UT 84020

STATE OF UTAH
VINCENT RULON OLCOTT
No. 4812885
05-07-2024
LICENSED LANDSCAPE ARCHITECT

MHTN PROJECT NO. 2023568

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NO.	DATE	DESCRIPTION

ISSUE
BID SET
MAY 7, 2024

SHEET NAME
OVERALL TREE PLANTING PLAN

SHEET NUMBER
LP100

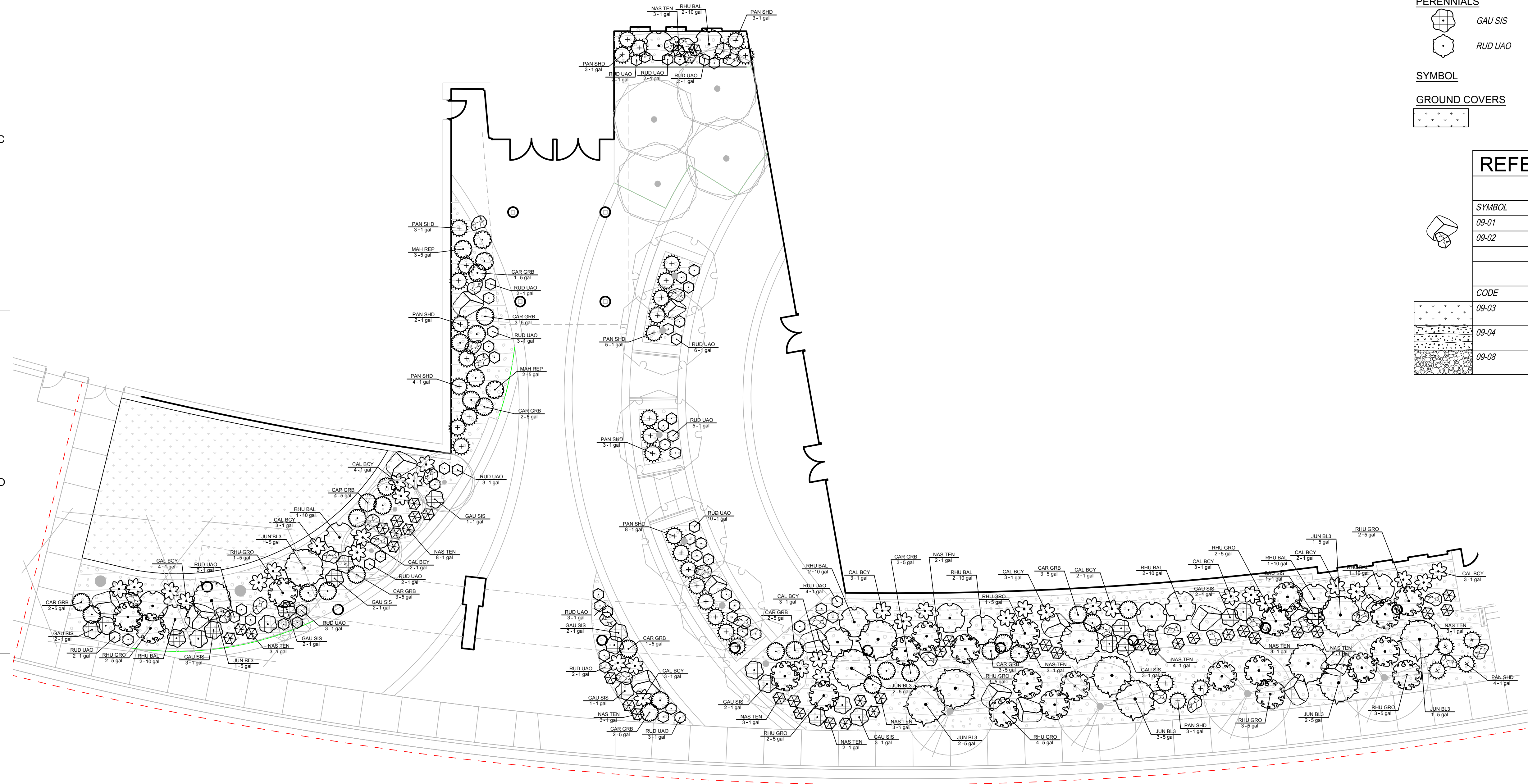
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PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CAL	HEIGHT
TREES						
	ACE SNS	ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER	-	2" CAL	
	AME GRA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' MULTISTEM	MULTI AUTUMN BRILLIANCE SERVICEBERRY	-		6-7' HT
	MAL JRS	MALUS X 'EFLITE'	STARLITE FLOWERING CRABAPPLE	2" CAL		
	SYR ZHA	SYRINGA PEKINENSIS 'ZHANG ZHIMING'	BEIJING GOLD® PEKING LILAC CLUMP	-		8' HT
	SYR IVO	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	-	2" CAL	
	TIL HAL	TILIA CORDATA 'HALKA'	SUMMER SPRITE® LITTLELEAF LINDEN	-	2" CAL	
	ZEL CSP	ZELKOVA SERRATA 'JFS-KW1'	CITY SPRITE® JAPANESE ZELKOVA	-	2" CAL	
SHRUBS						
	CAR GRB	CARYOPTERIS X CLAUDONENSIS 'INOVERIS'	GRAND BLEU™ BLUEBEARD	5 GAL		
	JUN BL3	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP CREEPING JUNIPER	5 GAL		
	MAH REP	MAHONIA REPENS	CREEPING MAHONIA	5 GAL		
	RHU GRO	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL		
	RHU BAL	RHUS TYPHINA 'BAL TIGER'	TIGER EYES® STAGHORN SUMAC	10 GAL		
ORNAMENTAL GRASS						
	CAL BCY	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	1 GAL		
	NAS TEN	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 GAL		
	PAN SHD	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL		
PERENNIALS						
	GAU SIS	GAURA LINDHEIMERI 'SISKIYOU PINK'	SISKIYOU PINK GAURA	1 GAL		
	RUD UAO	RUDBECKIA X 'AMERICAN GOLD RUSH'	AMERICAN GOLD RUSH CONEFLOWER	1 GAL		
GROUND COVERS						
		TURF SOD	DROUGHT TOLERANT FESCUE BLEND	SOD		

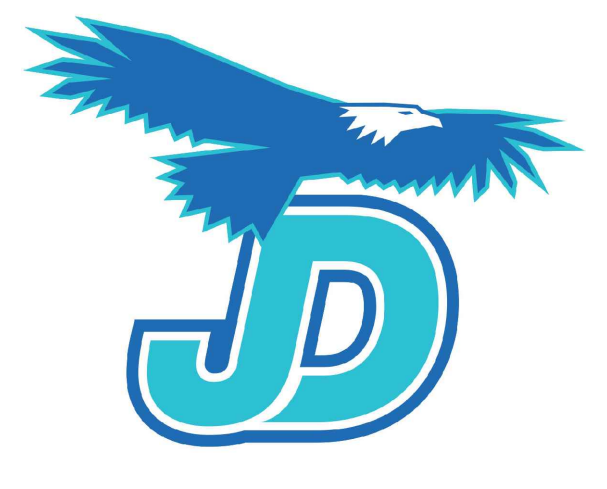
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
	08-01 3'-5' BOULDER	B3/LP500
	08-02 2'-3' BOULDER	B3/LP500
08 LANDSCAPE AND IRRIGATION		
CODE	DESCRIPTION	DETAIL
	08-03 EXISTING LAWN - TO PRESERVE OR REPLACE	
	08-04 PLANTING BED, 1.5'-2" ROCK MULCH	
	08-08 PLANTING BED, 2'-4" ROCK COBBLE	



E1 ENLARGED PLANTING PLAN

MHTN ARCHITECTS
 MHTN Architects, Inc.
 260 South 400 West
 Suite 250
 Salt Lake City, Utah 84101
 Telephone (801) 595-6700
 www.mhtn.com



JUAN DIEGO CATHOLIC HIGH SCHOOL
Juan Diego HS Performing Arts Center
 300 11800 S
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MHTN PROJECT NO. 2023568

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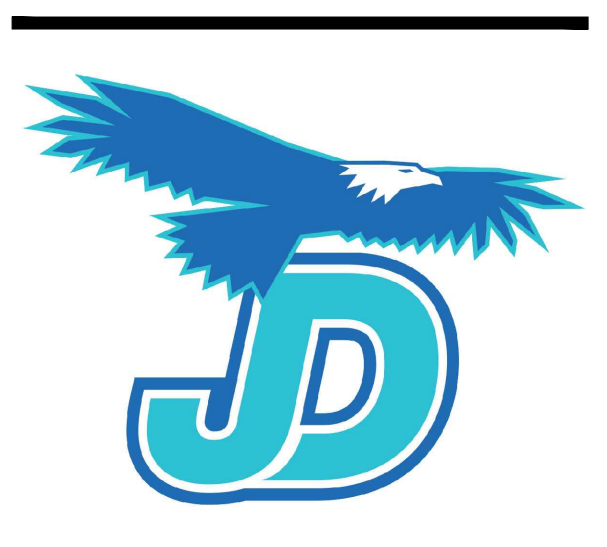
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 CONTRIBUTION TO VERIFY DRAWINGS IN FIELD USE REFLECT LATEST REVISION DATE.

NO	DATE	DESCRIPTION

ISSUE
 BID SET
 MAY 7, 2024

SHEET NAME
ENLARGED PLANTING PLAN

SHEET NUMBER
LP101



JUAN DIEGO CATHOLIC HIGH SCHOOL
Juan Diego HS Performing Arts Center
 300 11800 S
 Draper, UT 84020

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MHTN PROJECT NO. 2023568

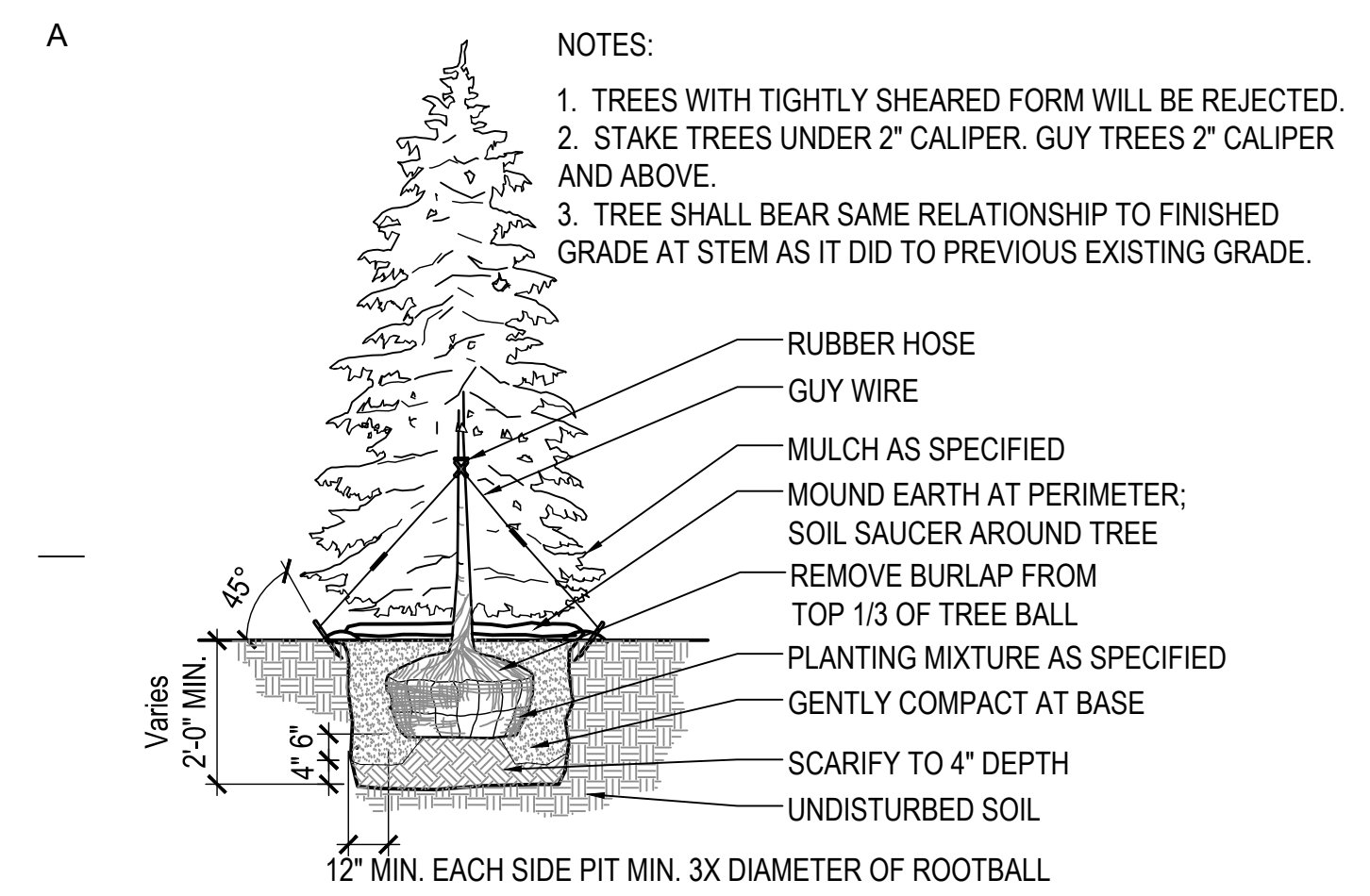
Original drawing is 30 x 42. Do not scale contents of this drawing.

REVISIONS:
 CONTRIBUTOR TO VERIFY DRAWINGS IN FIELD USE REFLECT
 LAST REVISION DATE

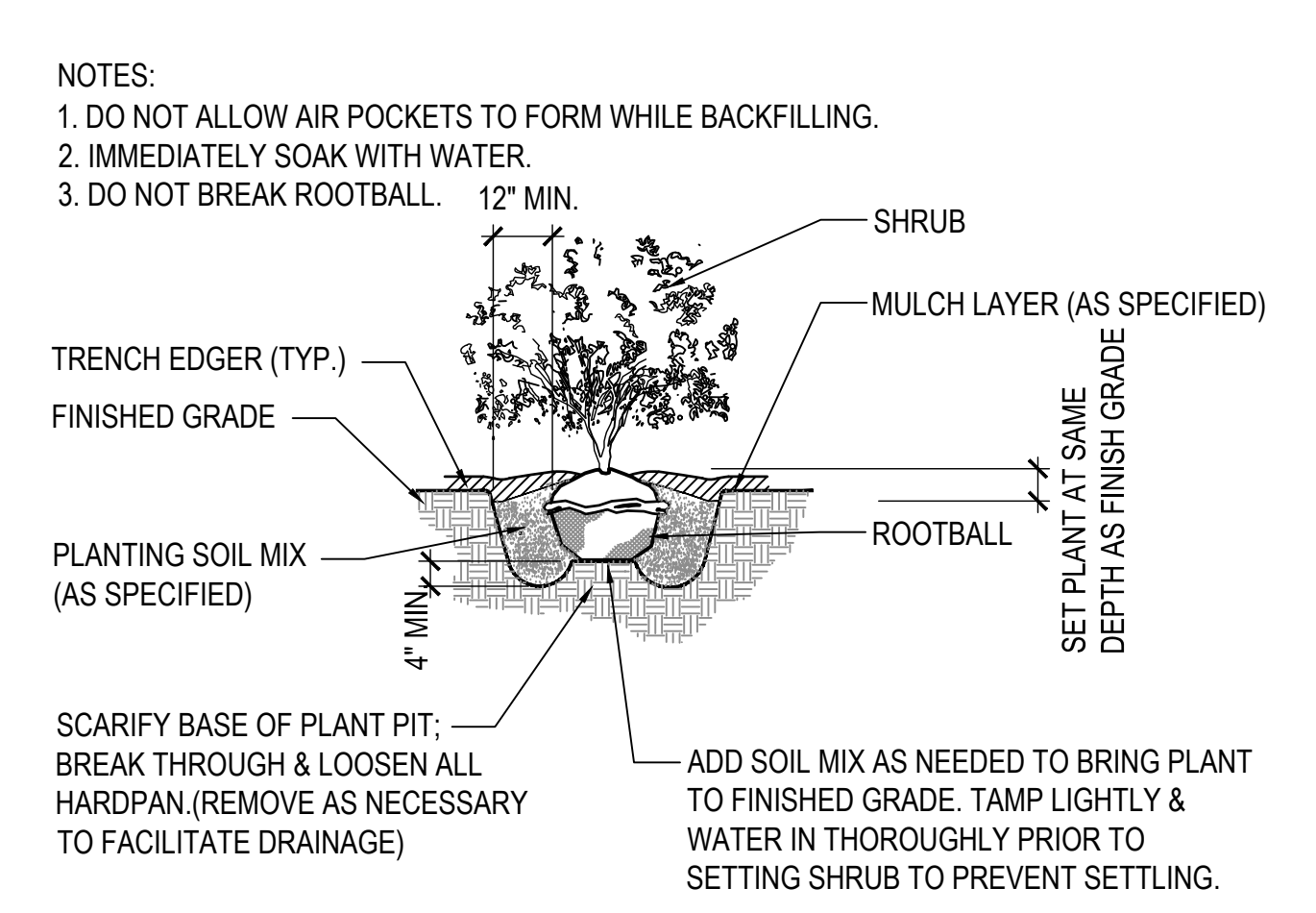
NO	DATE	DESCRIPTION

ISSUE
 BID SET
 MAY 7, 2024
 SHEET NAME
PLANTING DETAILS

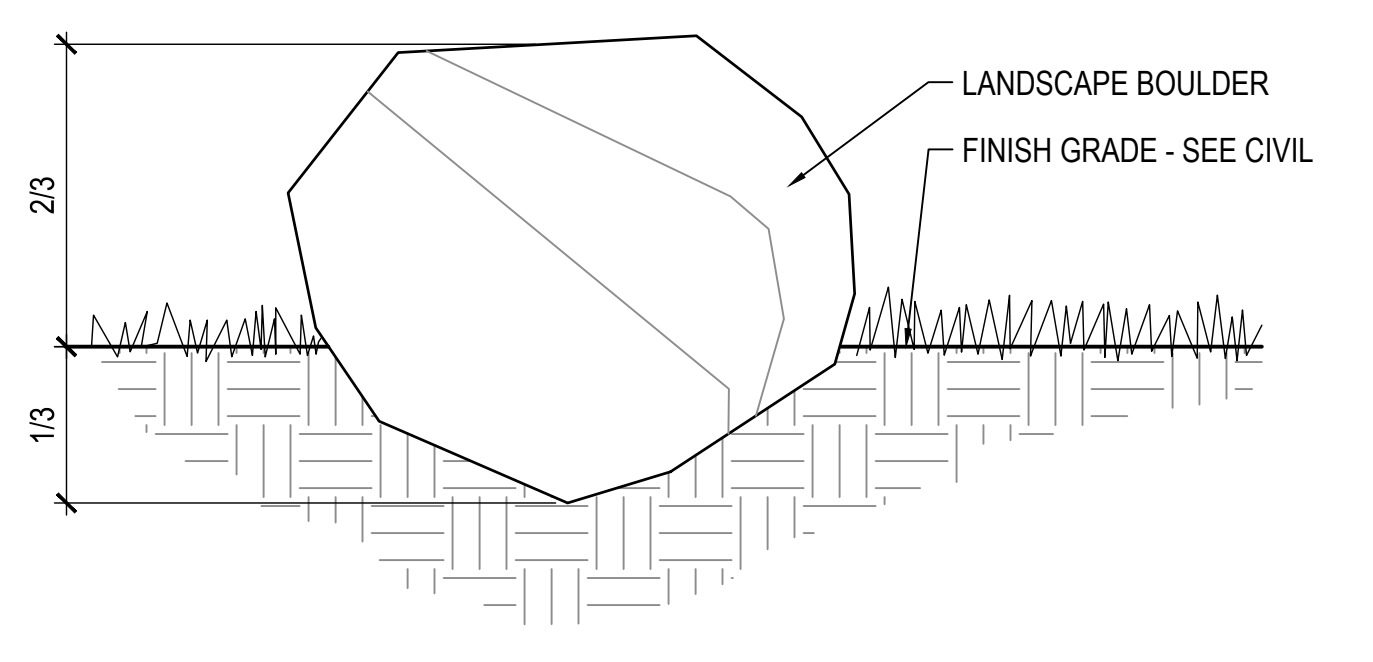
SHEET NUMBER
LP500



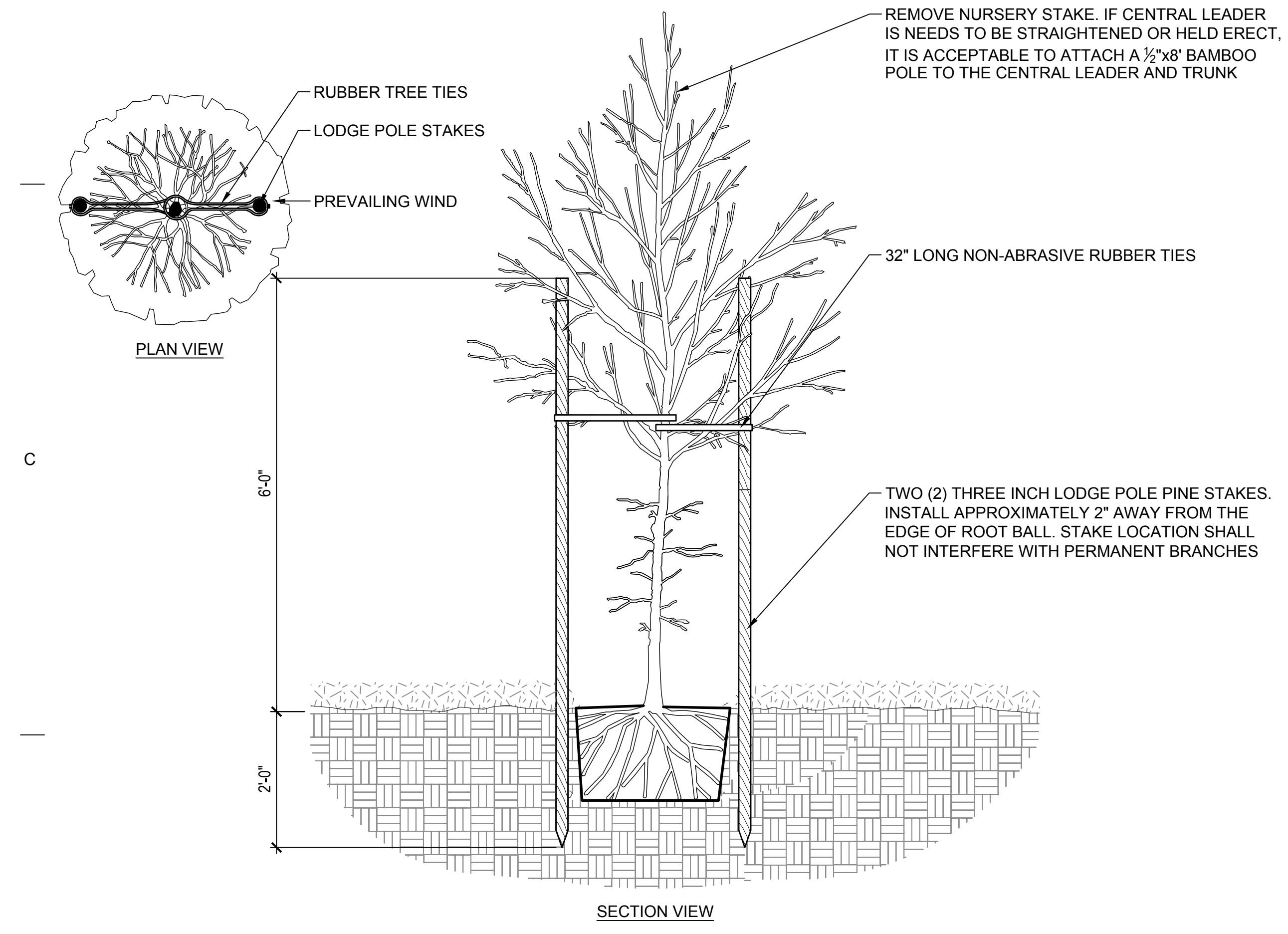
B1 EVERGREEN PLANTING DETAIL
 1" = 1'-0"
 P-JU1-329346-03



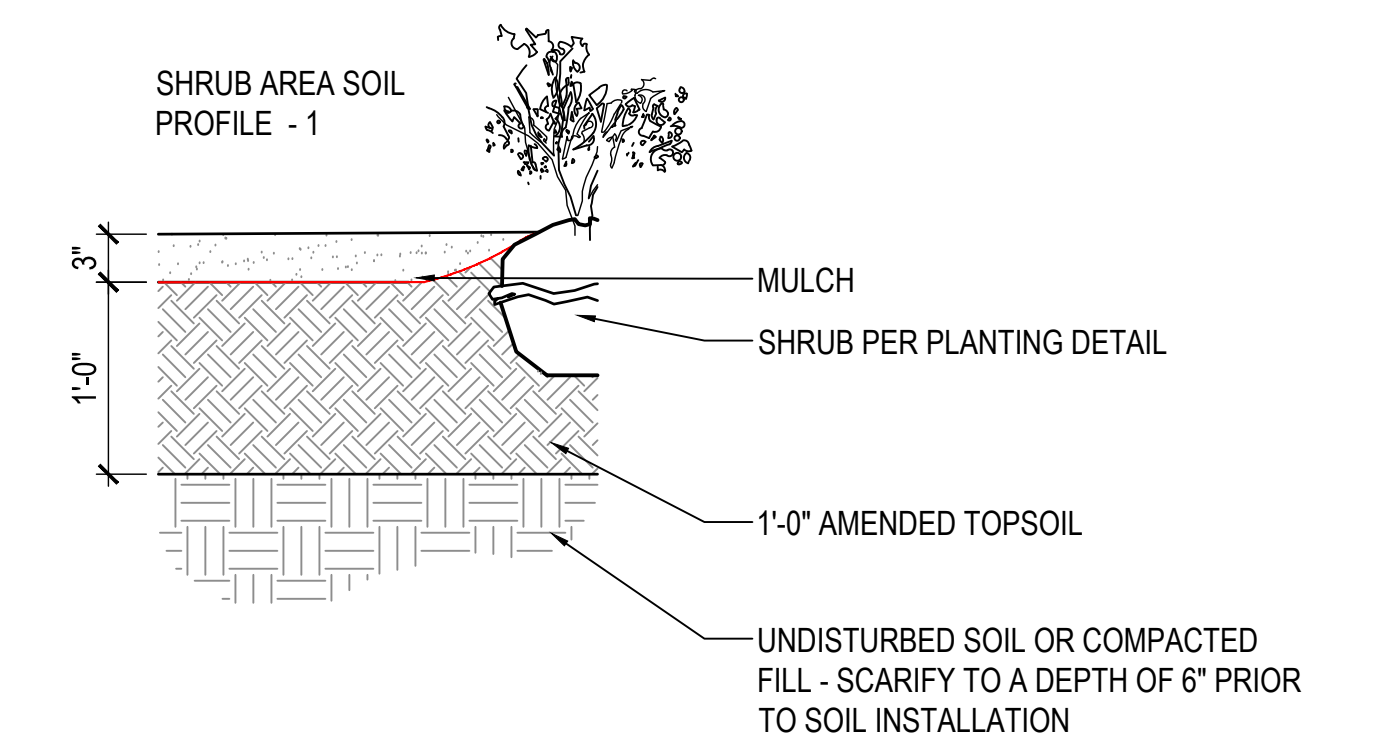
B2 SHRUB PLANTING DETAIL
 1" = 1'-0"
 P-JU1-329333-01



B3 BOULDER
 1" = 1'-0"
 P-JU1-321901-01



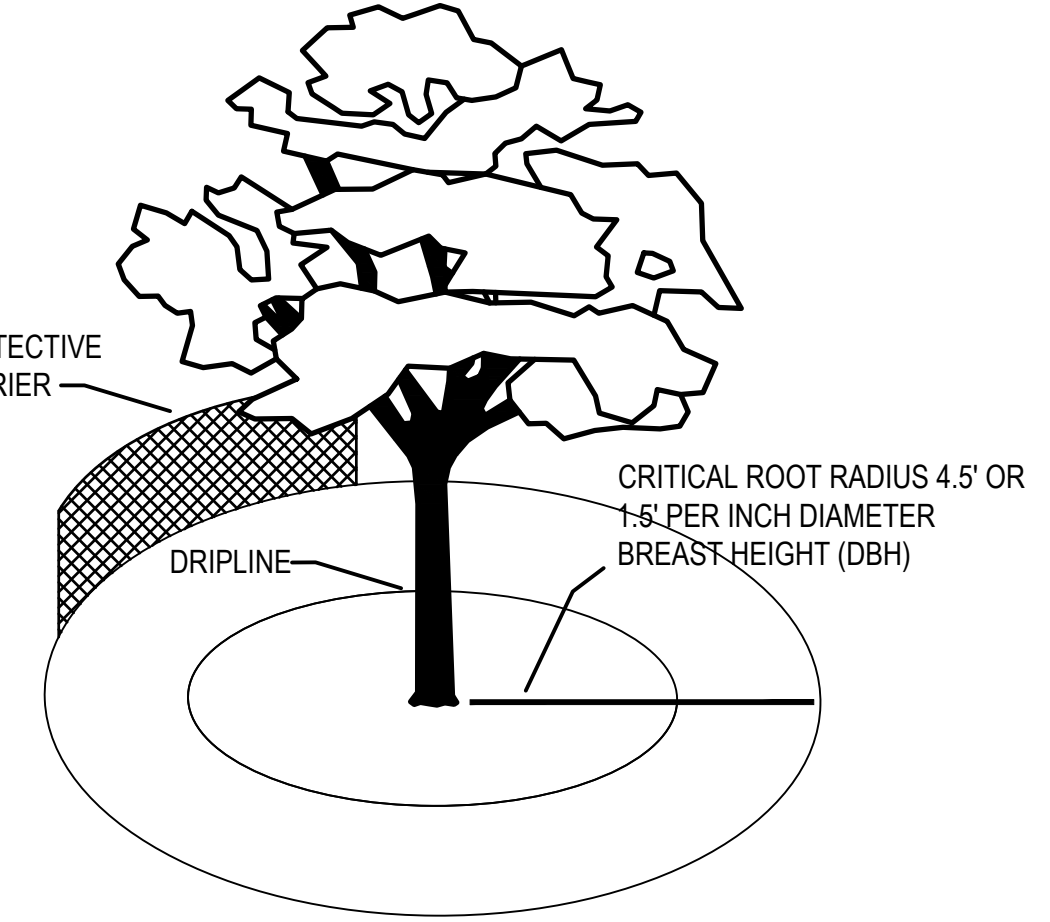
D1 TREE STAKING- LODGE POLES (2)
 3/4" = 1'-0"
 P-JU1-329346-01



C3 TOP SOIL PROFILE
 NTS
 P-JU1-329333-02

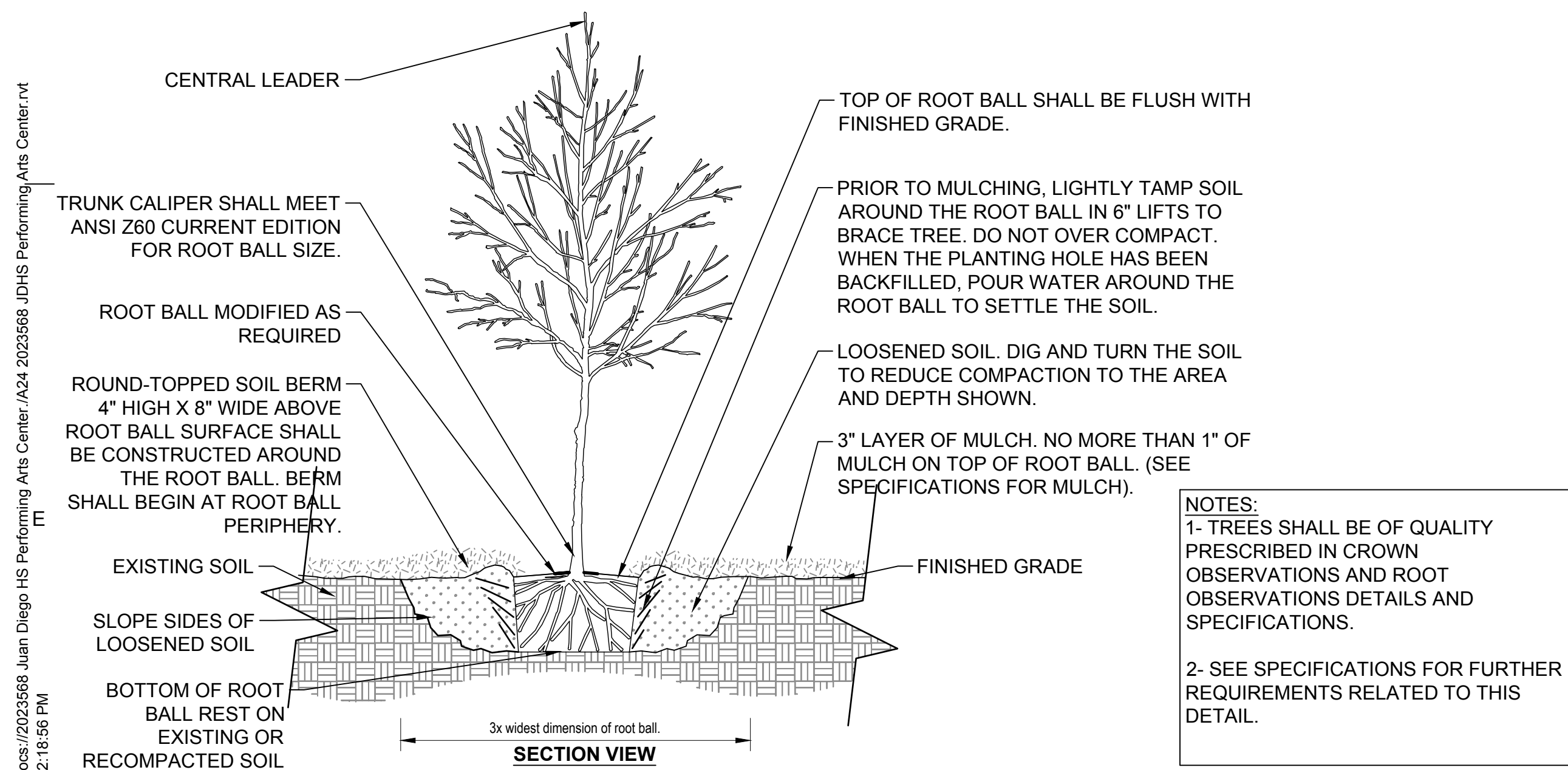
TRENCHING MINIMUM DISTANCE

DIAMETER OF TRUNK	DISTANCE
6"-9"	5'
10"-14"	10'
15"-19"	12'
20"-More	15'



- TREE PROTECTION ZONE (TPZ)**
1. IDENTIFY ARBORIST CARING FOR TREE
 2. SITE PLAN SHALL IDENTIFY PROTECTED TREES
 3. SIZE AND SHAPE OF TPZ DEPENDS ON EACH TREE
 4. EXCEPTIONS NEED ARBORIST APPROVAL PRIOR TO IMPLEMENTATION
 5. CUT ROOTS SHALL BE CLEAN AND SMOOTH
 6. NO GRADE CHANGES ALLOWED
 7. A WATERING SCHEDULE MUST BE PROVIDED
 8. NO PARKING, STORING IN THE TPZ
 9. SIGNAGE MUST BE PROVIDED, CLEARLY MARKING TPZ

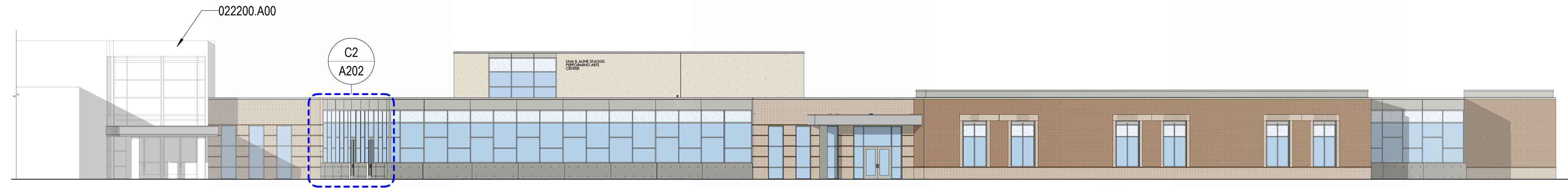
E3 EXISTING TREE PROTECTION
 1" = 1'-0"
 P-JU1-015639-02



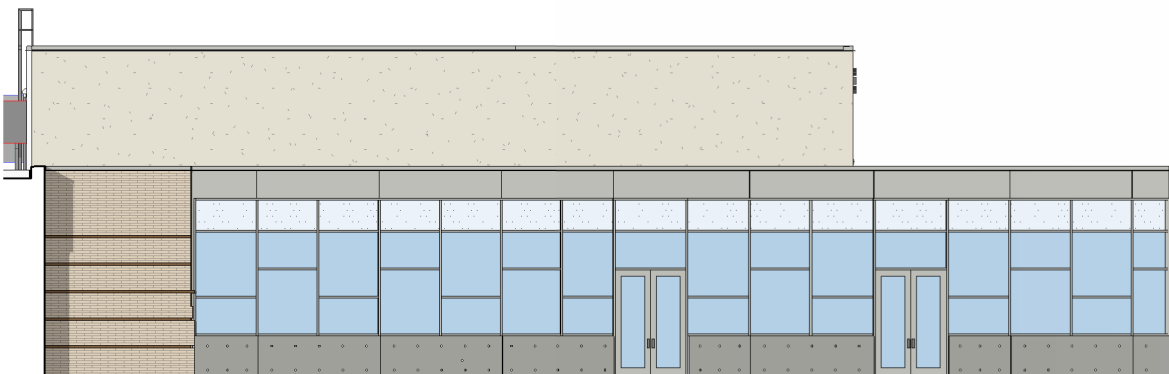
E1 TREE W/ BERM
 1/2" = 1'-0"
 P-JU1-329346-02

Additional Check: 07/23/2024 Juan Diego HS Performing Arts Center (AC) 2023568 JPHS Performing Arts Center (1) 11/17/2023 2:18:56 PM

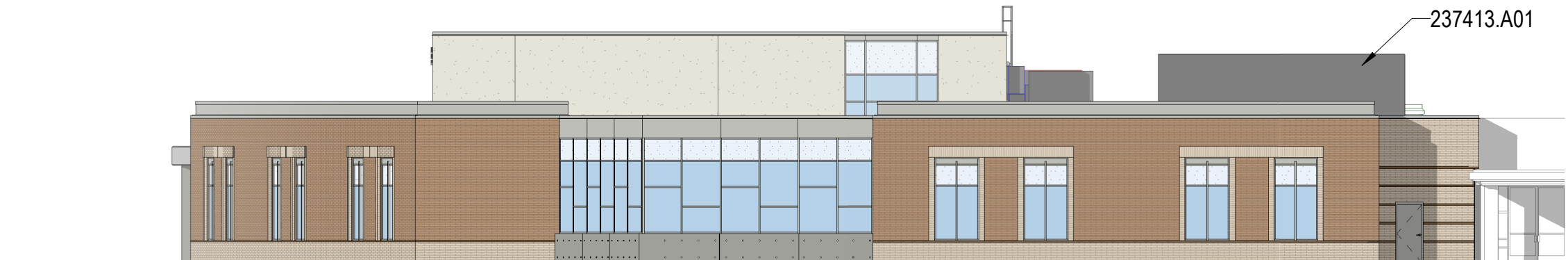
EXHIBIT H
ELEVATIONS



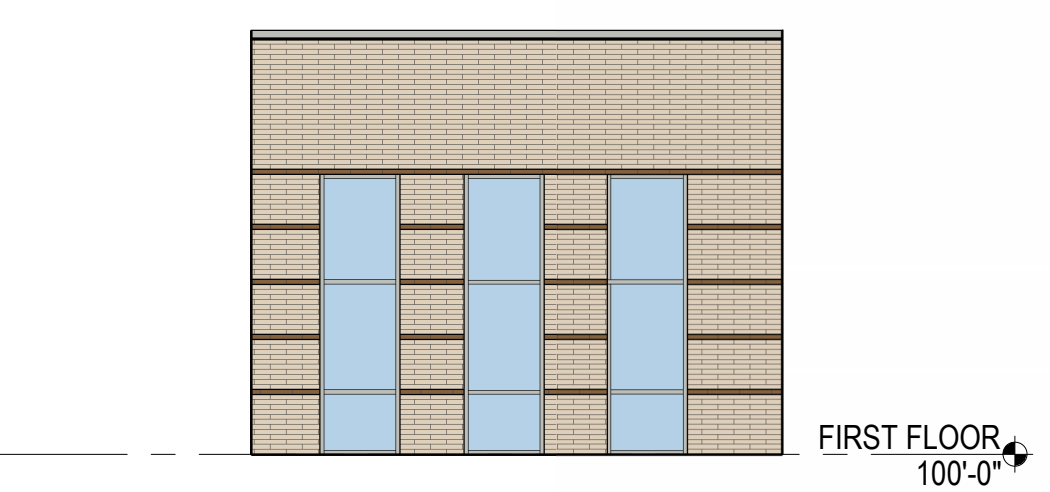
A1 SOUTH OVERALL ELEVATION
SCALE: 1/16" = 1'-0"



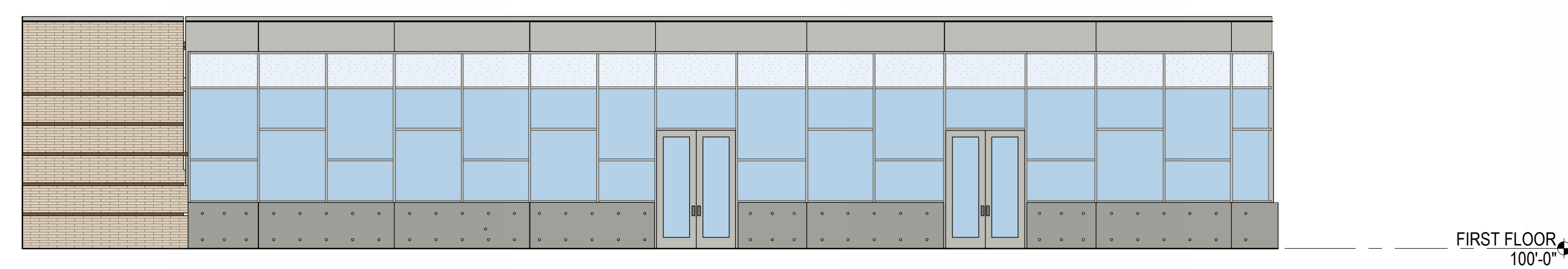
B1 WEST OVERALL ELEVATION
SCALE: 1/16" = 1'-0"



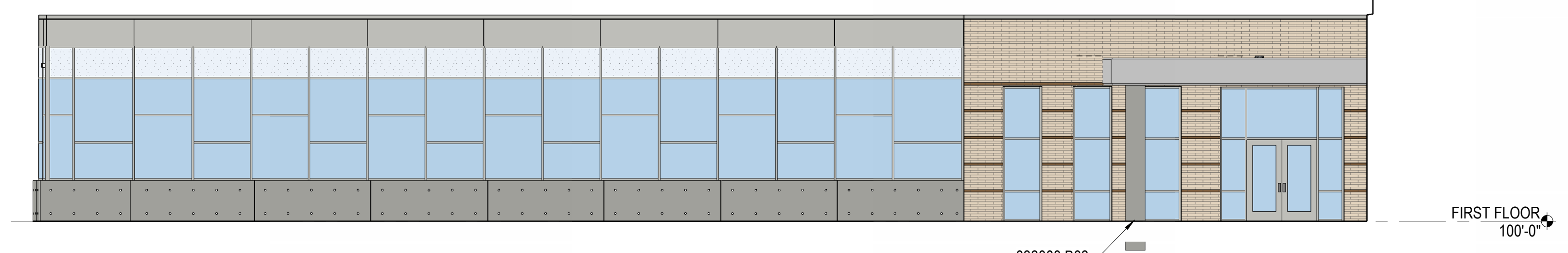
B2 EAST OVERALL ELEVATION
SCALE: 1/16" = 1'-0"



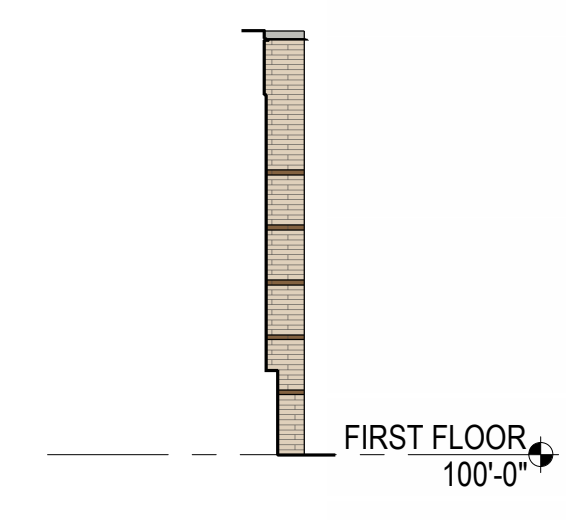
C1 AREA 'A' 01 - SOUTH
SCALE: 1/8" = 1'-0"



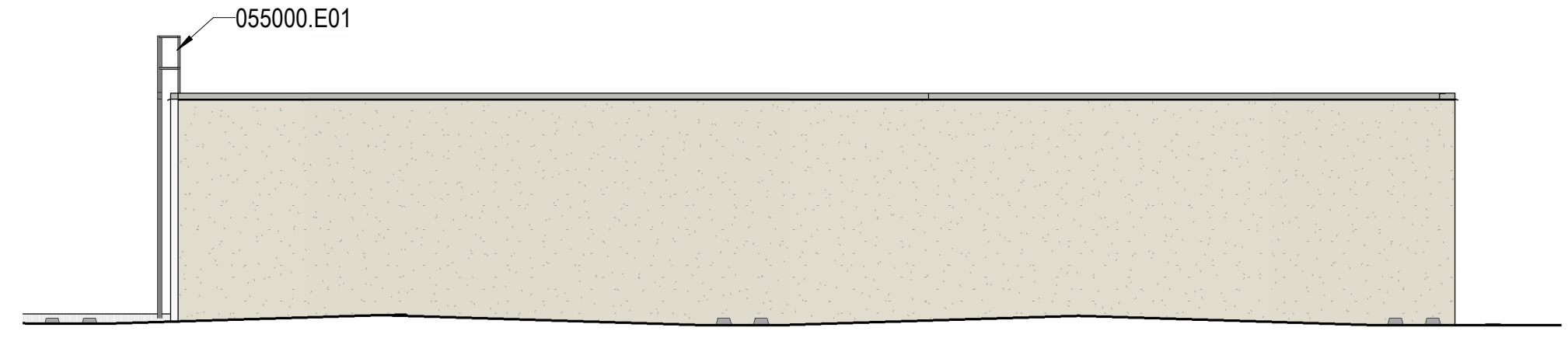
C2 AREA 'A' 02 - WEST
SCALE: 1/8" = 1'-0"



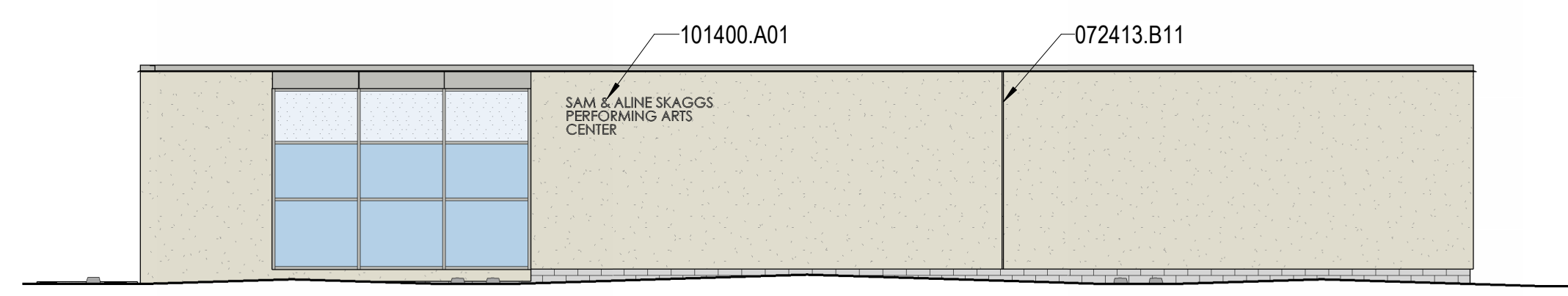
D1 AREA 'A' 03 - SOUTH
SCALE: 1/8" = 1'-0"



D4 AREA 'A' 04 - WEST
SCALE: 1/8" = 1'-0"



E1 AREA 'A' 05 - WEST (AT ROOF)
SCALE: 1/8" = 1'-0"



E3 AREA 'A' 06 - SOUTH (AT ROOF)
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS GENERAL NOTES

Exterior Finishes: Provide exterior finishes, continuous until a transition is indicated. Provide on all similar elements, and on surfaces not shown in elevation such as back sides of piers, columns and other surfaces that may not be visible in the elevation view.

Lighting: Coordinate wall and soffit mounted lighting locations with Electrical drawings and with the Architect prior to rough-in.

LEGEND - EXTERIOR ELEVATION

- 3,140 SF — BRICK MASONRY, COLOR 1, MATCH EXISTING
- BRICK MASONRY, COLOR 2, MATCH EXISTING
- BRICK MASONRY, COLOR 3, MATCH EXISTING
- 718 SF — ARCHITECTURAL FINISHED CASTED-IN-PLACE CONCRETE
- 1,858 SF — EIFS, COLOR 1, MATCH EXISTING
- EIFS, COLOR 2, MATCH CAST CONCRETE COLOR
- 942 SF — ALUMINUM ACM, COLOR 1
- GLAZING, VISION GLASS
- GLAZING, SPANDREL GLASS

FRONTAGE EXTERIOR MATERIAL PERCENTAGES

PRIMARY MATERIAL - BRICK : (3,140 + 68,822) = 71,962 (59 %)
 PRIMARY MATERIAL - ARCHITECTURAL CONCRETE : 718 (>1%)
 PRIMARY MATERIAL - METAL PANEL : (942 + 18,086) = 19,028 (16%)
 SECONDARY MATERIAL - EIFS : (1,858 + 29,120) = 30,978 (25%)

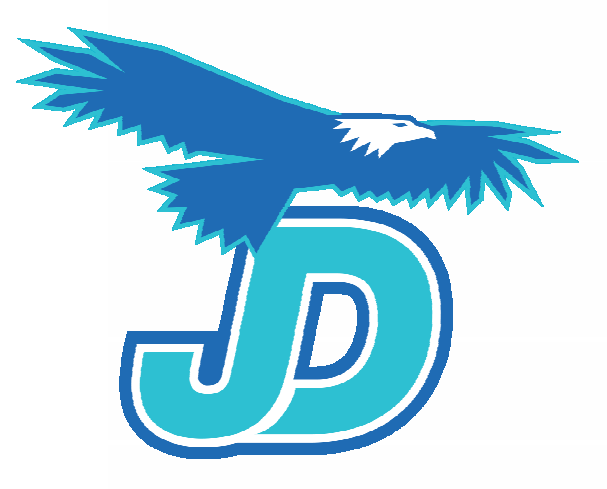
PRIMARY MATERIAL: 91,708 (75%)
 SECONDARY MATERIAL: 30,978 (25%)

NOTE: PERCENTAGES SHOWN INCORPORATE THE EXISTING BUILDING MATERIALS. SEE SHEET A204

Total: 122,686



MHTN Architects, Inc.
260 South 400 West
Suite 250
Salt Lake City, Utah 84101
Telephone (801) 595-6700
www.mhtn.com



**JUAN DIEGO CATHOLIC HIGH
PERFORMING ARTS &
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300 E 11800 S
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MHTN PROJECT NO. 20235958
VIEW AND PRINT THIS DRAWING IN COLOR
Original drawing is 36 x 42. Do not scale contents of this drawing.

REVISIONS:

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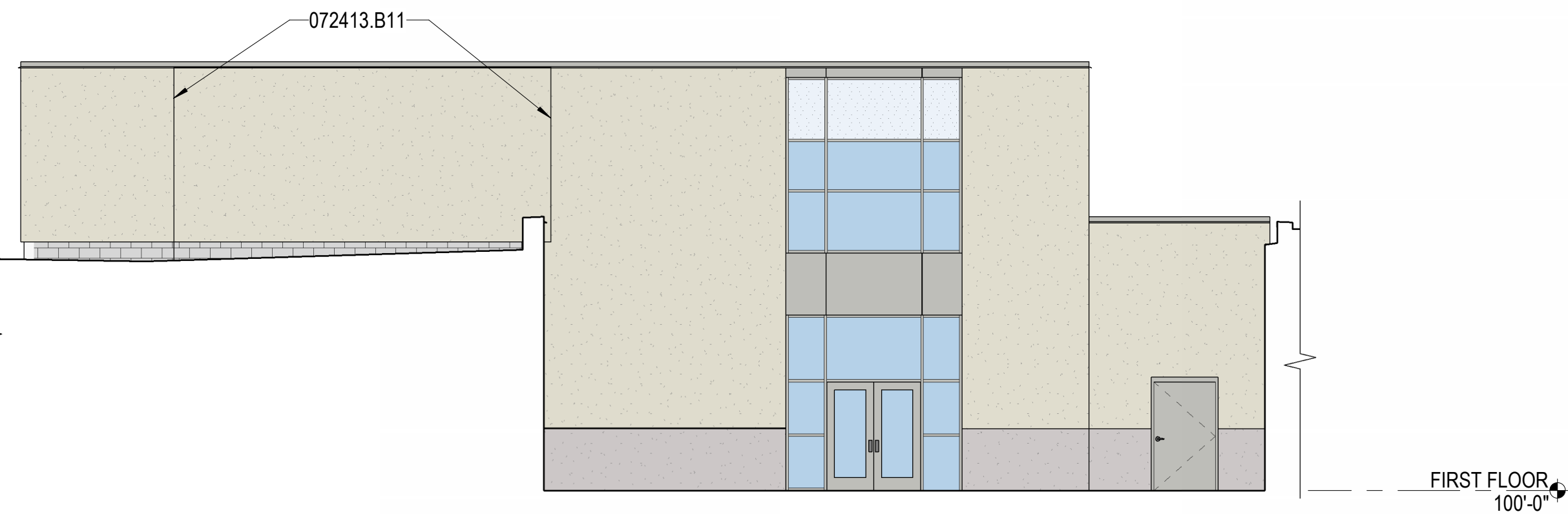
NO.	DATE	DESCRIPTION

ISSUE
SITE PLAN REVIEW SET
MAY 7, 2024

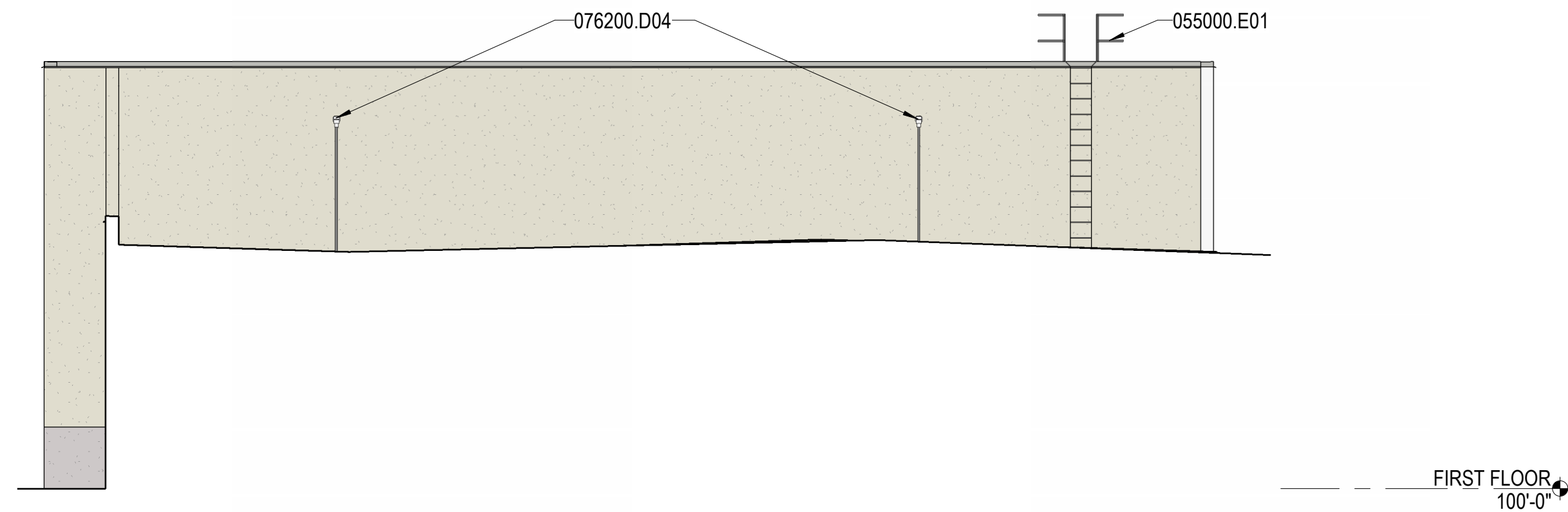
SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER
A202

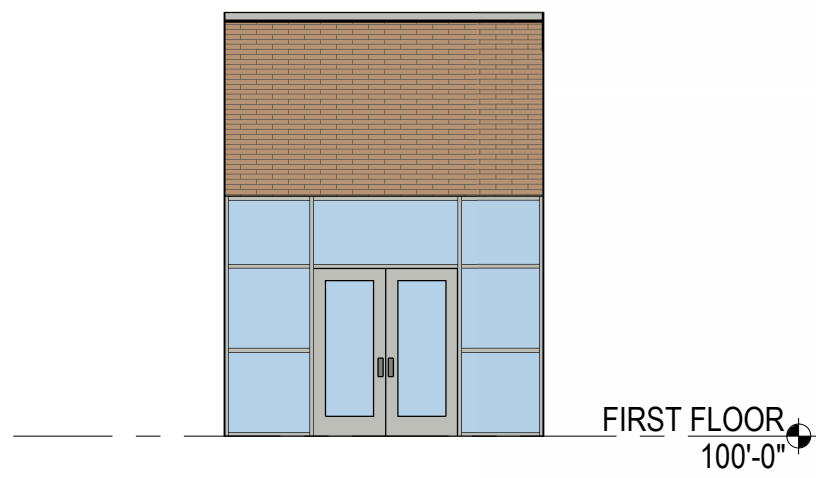
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5/7/2024 9:33:25 AM



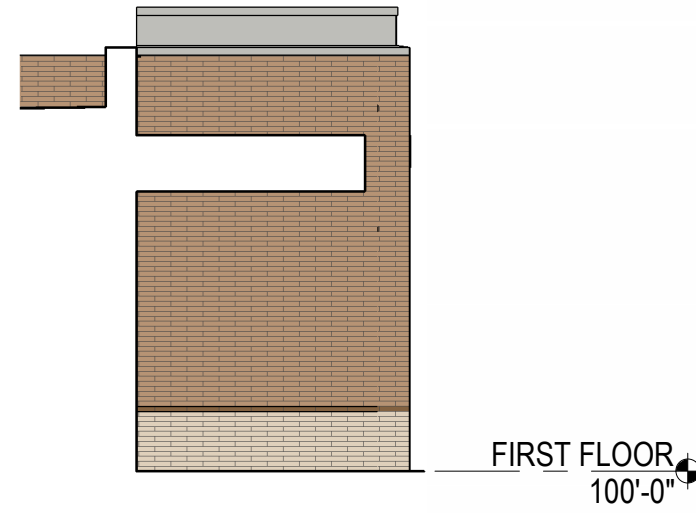
A1 AREA 'A' COURTYARD 05 - EAST
SCALE: 1/8" = 1'-0"



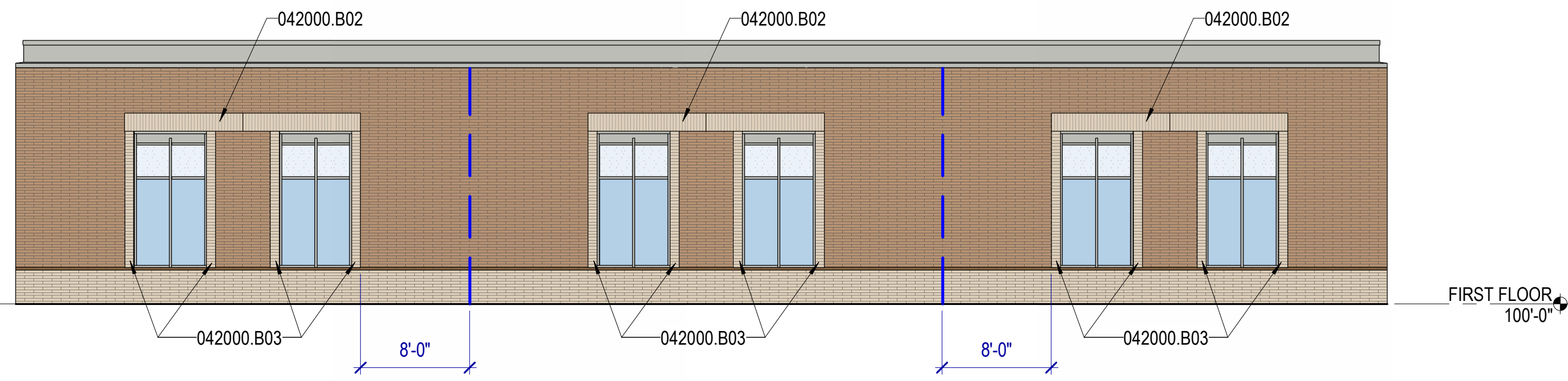
A3 AREA 'A' COURTYARD 06 - NORTH
SCALE: 1/8" = 1'-0"



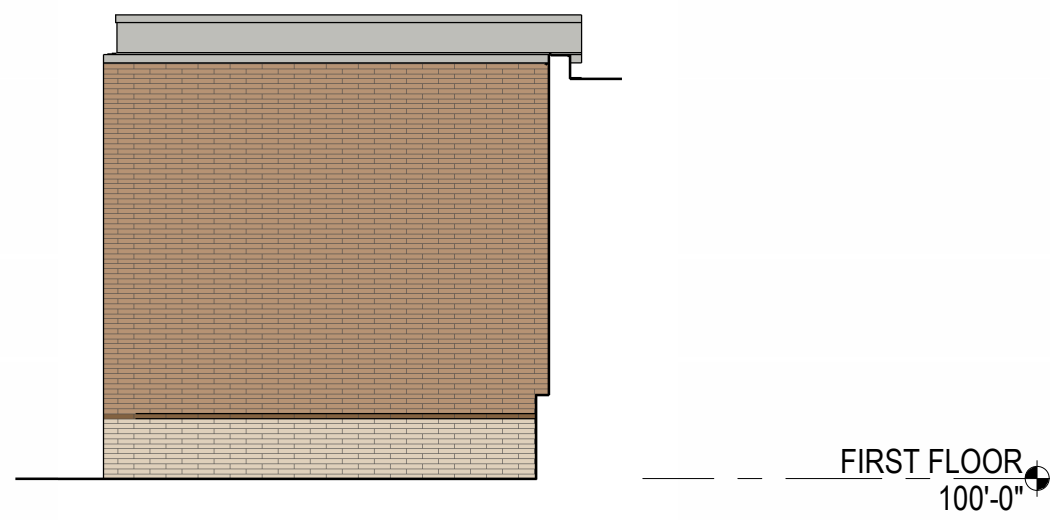
B1 AREA 'A' COURTYARD 07 - NORTH
SCALE: 1/8" = 1'-0"



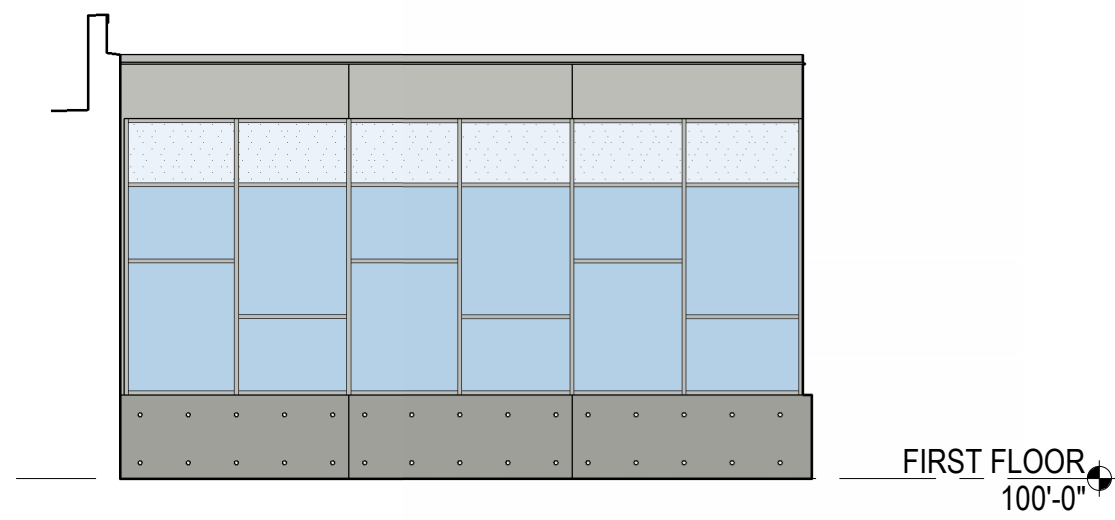
B2 AREA 'B' 01 - WEST
SCALE: 1/8" = 1'-0"



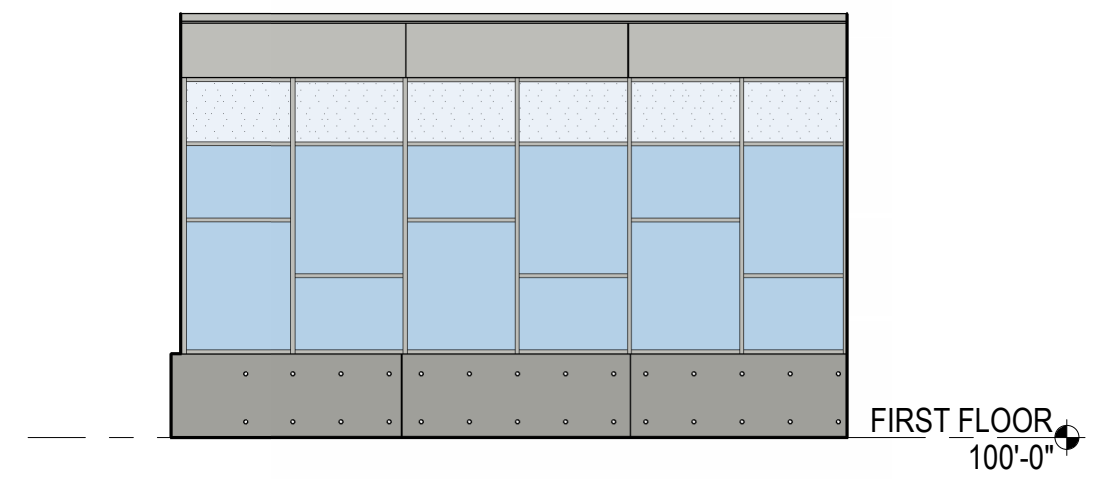
B3 AREA 'B' 02 - SOUTH
SCALE: 1/8" = 1'-0"



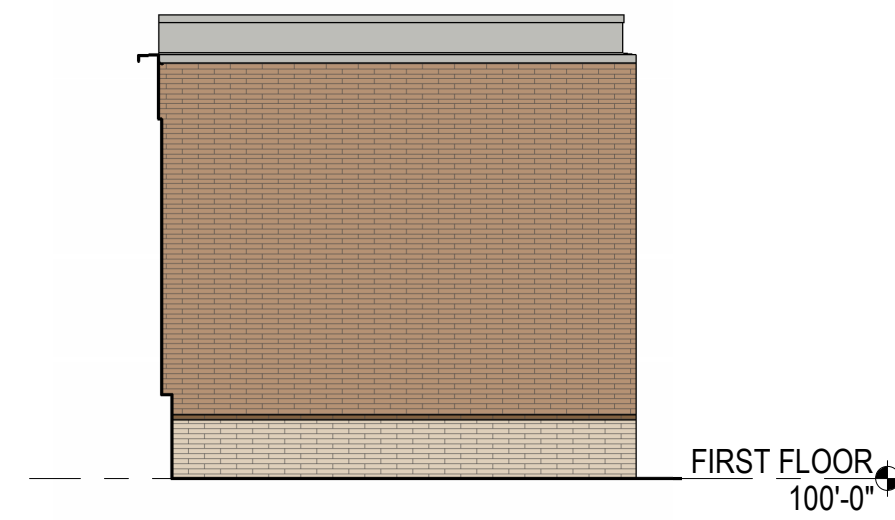
C1 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



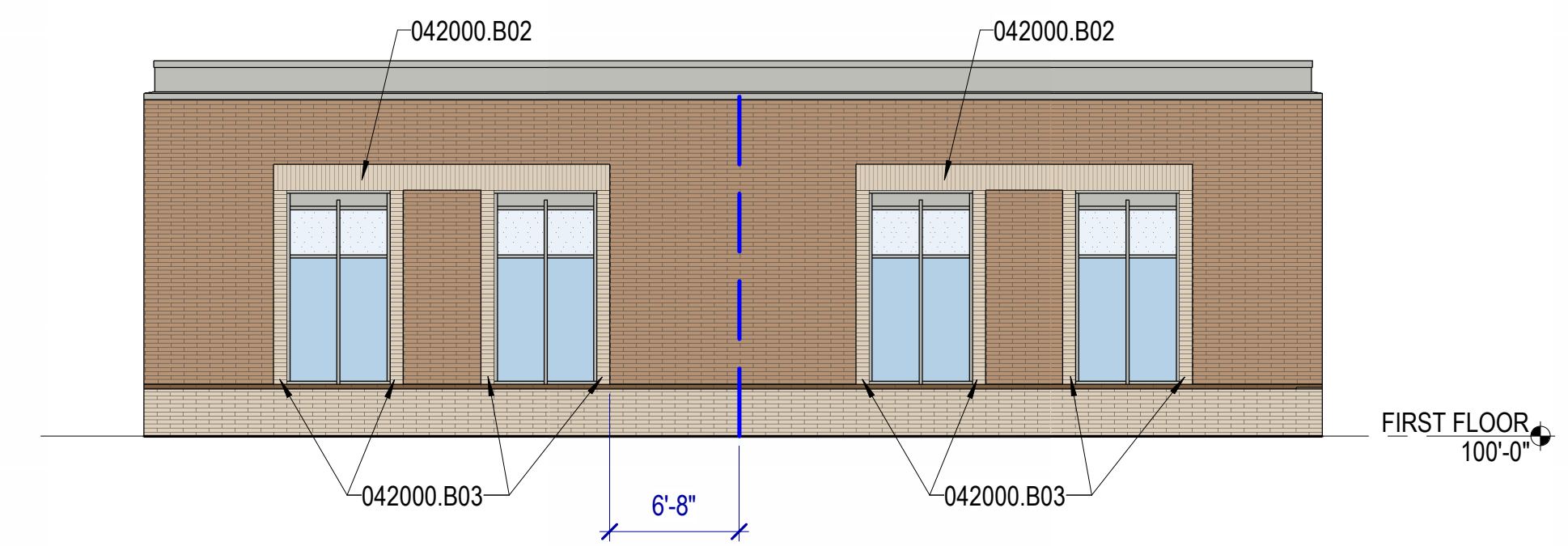
C2 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



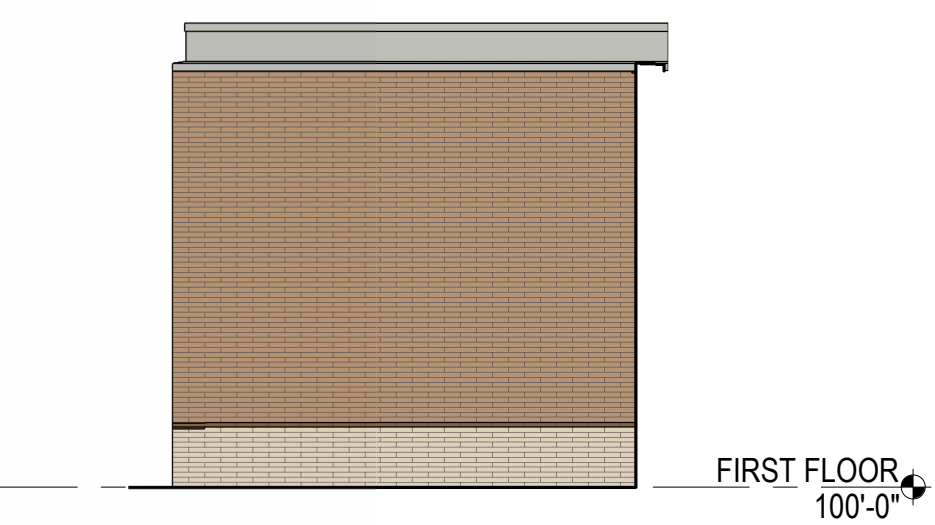
C3 AREA 'B' 05 - EAST
SCALE: 1/8" = 1'-0"



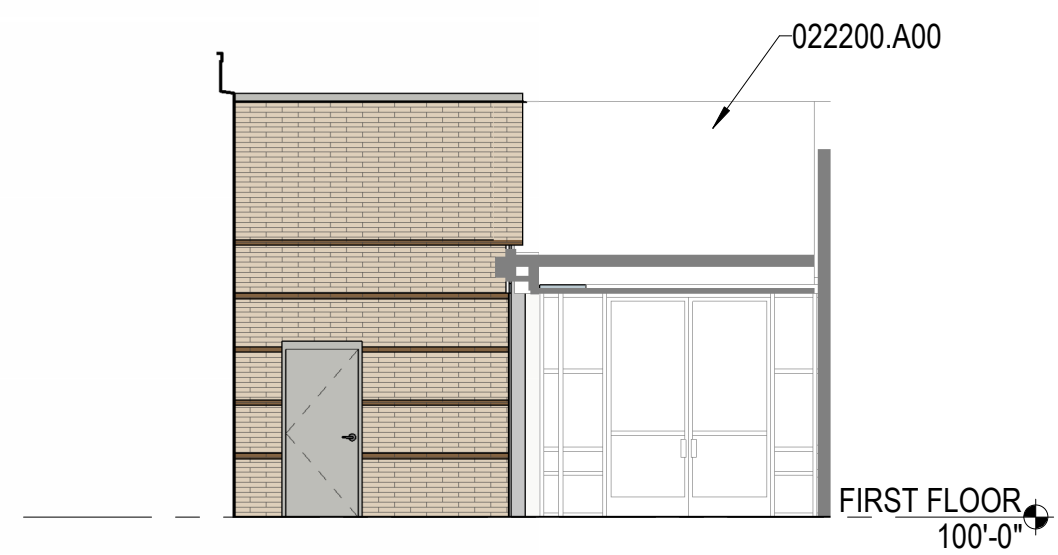
C4 AREA 'B' 06 - SOUTH
SCALE: 1/8" = 1'-0"



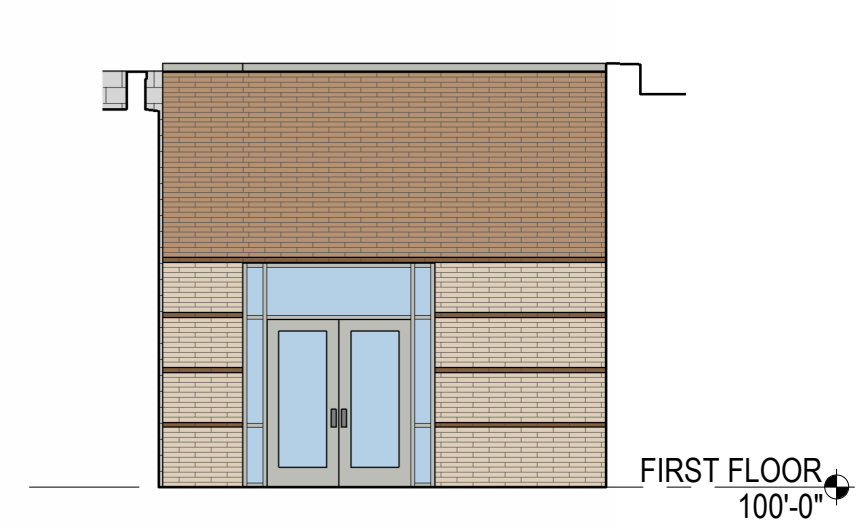
D1 AREA 'B' 07 - EAST
SCALE: 1/8" = 1'-0"



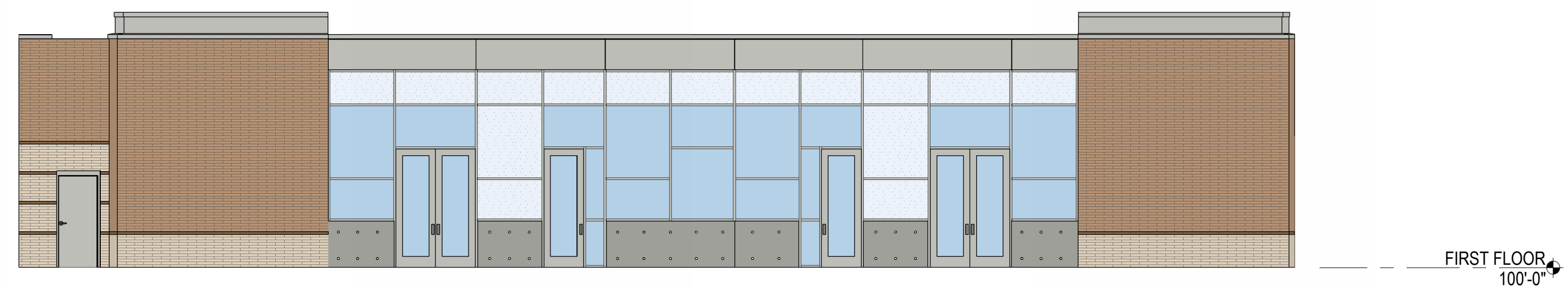
D2 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



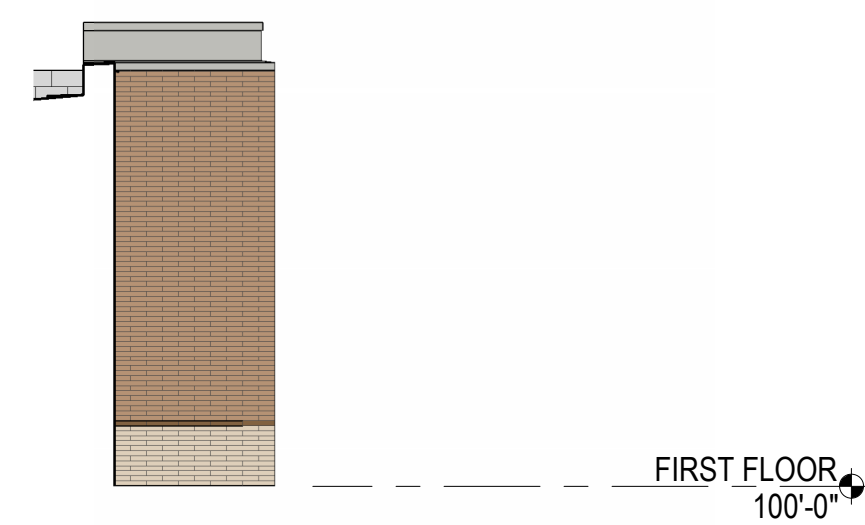
D3 AREA 'B' 09 - EAST
SCALE: 1/8" = 1'-0"



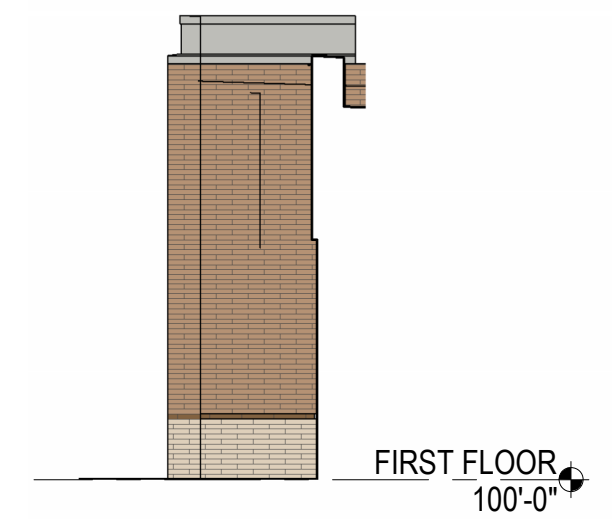
D4 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



E1 AREA 'B' COURTYARD 11 - NORTH
SCALE: 1/8" = 1'-0"



E2 EXT. ELEVATION
SCALE: 1/8" = 1'-0"



E3 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS GENERAL NOTES

Exterior Finishes: Provide exterior finishes, continuous until a transition is indicated. Provide on all similar elements, and on surfaces not shown in elevation such as back sides of piers, columns and other surfaces that may not be visible in the elevation view.

Lighting: Coordinate wall and soffit mounted lighting locations with Electrical drawings and with the Architect prior to rough-in.

LEGEND - EXTERIOR ELEVATION

- BRICK MASONRY, EMPEROR BRICK RUNNING BOND, COLOR 1, MATCH EXISTING
- BRICK MASONRY, EMPEROR BRICK RUNNING BOND, COLOR 2, MATCH EXISTING
- BRICK MASONRY, EMPEROR BRICK RUNNING BOND, COLOR 3, MATCH EXISTING
- ARCHITECTURAL FINISHED CASTED-IN-PLACE CONCRETE
- EIFS, COLOR 1, MATCH EXISTING
- EIFS, COLOR 2, MATCH CAST CONCRETE COLOR
- METAL COMPOSITE MATERIAL PANEL, COLOR 1
- GLAZING, VISION GLASS
- GLAZING, SPANDREL GLASS
- EXTERIOR CONTROL JOINT

KEYNOTES

- 022200.A00 EXISTING BUILDING
- 042000.B02 16" TALL BRICK SOLDIER COURSE, COLOR 1
- 042000.B03 8" WIDE VERTICAL BRICK BAND, COLOR 1
- 055000.E01 ROOF TO ROOF METAL LADDER
- 072413.B11 1" EIFS REVEAL
- 076200.D04 SCUPPER & DOWNSPOUT, SEE ROOF PLAN



**JUAN DIEGO CATHOLIC HIGH
PERFORMING ARTS &
CLASSROOM ADDITION
300 E 11800 S
DRAPER, UT 84020**

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MHTN PROJECT NO. 2023068
VIEW AND PRINT THIS DRAWING IN COLOR
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NO.	DATE	DESCRIPTION

ISSUE
SITE PLAN REVIEW SET
MAY 7, 2024

SHEET NAME
**EXTERIOR
ELEVATIONS**



JUAN DIEGO CATHOLIC HIGH
PERFORMING ARTS &
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MHTN PROJECT NO. 20230508
VIEW AND PRINT THIS DRAWING IN COLOR
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REVISIONS:
CONTRACTOR TO VERIFY DRAWINGS IN FIELD USE REFLECT
LAST REVISION DATE.

NO.	DATE	DESCRIPTION

ISSUE:
SITE PLAN REVIEW SET
MAY 7, 2024

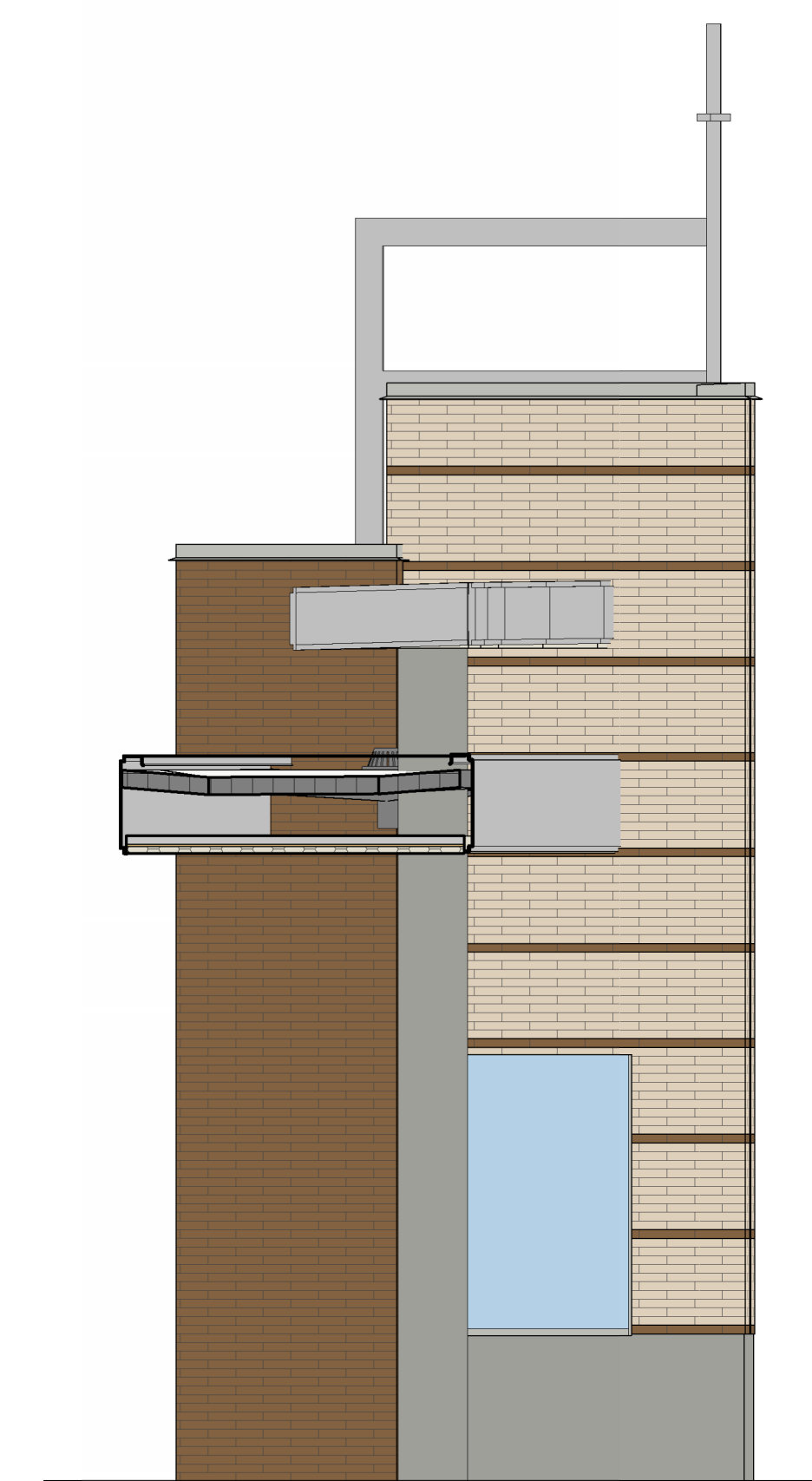
SHEET NAME:
EXTERIOR
CANOPY
ELEVATIONS (BID
ALTERNATE #2)

SHEET NUMBER

A204

LEGEND - EXTERIOR ELEVATION

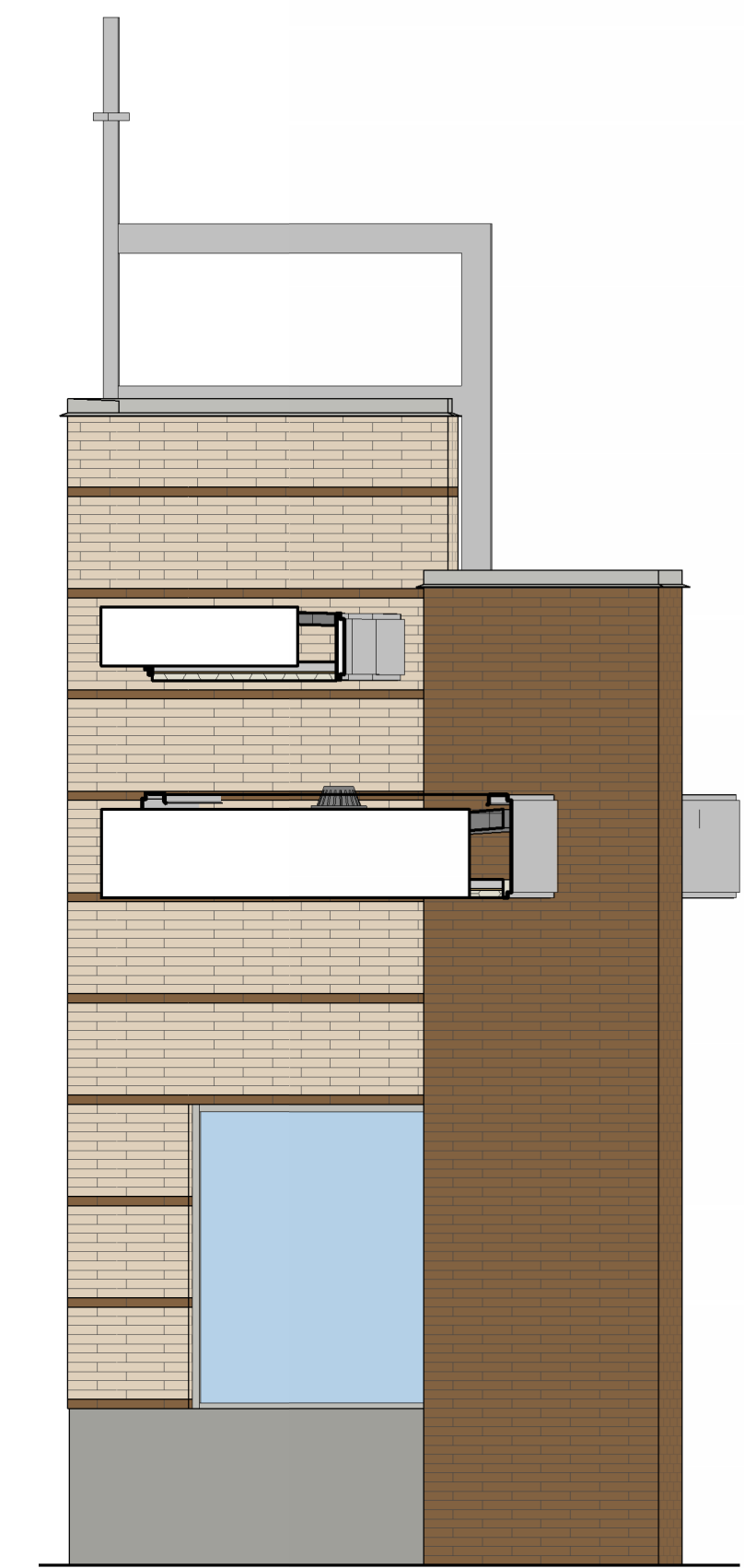
- BRICK MASONRY, EMPEROR BRICK RUNNING BOND, COLOR 1, MATCH EXISTING
- BRICK MASONRY, EMPEROR BRICK RUNNING BOND, COLOR 2, MATCH EXISTING
- BRICK MASONRY, EMPEROR BRICK RUNNING BOND, COLOR 3, MATCH EXISTING
- ARCHITECTURAL FINISHED CASTED-IN-PLACE CONCRETE
- EIFS, COLOR 1, MATCH EXISTING
- EIFS, COLOR 2, MATCH CAST CONCRETE COLOR
- METAL COMPOSITE MATERIAL PANEL, COLOR 1
- GLAZING, VISION GLASS
- GLAZING, SPANDREL GLASS
- EXTERIOR CONTROL JOINT



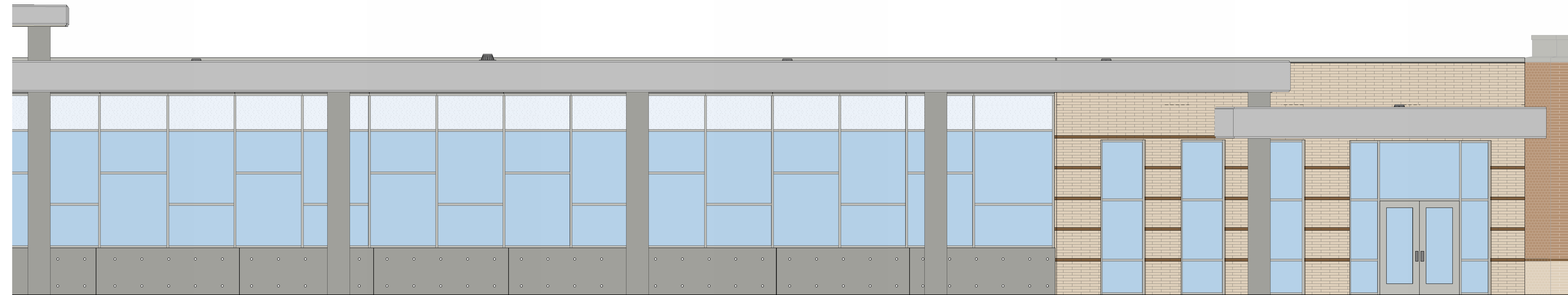
C1 EAST ELEVATION - CANOPY
SCALE: 1/4" = 1'-0"



C2 SOUTH ELEVATION - CANOPY
SCALE: 1/4" = 1'-0"



E1 WEST ELEVATION - CANOPY
SCALE: 1/4" = 1'-0"



D1 SOUTH ELEVATION - CANOPY
SCALE: 1/4" = 1'-0"

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**EXHIBIT I
LIGHTING PLAN**

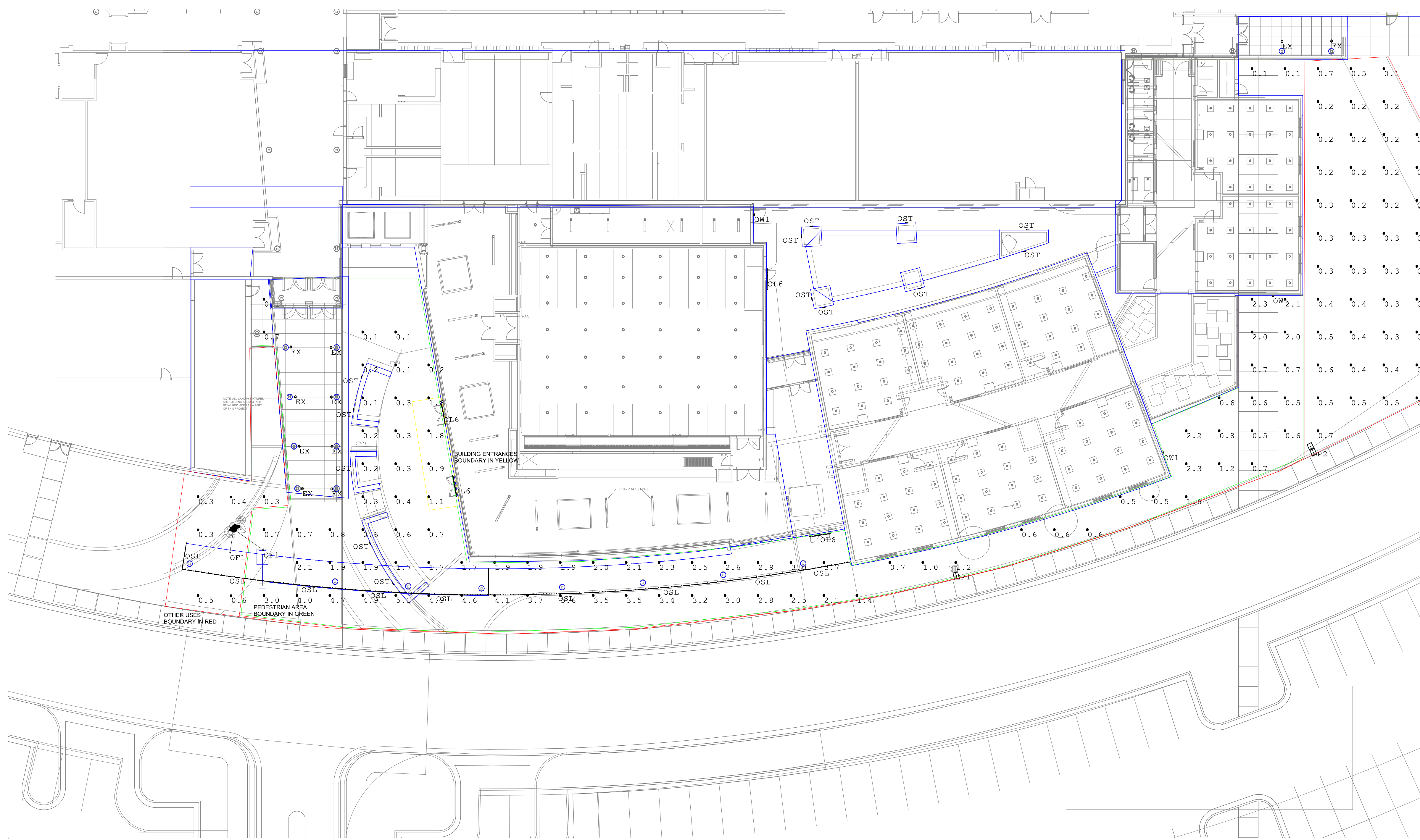


Image File : Render



TYPE EP - EXISTING POLE LIGHT
EXISTING POLE HEIGHT
ESTIMATED AT 20'



TYPE EX - EXISTING MH DOWNLIGHT



TYPE OST - NEW STEPLIGHT



TYPE OW1 - WALL PACK



TYPE OF1 - FLOOD LIGHT



TYPE OSL - CANOPY ACCENT



TYPE OL6 - NEW MULLION MOUNTED LIGHT ABOVE DOORS
FIXTURE WILL BE PROVIDED WITH DOWNLIGHT ONLY

Luminaire Schedule					
Symbol	Label	Description	LLF	Luminaire Lumens	Luminaire Watts
	EP1	EXISTING SINGLE HEAD POLE LIGHTS.	0.720	17872	134.5
	OF1	DSXF1 LED P1 30K MSP	0.500	2578	21
	OSL	SW3-12-35K-VR	0.750	111	3.648
	OL6	6' LINEAR LED SLOT FIXTURE MOUNTED TO WINDOW MULLION	N.A.	N.A.	N.A.
	OW1	RWL1-48L-25-4K7-3-U	0.300	3731	28
	EP2	EXISTING DUAL HEAD POLE LIGHTS.	0.450	17872	134.5
	EX	EXISTING METAL HALIDE DOWNLIGHTS	0.500	2347	128
	OST	FCSL2041	0.360	398	13.348

Calculation Summary					
Label	CalcType	Units	Avg	Max	Max/Avg
BUILDING ENTRANCES	Illuminance	Fc	1.27	1.8	1.42
OTHER USES	Illuminance	Fc	0.32	0.7	2.19
PEDESTRIAN AREA	Illuminance	Fc	1.70	5.1	3.00

Revisions	Date	Comments

JUAN DEIGO HIGH SCHOOL

Drawn By: GREG BRENCHLEY
Checked By:
Date: 5/30/2024
Scale:

SITE PLAN REVIEW SET
SITE LIGHTING CALCULATION

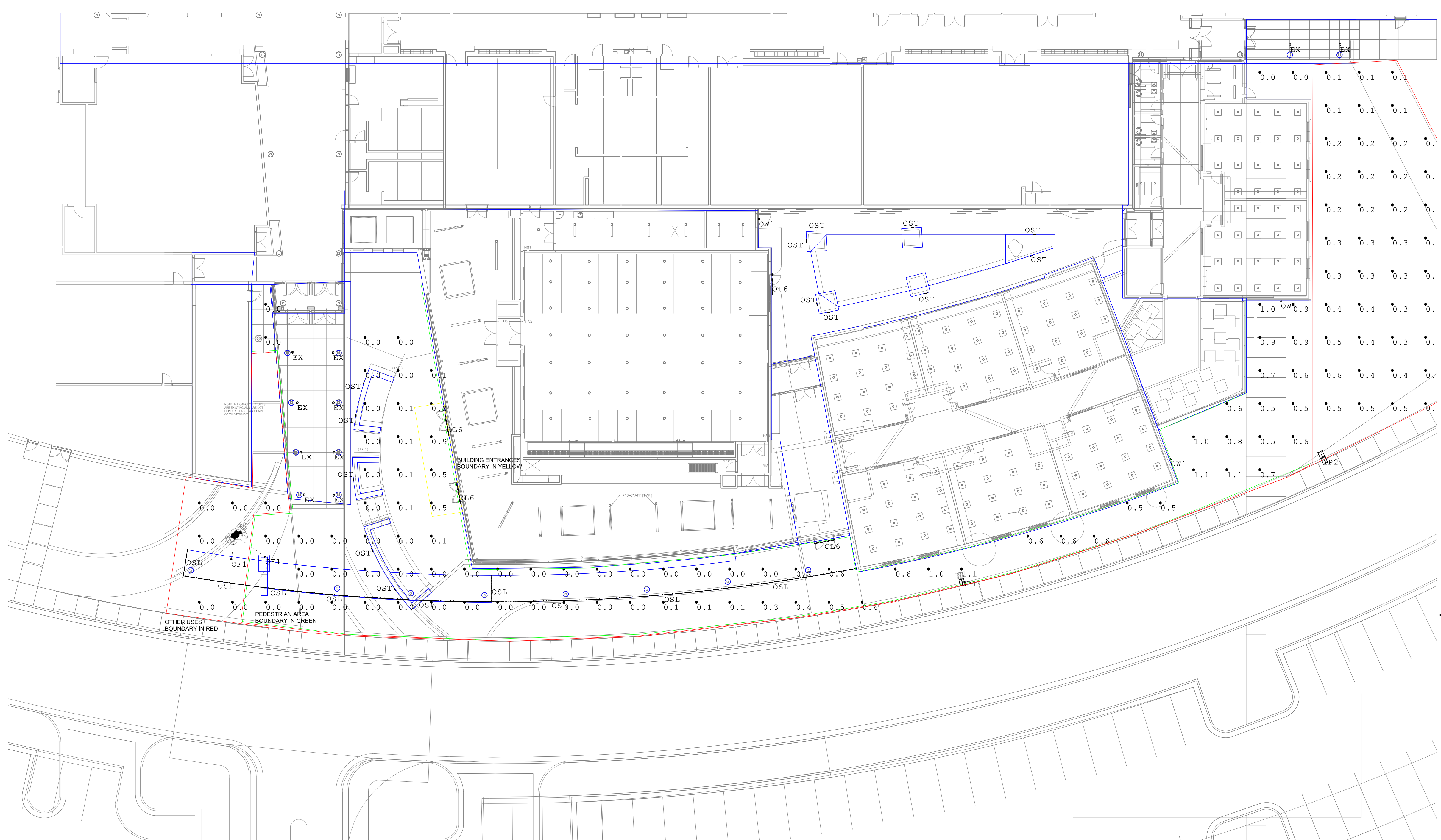


Image File : Render



TYPE EP - EXISTING POLE LIGHT
EXISTING POLE HEIGHT
ESTIMATED AT 20'



TYPE EX - EXISTING MH DOWNLIGHT



TYPE OST - NEW STEPLIGHT



TYPE OW1 - WALL PACK



TYPE OF1 - FLOOD LIGHT



TYPE OSL - CANOPY ACCENT



TYPE OL6 - NEW MULLION MOUNTED LIGHT ABOVE DOORS
FIXTURE WILL BE PROVIDED WITH DOWNLIGHT ONLY

Luminaire Schedule					
Symbol	Label	Description	LLF	Luminaire Lumens	Luminaire Watts
	EP1	EXISTING SINGLE HEAD POLE LIGHTS.	0.720	17872	134.5
	OF1	DSXF1 LED P1 30K MSP	0.500	2578	21
	OSL	SW3-12-35K-VR	0.800	111	3.648
	OL6	6' LINEAR LED SLOT FIXTURE MOUNTED TO WINDOW MULLION	N.A.	N.A.	N.A.
	OW1	RWL1-48L-25-4K7-3-U	0.240	3731	28
	EP2	EXISTING DUAL HEAD POLE LIGHTS.	0.450	17872	134.5
	EX	EXISTING METAL HALIDE DOWNLIGHTS	0.500	2347	128
	OST	FCSL2041	0.720	398	13.348

Calculation Summary					
Label	CalcType	Units	Avg	Max	Max/Avg
BUILDING ENTRANCES	Illuminance	Fc	0.63	0.9	1.43
OTHER USES	Illuminance	Fc	0.24	0.6	2.50
PEDESTRIAN AREA	Illuminance	Fc	0.28	1.1	3.93

AFTER HOURS LIGHT REDUCTION:
AFTER HOURS THE LIGHTING ON THE SITE WILL BE REDUCED BY TURNING OFF THE FOLLOWING LIGHTS:
(2) OF1 FIXTURES, (6) LENGTHS OF OSL FIXTURES, (10) EX EXISTING CANOPY DOWNLIGHT AND (13) OST FIXTURES
TOTALING 31 OF THE 40 LIGHT FIXTURES FOR A REDUCTION OF 77% OF THE LIGHT FIXTURES. ADDITIONALLY ALL
OL6 AND OW1 FIXTURES WILL BE DIMMED TO 30%. THE LIGHTING REDUCTION WILL ALL TAKE PLACE THROUGH THE
LIGHTING RELAY PANEL BASED ON THE SCHEDULE ESTABLISHED BY THE OWNER.

Revisions	Comments	Date

Drawn By: GREG BRENCHLEY
Checked By:
Date: 5/30/2024
Scale:

JUAN DEIGO HIGH SCHOOL

SITE PLAN REVIEW SET
SITE LIGHTING CALCULATION

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