



Development Review Committee

1020 East Pioneer Road
Draper, Utah 84020

STAFF REPORT

September 18, 2024

To: Jennifer Jastremsky, Zoning Administrator

Approved Date

From: Maryann Pickering, AICP, Planner III
(801) 576-6391 or maryann.pickering@draperutah.gov

Re: Trailside Townhomes – Site Plan Amendment Request

Application No.: 2023-4498-SP
Applicant: John Wheatley and David Tillotson, representing IKON Development
Project Location: 2142 East Brookings Drive
Current Zoning: RR-22 (Rural Residential), RR-43 (Rural Residential), and RM (Multi-family) Zone
Acreage: 19.37 acres (Approximately 843,757 square feet)
Request: Request for approval of a Site Plan Amendment in the RR-22 and RR-43 zones in order to develop the vacant property with 149 townhomes.

BACKGROUND AND SUMMARY

This application is a request for approval of a Site Plan Amendment for approximately 19.37 acres located on corner of Brookings Drive and Suncrest Drive, at 2142 East Brookings Drive (Exhibits B and C). The property is currently zoned RR-22, RR-43, and RM. The applicant is requesting that a Site Plan be approved to allow the property to be developed with 149 townhomes.

The property was originally part of the Suncrest development area and was recorded as Lots 1301-1306 of the Maple Hollow Phases 10, 11, and 13 at Suncrest plat. The Suncrest



Master Plan for these properties was for them to be developed with commercial uses. The Suncrest development is vested under the 1999 Draper City Municipal Code (1999 DCMC) and properties in this area still contain zoning designations from the 1999 DCMC, like the RR-22, RR-43, and RM zones.

In 2015, the prior property owner and Draper City entered into a Development Agreement that removed the property from the Suncrest Development Agreement Area and allowed the property to be developed with up to 160 townhomes. While the property was not rezoned to modern Draper City Municipal Code (DCMC) zoning designations, it is now vested to the current zoning code regulations and required to comply with Chapter 9-32 of the DCMC.

The initial site plan application for this project was first heard at the July 28, 2022 Planning Commission meeting. The Planning Commission also considered a Subdivision Plat Amendment application for the property at that meeting. The Subdivision Plat Amendment application was approved. As part of the Site Plan request, deviations were requested for sidewalks and building materials. Both deviations were denied and the Site Plan was continued to a date uncertain.

On August 8, 2022, the applicant filed an appeal for the sidewalk deviation denial. The building material deviation was not appealed. After the appeal hearing, the City and applicant negotiated a settlement that the Appeals and Variance Hearing Officer approved. The Appeals and Variance hearing Officer's final order requires sidewalks on both sides of some streets and sidewalk on just one side of the street for a portion of two streets. A full copy of the final order and the exhibit outlining where the deviations were granted can be found in Exhibit F.

On November 17, 2022, the Planning Commission granted approval of a site plan application for Trailside Townhomes, located at approximately 2142-2318 E. Brookings Drive.

The Planning Commission approved a six-month extension to the approved Site Plan application on November 9, 2023. A Land Disturbance Permit was issued as the applicant did have an approved site plan. The property owner had additional delays obtaining approvals from the Suncrest HOA. The Land Disturbance Permit was limited in the scope of work as the applicant worked to make some additional design and minor site plan changes that are included in this proposed application. If approved, this application will allow the applicant to move forward with their Land Disturbance Permit and submit for necessary building permits.

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Residential Medium Density	Exhibit D
Current Zoning	RM, RR-22, and RR-43	Exhibit E
Proposed Use	Multi-family Dwellings	
Adjacent Zoning		
East	RR-22	
West	RM	
North	RM, RR-22	
South	A5 (Agricultural)	

The Residential Medium Density designation is characterized as follows:

Residential Medium Density

LAND USE DESCRIPTION					
CHARACTERISTICS	<ul style="list-style-type: none"> • Preservation of large tracts of open space, rather than open space contained primarily in individual subdivision lots • Variations and mixing of lot sizes, setbacks, and residential development forms • Minimal fronting of homes on major streets • Provision for trails that allow interconnectivity to other existing or proposed trails • Discourage "piecemeal" infrastructure installation • Trees and abundant landscaping, encouraging low water use and native plants 				
LAND USE MIX	<table border="0"> <tr> <td>Primary</td> <td>Secondary</td> </tr> <tr> <td> <ul style="list-style-type: none"> • Single-family detached homes </td> <td> <ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space </td> </tr> </table>	Primary	Secondary	<ul style="list-style-type: none"> • Single-family detached homes 	<ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space
Primary	Secondary				
<ul style="list-style-type: none"> • Single-family detached homes 	<ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space 				
DENSITY	<ul style="list-style-type: none"> • Density range: 2-4 dwelling units per acre 				
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Residential Agricultural (RA2) • Single-family Residential (R3) • Single-family Residential (R4) • Master Planned Community (MPC) 				
OTHER CRITERIA	<ul style="list-style-type: none"> • Preservation of environmental features usually requires a master-planned or cluster development. Increased densities within these areas would be allowed only with compliance to specified performance standards and impact mitigation measures 				

According to 1999 DCMC Section 9-4-020 the purpose of the RR-22 and RR-43 zones was to *"promote and preserve, in appropriate areas, conditions favorable to large-lot family life, the keeping of limited numbers of animals and fowl. These districts are intended to be*



primarily residential in character and protected from encroachment by commercial and industrial uses."

According to 1999 DCMC Section 9-4-030 the purpose of the RM zone was to *"provide areas for low-to-medium residential density' with the opportunity for varied housing styles and character, providing for a maximum density of up to twelve (12) units per acre for medium to high density residential unit projects subject to conditional-use permit procedures and conditions for this type of use and based on minimum development guidelines adopted by the City."*

Site Plan Layout. The updated site plan continues to show that the property will be developed with 149 townhome style dwelling units configured within 30 residential buildings (Exhibit G). The site will be accessed from Brookings Drive and Suncrest Drive. There will be three ingress and egress points in total.

Table 2 Site Plan Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Boundary Line Setback			
Front	Minimum of 5 feet to maximum of 20 feet	10 feet	Ranges from 10 feet along Suncrest Drive to more than 20 along Brookings Drive
Front	Minimum of 5 feet to maximum of 20 feet	17 feet	All units are a minimum of 20 feet from any street in the project.
Rear	10 feet minimum	61 feet	
Rear	10 feet minimum	178 feet	
Driveway Depth	20 foot minimum	20 feet	

Circulation. The applicant is proposing private roads for the entire development (Exhibit G). Dwelling units will be front loaded structures from the private streets in the development. The center of the development will have alley loaded units and a center walkway running between the front of the units. A western road spur will serve front loaded units on either side of the street. Two eastern spurs will serve units on one side of the road and these units will be alley loaded. Sidewalks will be provided on both sides of the private roads, except in the locations that the Appeals and Variance Hearing Officer decision of September 23, 2022 allowed for sidewalk on only one side.



Landscaping and Lot Coverage. The landscape plan includes substantial natural open space, about two thirds of the property will be in natural open space (Exhibit H). The other one third will be made up of amenity space and landscaped areas adjacent to buildings. Amenities provided include a clubhouse, pickle ball court, pool, swimming pool and hot tub, tot lot, picnic areas, and view decks.

Table 3 Landscaping Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Lot Coverage (Buildings)	40% Max	29.8%	
Overall Landscaping Coverage	30% Min	34%	
Buffer Landscaping	N/A	N/A	
Water Wise Landscaping	N/A	Most of the property open space will be preserved as be non-irrigated, native grasses. All other landscaping complies with current standards.	
Street Trees	From approved tree list	All trees from approved list	
Amenities	5 required	7 provided	

Parking. The applicant is providing two-car garages for each unit, along with a minimum 20’ driveway depth as required by the DCMC that can accommodate two additional cars behind the garage as part of the driveway for each unit (Exhibit G). Guest parking is provided around the clubhouse area and is spread evenly throughout the development.

Table 4 Parking Lot Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Parking Required			
Dwelling Units	298 (2 spaces per unit)	298	
Guest Parking	38 (1 space per 4 units)	39	

Architecture. The applicant is proposing 2-3 story townhomes (Exhibit I). There are 30 residential buildings and one clubhouse. Due to the grade changes on the property, each building will be slightly different, from two or three stories tall, front loaded, and the building material percentages will be slightly different for each building. Each unit is typically built on top of the required garage. All the buildings have at least 50% primary materials and meet the minimum code requirements. The applicant has changed the



roofline of the units from the previously approved design. The roofline was changed to meet the requirements of the Suncrest HOA. However, since the redesign was completed and this Site Plan Amendment submitted, the applicant is no longer part of the Suncrest HOA. Therefore, Suncrest HOA approval is no longer required. The applicant has decided to continue forward with the updated roofline design as proposed in this application.

Table 5 Architectural Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Building Height	35 feet maximum	35 feet	
Materials			
Primary	Brick or Stone	Brick, Hardie siding and metal	
Secondary	N/A	N/A	
Percentage of Materials			
All sides	50% minimum of primary materials	50% to 66%	Individual buildings and facades vary in materials utilized.

Lighting. The applicant is providing for evening and night time illumination of the development via street lights, and a few smaller scale pedestrian lights at the clubhouse (Exhibit J). The applicant has not provided adequate information that shows that nighttime lighting will be reduced by at least a third per the DCMC. A condition of approval has been included in the staff recommendations section of this report for that to be provided.

Table 6 Lighting Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Property Lines Foot Candles	0.2 foot-candle (fc) maximum	Up to 4.1 fc	Changes to plans are required
Light Pole Height	20 feet maximum	14 feet	
Foot Candles			
Maximum Illumination	8.0 fc	4.9 fc	
Maximum Average Illumination	4.0 fc	2.0 fc	
Maximum Illumination Ratio (Max:Ave)	2.5:1 fc	2.45:1 fc	

Criteria For Approval.



The criteria for review and potential approval of a Site Plan Amendment request are found in Section 9-5-090(E) of the DCMC. This section depicts the standards of review for such requests as:

- E. Standards for Approval: The following standards shall apply to the approval of a site plan:
1. The entire site shall be developed at one time unless a phased development plan is approved.
 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
 3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
 4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
 5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Geotechnical and Geologic Hazards Review. Taylor Geo-Engineering, LLC and Simon Associates LLC., in working with the Draper City Building and Engineering Divisions, have completed their reviews of the geotechnical and geologic hazards report submitted as a part of the Site Plan Amendment. Comments from Taylor Geo-Engineering, LLC and Simon Associates LLC, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Parks & Trails Committee Review. The Draper City Parks and Trails Committee has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

STAFF RECOMMENDATION

Staff finds the application will comply with the DCMC once the general and specific conditions of approval listed below have been met. Staff recommends the Zoning Administrator review the request and approve the site plan amendment pertaining to Units 1-5 of the building located at 2256 E. Ikon Drive subject to the general conditions listed below. This would allow building permits to be issued for that building, and conditionally approve the remaining application subject to the applicant complying with the specific and general conditions of approval as listed below. Approval is based on the findings listed below and the criteria for approval as listed within the staff report. Staff further recommends requiring the completion of the Specific Conditions of Approval (listed as items 1 through 3 below) before the entire Site Plan Amendment approval becomes effective. The Site Plan Amendment shall not be considered fully approved until these 3 conditions are met and the Zoning Administrator has issued a notice of Site Plan Amendment approval. The effective date of the Site Plan Amendment approval shall be the date on the Zoning Administrator's notice of Site Plan Amendment approval.

A. Specific Conditions of Approval

1. The Site Plan Amendment shall not be considered fully approved until the specific conditions of approval are met and the Zoning Administrator has issued a notice of Site Plan Amendment approval.
2. Building permits will be issued for Unit 1-5 for the building located at 2256 E. Ikon Drive. No other building permits will be issued until all conditions listed in this Section and Section B below are satisfied and a notice of Site Plan Amendment approval is issued.
3. The 'Area Suitable for Development' shall be approved by the City's third party Geological/Geohazard consultants before any further building permits are issued.
4. An updated lighting plan meeting all requirements of the Chapter 9-20 of the DCMC shall be approved prior to the issuance of any building permit for the project.

B. General Conditions of Approval

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.

2. That all requirements of the geologic hazard and geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site. Including:
 - a. Prior to obtaining a Land Disturbance Permit addressing the following: TG recommendation No. 2, in the December 13, 2021, TG Geotechnical Engineering Review No. 2 (TG, 2021), is implemented by the City: "Before commencement of mass grading, the City requires a project meeting to review grading and earthwork requirements."
 - b. Prior to obtaining a Building Permit: Summary of CMT Earthwork Recommendations and Summary of CMT Geotechnical Recommendations for Plan Review in the December 13, 2021, TG Geotechnical Engineering Review No. 2, (TG, 2021), are implemented during Plan Review by the City.
 - c. Prior to obtaining a Land Disturbance Permit address the following: on page 2 of the June 27, 2022, CMT document, CMT states:
 - "We also understand that a storm brick system will be constructed at the site to collect and convey stormwater. The storm brick system will discharge water to a couple locations at the fill slope face and water will not be allowed to drain into the ground below the system."
 - Based on a review of Sheet C3.0, Grading and Drainage Plan, and Sheet C7.3, Construction Details, Trailside Townhomes, prepared by Kimley Horn, dated June 6, 2022, it appears the proposed "stormbrick" system will allow water to drain into the ground below the stormwater system.
 - If the "stormbrick" system is used as part of the development storm drainage plan, before final permit approval by the City, TG recommends the City REQUIRE CMT to update their global stability analyses of the affected slopes to include seepage pressure derived from the drainage water infiltrating the slope.
 - d. Prior to obtaining a building permit address the following: Under review comment (2) in the July 11, 2022, TG review letter, TG stated:
 - "Should CMT rely on the Geopier/stone column specialty contractor for the design analysis of the Geopiers/stone columns, TG recommends the City request the specialty contractor provide the design analysis for review."
 In response to the comment, the July 12, 2022, CMT response letter stated:
 - "We understand that a specialty contractor will provide settlement analysis for Geopiers/stone columns."
 - *Before final building plan permit approval, TG recommends the City REQUIRE CMT to provide the settlement and bearing design analysis for the Geopiers/stone columns for review.*

In Comment 2 of the August 13, 2024, TG letter, TG recommended the City request CMT include a citation or reference for the initial Figure 3 "Site Geologic Map."

The CMT response follows:

"Figure 3, Site Geologic Map, was originally included and substantiated in the CMT report for the Geologic Restricted Area. A copy of that submittal will be included separately with this response," (i.e., Review of Geologic Restricted Area, Trailside Townhomes, South of Brookings Drive/Suncrest Drive, Draper, Utah" CMT Project No. 16619, March 14, 2022).

The intent of Comment 2 of the August 13, 2024, TG letter was to recommend the City request CMT place a citation or reference on Figure 3 "Site Geologic Map." Accordingly, *TG recommends the City request CMT place a citation or reference on Figure 3 "Site Geologic Map (Revised)," from the August 22, 2024, CMT letter.*

In Comment 3a of the August 13, 2024, TG letter, TG recommended the City request CMT delineate the retaining walls in Figure 3, "Site Geologic Map (Revised)," from the July 15, 2022, CMT letter.

- a. CMT presumably responded to TG comment 3a under CMT response 4:
 - "The various walls are labeled on Figure 3, Geologic Site Map (Revised to include the buildable area), attached."
- b. The labeling of the walls in "Figure 3, Geologic Site Map (Revised)," from the August 22, 2024, CMT letter is not adequate. For instance, the labels for Walls 4 and 8 point to a green line which the legend indicates represents "Area Suitable for Development." The label for Wall 7 appears to point to a geologic contact.
- c. Accordingly, *TG recommends the City request CMT clearly delineate the retaining walls in CMT "Figure 3, "Site Geologic Map (Revised)," from the August 22, 2024, CMT letter.*

In Comment 3b of the August 13, 2024, TG letter, TG recommended the City request CMT provide the results of the "evaluated . . . global stability" of the proposed rockery walls.

- a. In response to the TG Comment 3b, CMT states on page 3 in the **Stability Analysis** section of the August 22, 2024, report the following:
 - "We used the same parameters for the on-site fill and native clayey sand soils, as presented in our referenced geological and geotechnical report dated October 7, 2021. In addition, the value for the volcanic bedrock (Tv) used the same direct shear (see Figure 27, Direct Shear Test in the October 7, 2021 report) as the alluvial fan soils (Taf) but with increased cohesion and unit weight

values to account for the less weathered and more cohesive condition of the bedrock.”

- b. Section 9-19-100 of the City geologic hazards ordinance states: “Data upon which recommendations and conclusions are based, shall be clearly stated in the report.” *Therefore, TG recommends the City request CMT substantiate the increased cohesion and unit weight values of the Tv used in their stability analysis.*

In Comment 4 of the August 13, 2024, TG letter, TG recommended the City request CMT provide the data to substantiate the revisions to the encircled “Area Suitable for Development” shown in the attached Figure 3, “Site Geologic Map (Revised),” from the July 15, 2024, CMT letter.

- a. In CMT’s response to TG Comment 4, CMT states: “The original slope stability in our October 27, 2021, report indicated that a retaining wall up to 10 feet in height would be stable, thus inferring that a cut slope up to 10 feet in height would also have adequate stability and is suitable for the buildable area on the east side.”
- b. TG Recommends the City request CMT:
 - (1) Provide a copy of the October 27, 2024, CMT report.
 - (2). Clarify whether CMT’s reference to a “retaining wall” and a “cut slope” is correct.

TG recommends the City request CMT include a statement regarding the suitability of the "Revised Area Suitable for Development" from a geotechnical engineering perspective.

- 3. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any building permits. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
- 4. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
- 5. Fire sprinklers are required or an approved alternative shall be approved by the Fire Marshal prior to building permit issuance.
- 6. Address the outstanding Fire Department redlines listed in Exhibit A prior to issuance of a building permit, unless designated otherwise.
- 7. Address the outstanding Engineering Division redlines listed in Exhibit A prior to issuance of a Land Disturbance permit, unless designated otherwise.
- 8. Address the outstanding Geotechnical review items listed in Exhibit A prior to the issuance of a building permit unless designated otherwise.
- 9. Address the outstanding Geologic Hazard review items listed in Exhibit A prior to the issuance of a building permit unless designated otherwise.



The findings for approval as are follows:

1. The applicant acknowledges it has not met the specific conditions of approval.
2. The application will meet the requirements and provisions of the Draper City Municipal Code, including Section 9-5-090(E), once the specific conditions of approval have been met.
3. The Zoning Administrator has agreed to approve the application with conditions (as outlined above) subject to the applicant complying with the specific conditions of approval.
4. The final effective date of the Zoning Administrator's Site Plan Amendment approval will be when the Zoning Administrator confirms the applicant has complied with the specific and general conditions of approval.
5. The applicant will comply with the general conditions of approval throughout the construction of the project.
6. The purpose and intent of the development standards set forth in DCMC Chapter 9-32 are met.

The findings for denial as are follows:

1. The site plan does not conform to applicable standards set forth in Title 9, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
2. The proposed development plans do not meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
3. The public facilities and services in the area are not adequate to support the subject development, as required by engineering standards and specifications.
4. The proposed development plans do not comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.
5. The purpose and intent of the development standards set forth in DCMC Chapter 9-32 are not being met.



DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US,
E=brien.maxfield@draperutah.gov,
O=Draper, OU=Public Works -
Engineering, CN=Brien Maxfield
Date: 2024.09.19 11:43:28-06'00'

Draper City Public Works Department

Todd A. Draper

Digitally signed by Todd A.
Draper
DN: C=US,
E=todd.draper@draper.ut.us,
O=Draper City Planning,
CN=Todd A. Draper
Date: 2024.09.18
12:39:06-06'00'

Draper City Planning Division

Don Buckley

Digitally signed by Don Buckley
DN: C=US, E=don.buckley@draper.ut.us,
O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2024.09.19 13:42:54-06'00'

Draper City Fire Department



Draper City Legal Counsel

Matthew Symes

Digitally signed by Matthew Symes
DN: C=US,
E=matt.symes@draperutah.gov,
O=Draper City Corp., CN=Matthew
Symes
Date: 2024.09.18 12:36:07-06'00'

Draper City Building Division

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. An updated lighting plan meeting all requirements of the Chapter 9-20 of the DCMC shall be approved prior to the issuance of any building permit for the project.

Engineering and Public Works Divisions Review.

1. When onsite changes are made to a site plan, per DCMC 9-5-090(H)(4), onsite drainage and public improvements are required to be brought into compliance with current code.
2. Retaining walls are to comply with DCMC 9-27-085. Retaining walls are not reviewed or approved with this review and approval process.
3. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to building permit issuance.
4. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division.
5. Draper City requires the engineer of record to provide the site as-built drawings, detention/retention basin(s) volume certification(s), and site grading and drainage certification letter after subdivision construction is complete.
6. During recent rain events, there have been swales fail with the proposed design shown in Detail 2, Sheet C7.3 on equivalent slopes. Review design for the swale, including energy dissipation, rip rap stabilization, fabric anchoring, etc., with the proposed design to provide improved operation during storm events. ***Applicant indicated that he did not want to modify design of swales and with discussion with their engineer decided their swale design is adequate and does not need to be modified. They indicated they understood that they are responsible for damage, repair, and restoration should their facilities fail in storms, including storms that exceed the design storms.***
7. Grading plan shows swales above and below retaining walls and at top of slopes. Not every swale has a discharge point. Verify swale drainage design. ***Response, "Swales updated as needed and drainage confirmed."***
8. Verify design of drive approach onto Suncrest Drive keeps 100-year storm event runoff on Suncrest Drive without diverting any street flow into the site. Grading plan shows all runoff directed onto site. ***Response, "Grading calls added showing current design has adequate rise over existing gutter line in Suncrest to contain 100-yr storm within existing Roadway."***
9. Dead end waterlines are required to have fire hydrant at the end of the line to facilitate flushing (fire hydrant to be the last connection to dead end pipeline).

- Second review update: Waterline on Horsetail Lane (16120 S), see sheet C4.3, is required end at fire hydrant.
10. All service taps 1.5" diameter and larger shall have a valve box at the connection to distribution pipeline. Second review update: Add valve at each service connection (no valves shown on service lines).
 11. To clarify within the master meter, the four-inch bypass requires the Sensus C2 meter and the eight-inch main line requires the Sensus F2 meter (UL & FM rated and listed). Update note 16 on sheet C4.3.
 12. Verify street design – SS plan and profile drawings shows street surface(s) that do not follow standard street design, for example, see sheet C4.8 at MH at sta 11+45.59. *No response from applicant or applicant's engineer.*

Geotechnical Review.

Based on our review of the July 12, 2022, CMT letter, TG recommends the City consider the June 27, 2022, CMT addendum letter combined with the July 11, 2022, response letter complete from a geotechnical engineering perspective with the following conditions.

1. TG recommendation No. 2, in the December 13, 2021, TG Geotechnical Engineering Review No. 2 (TG, 2021), is implemented by the City: "Before commencement of mass grading, the City requires a project meeting to review grading and earthwork requirements."
2. Summary of CMT Earthwork Recommendations and Summary of CMT Geotechnical Recommendations for Plan Review in the December 13, 2021, TG Geotechnical Engineering Review No. 2, (TG, 2021), are implemented during plan review by the City.
3. On page 2 of the June 27, 2022, CMT document, CMT states:
 - "We also understand that a storm brick system will be constructed at the site to collect and convey stormwater. The storm brick system will discharge water to a couple locations at the fill slope face and water will not be allowed to drain into the ground below the system."
 - Based on a review of Sheet C3.0, Grading and Drainage Plan, and Sheet C7.3, Construction Details, Trailside Townhomes, prepared by Kimley Horn, dated June 6, 2022, it appears the proposed "stormbrick" system will allow water to drain into the ground below the stormwater system.
 - If the "stormbrick" system is used as part of the development storm drainage plan, before final permit approval by the City, TG recommends the City REQUIRE CMT to update their global stability analyses of the affected slopes to include seepage pressure derived from the drainage water infiltrating the slope.
4. Under review comment (2) in the July 11, 2022, TG review letter, TG stated:
 - "Should CMT rely on the Geopier/stone column specialty contractor for the design analysis of the Geopiers/stone columns, TG recommends the City request the specialty contractor provide the design analysis for review."

In response to the comment, the July 12, 2022, CMT response letter stated:

- "We understand that a specialty contractor will provide settlement analysis for Geopiers/stone columns."
 - Before final building plan permit approval, TG recommends the City REQUIRE CMT to provide the settlement and bearing design analysis for the Geopiers/stone columns for review.
5. In Comment 2 of the August 13, 2024, TG letter, TG recommended the City request CMT include a citation or reference for the initial Figure 3 "Site Geologic Map."
The CMT response follows:
"Figure 3, Site Geologic Map, was originally included and substantiated in the CMT report for the Geologic Restricted Area. A copy of that submittal will be included separately with this response," (i.e., Review of Geologic Restricted Area, Trailside Townhomes, South of Brookings Drive/Suncrest Drive, Draper, Utah" CMT Project No. 16619, March 14, 2022).
- The intent of Comment 2 of the August 13, 2024, TG letter was to recommend the City request CMT place a citation or reference on Figure 3 "Site Geologic Map." Accordingly, *TG recommends the City request CMT place a citation or reference on Figure 3 "Site Geologic Map (Revised)," from the August 22, 2024, CMT letter.*
6. In Comment 3a of the August 13, 2024, TG letter, TG recommended the City request CMT delineate the retaining walls in Figure 3, "Site Geologic Map (Revised)," from the July 15, 2022, CMT letter.
CMT presumably responded to TG comment 3a under CMT response 4:
"The various walls are labeled on Figure 3, Geologic Site Map (Revised to include the buildable area), attached."
The labeling of the walls in "Figure 3, Geologic Site Map (Revised)," from the August 22, 2024, CMT letter is not adequate. For instance, the labels for Walls 4 and 8 point to a green line which the legend indicates represents "Area Suitable for Development." The label for Wall 7 appears to point to a geologic contact. Accordingly, *TG recommends the City request CMT clearly delineate the retaining walls in CMT "Figure 3, "Site Geologic Map (Revised)," from the August 22, 2024, CMT letter.*
7. In Comment 3b of the August 13, 2024, TG letter, TG recommended the City request CMT provide the results of the "evaluated . . . global stability" of the proposed rockery walls.
In response to the TG Comment 3b, CMT states on page 3 in the **Stability Analysis** section of the August 22, 2024, report the following:
"We used the same parameters for the on-site fill and native clayey sand soils, as presented in our referenced geological and geotechnical report dated October 7, 2021. In addition, the value for the volcanic bedrock (Tv) used the same direct shear (see Figure 27, Direct Shear Test in the October 7, 2021 report) as the alluvial fan soils (Taf) but with increased cohesion and unit weight values to

account for the less weathered and more cohesive condition of the bedrock.”

Section 9-19-100 of the City geologic hazards ordinance states: “Data upon which recommendations and conclusions are based, shall be clearly stated in the report.” *Therefore, TG recommends the City request CMT substantiate the increased cohesion and unit weight values of the T_v used in their stability analysis.*

8. In Comment 4 of the August 13, 2024, TG letter, TG recommended the City request CMT provide the data to substantiate the revisions to the encircled “Area Suitable for Development” shown in the attached Figure 3, “Site Geologic Map (Revised),” from the July 15, 2024, CMT letter.

In CMT’s response to TG Comment 4, CMT states:

“The original slope stability in our October 27, 2021, report indicated that a retaining wall up to 10 feet in height would be stable, thus inferring that a cut slope up to 10 feet in height would also have adequate stability and is suitable for the buildable area on the east side.”

TG Recommends the City request CMT:

- a. Provide a copy of the October 27, 2024, CMT report.
 - b. Clarify whether CMT’s reference to a “retaining wall” and a “cut slope” is correct.
9. TG recommends the City request CMT include a statement regarding the suitability of the "Revised Area Suitable for Development" from a geotechnical engineering perspective.

Geologic Hazards Review.

1. Based substantially in and on the reliance of the technical documentation and assurances provided by CMT, including their findings and conclusions, it is SA’s opinion the August 26, 2021, CMT report sufficiently characterizes geologic conditions at the 19.36-acre parcel to satisfactorily:
 - a. Fulfill the requirements of the Draper City Geologic Hazard Ordinance and;
 - b. Evaluate slope stability at the site in accordance with Appendix C of the Draper City Geologic Hazards Ordinance.
2. Based on the requirements of the Draper City Geologic Hazards Ordinance and the technical documentation provided by CMT, Simon Associates recommends Draper City consider the August 26, 2021, CMT Geologic Hazards Study and Geotechnical Engineering Report for Lots 1301 through 1306, Maple Hollow 10, 11, & 13 at Suncrest complete from a geologic perspective.
3. In Comment 2 of the August 13, 2024, SA letter, SA recommended the City request CMT include a citation or reference for the initial Figure 3 “Site Geologic Map.”

The CMT response follows:

“Figure 3, Site Geologic Map, was originally included and substantiated in the CMT report for the Geologic Restricted Area. A

copy of that submittal will be included separately with this response," (i.e., Review of Geologic Restricted Area, Trailside Townhomes, South of Brookings Drive/Suncrest Drive, Draper, Utah" CMT Project No. 16619, March 14, 2022).

The intent of Comment 2 of the August 13, 2024, SA letter, was to recommend the City request CMT place a citation or reference on Figure 3 "Site Geologic Map." Accordingly, *SA recommends the City request CMT place a citation or reference on Figure 3 "Site Geologic Map (Revised)," from the August 22, 2024, CMT letter (attached).*

4. In Comment 3a of the August 13, 2024, SA letter, SA recommended the City request CMT delineate the retaining walls in Figure 3, "Site Geologic Map (Revised)," from the July 15, 2022, CMT letter.

CMT presumably responded to SA comment 3a under CMT response 4:

"The various walls are labeled on Figure 3, Geologic Site Map (Revised to include the buildable area), attached."

The labeling of the walls in "Figure 3 "Site Geologic Map (Revised)," in the August 22, 2024, CMT letter (attached) is not adequate. For instance, the labels for Walls 4 and 8 point to a green line which the legend indicates represents "Area Suitable for Development." The label for Wall 7 appears to point to a geologic contact. Other issues are shown on the attached SA annotated CMT "Figure 3, Geologic Site Map (Revised) from the August 22, 2024, CMT letter. Accordingly, *SA recommends the City request CMT to clearly delineate the retaining walls in CMT "Figure 3, Geologic Site Map (Revised) from the August 22, 2024, CMT letter.*

5. In CMT's response to SA Comment 4, CMT states:

"The original slope stability in our October 27, 2021, report indicated that a retaining wall up to 10 feet in height would be stable, thus inferring that a cut slope up to 10 feet in height would also have adequate stability and is suitable for the buildable area on the east side."

 - a. SA recommends the City request CMT provide a copy of the October 27, 2024, CMT report.
 - b. SA recommends the City request CMT clarify whether CMT's reference to a "retaining wall" and a "cut slope" is correct.
6. SA recommends the City request CMT include a statement regarding the suitability of the August 22, 2024, Area Suitable for Development from a geologic perspective.

Fire Division Review.

1. Fire Department Access is required. An unobstructed minimum road width of twenty-six feet exclusive of the shoulders and a minimum height of 13'6" shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of

28'. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued. This project currently appears to meet this requirement field verification will be required.

- a. D103.6.1 Roads 20 to 26 feet in width. Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20' to 26' wide.
 - 1) This section requires that parking be prohibited on both sides of narrower fire apparatus access roads. 20' is the appropriate width needed for two average-size fire trucks to pass one another. If that width is reduced by parking even on one side, it will be potentially difficult for a fire department to undertake emergency operations in that area.
- b. D103.6.2 Roads more than 26'. Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26' wide and less than 32' wide
 - 1) Because this width is more than sufficient for maneuvering at least two fire department vehicles by one another, parking would be allowed on one side.

2. D103.6 Signs. Where required by the fire code official, fire apparatus access roads shall be marked with permanent NO PARKING—FIRE LANE signs complying with Figure D103.6 (see below). Signs shall have a minimum dimension of 12" wide by 18" high and have red letters on a white reflective background. Signs shall be, posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2. NO PARKING FIRE LANE signs shall be placed every 250'. Please show on plans and this project currently appears to meet this requirement.



3. Fire Hydrants are required. Hydrants are required to be spaced at 450' as the hose lays, not as the crow flies for this project. Fire Flow of 2,000 GPM @ 20 PSI residual pressure.
4. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during

- the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
5. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
 6. IFC SECTION 3310 ACCESS FOR FIRE FIGHTING DURING CONSTRUCTION.
 - a. 3310.1.1 Required Access. Approved vehicle access for firefighting shall be, provided to all construction or demolition sites. Vehicle access shall be provided to within 100' of temporary or permanent fire department connections. Either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions, shall provide vehicle access. Vehicle access shall be, maintained until permanent fire apparatus access roads are available.
 - 1) Until permanent fire apparatus access roads are constructed, fire-fighting vehicle access is the means by which fire fighters gain access to the construction or demolition site and building for fire suppression and rescue operations. Such access is an integral component of the fire prevention program. The site superintendent or other person responsible for construction and demolition operations is responsible for maintaining and policing fire-fighter access routes, as pro-vided in Section 3308. Fire apparatus must be able to get within 100' of any installed fire department connection supplying water to temporary or permanent fire protection systems. Access roads must support the weight of the heaviest vehicle that might respond. The weight requirements are avail-able from the local fire department. All-weather sur-faces are required because the responding fire department should not waste time moving snow or trying to get out of mud.
 7. IFC CHAPTER 33 FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. This section of fire will be enforced. Please make sure the project is maintaining all aspects of this chapter during construction.
 8. Fire Sprinklers Required. A deferred submittal for a NFPA 13-D or 13-R fire sprinkler shop drawings are to be sent via email to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level III or better in Auto Sprinkler Layout. ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
 9. Fire Alarm Required if installing a NFPA 13-R Fire Sprinkler. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a

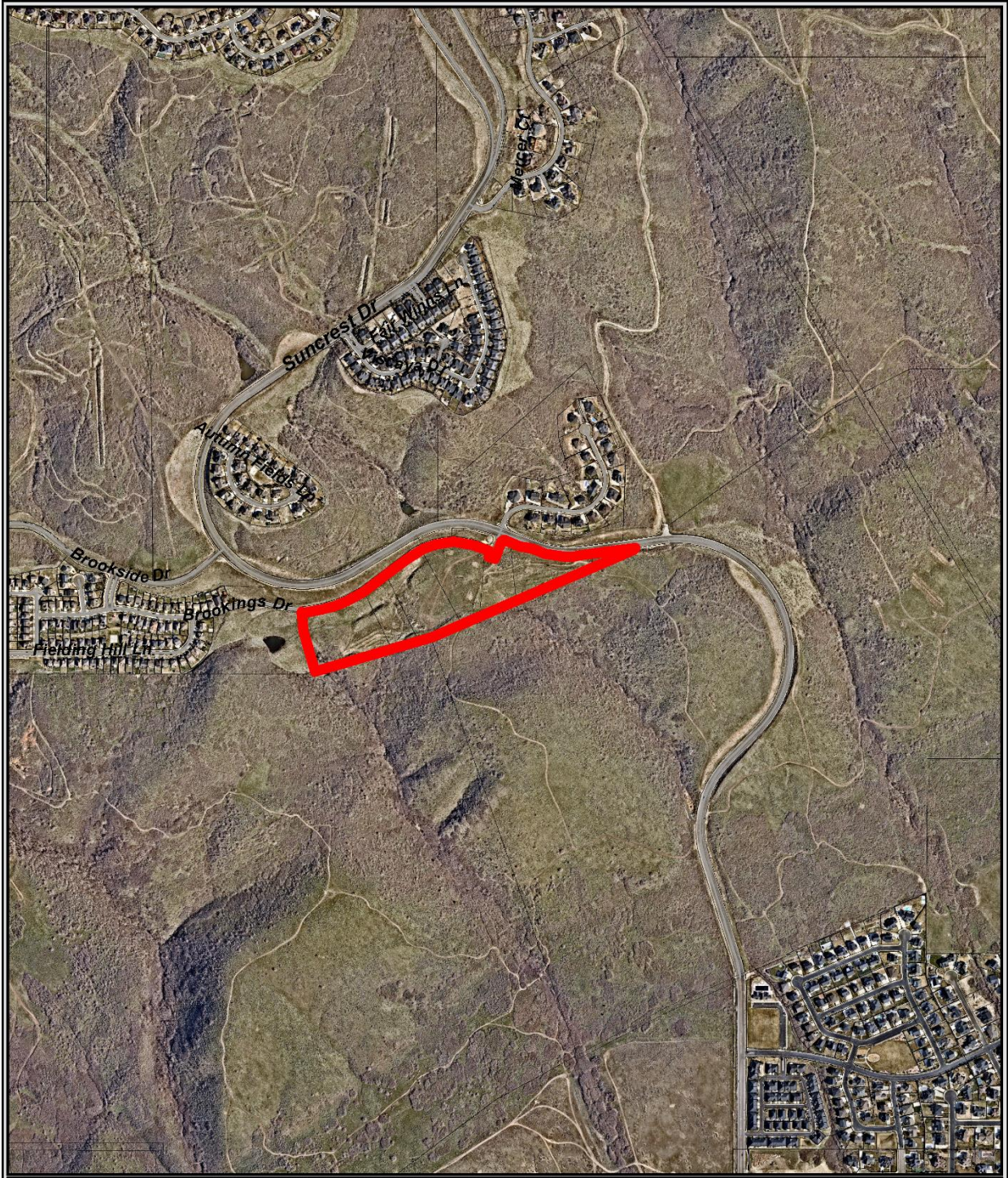
NICET level III or better in Fire Alarm Systems. ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.

10. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background. All addresses for the above listed buildings will all need to be on the garage side as well as the front side.
11. Plan approval or review shall not, be construed to relieve from or lessen the responsibility of any person designing, owning, operating or controlling any building. Damages to persons or property caused by defects, fire, improper installation, or other emergency conditions that occur in or on the building property shall not hold the Draper City Fire Department as assuming any liability.
12. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background. All addresses for the above listed buildings will all need to be on the garage side as well as the front side.

Parks and Recreation Division Review.

1. Note that a potential alignment of the Bonneville Shoreline Trail is planned along the south side of the planned development. Final alignments to be studied and coordinated with property owner at a future date. Accommodations for future trail connections from Development may be considered by Developer.

EXHIBIT B
VICINITY MAP



Trailside Townhomes
2142 E. Brookings Drive

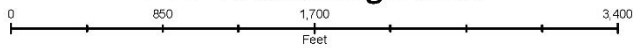


EXHIBIT C
AERIAL MAP



Trailside Townhomes
2142 E. Brookings Drive

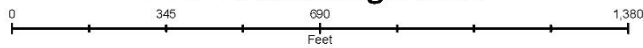
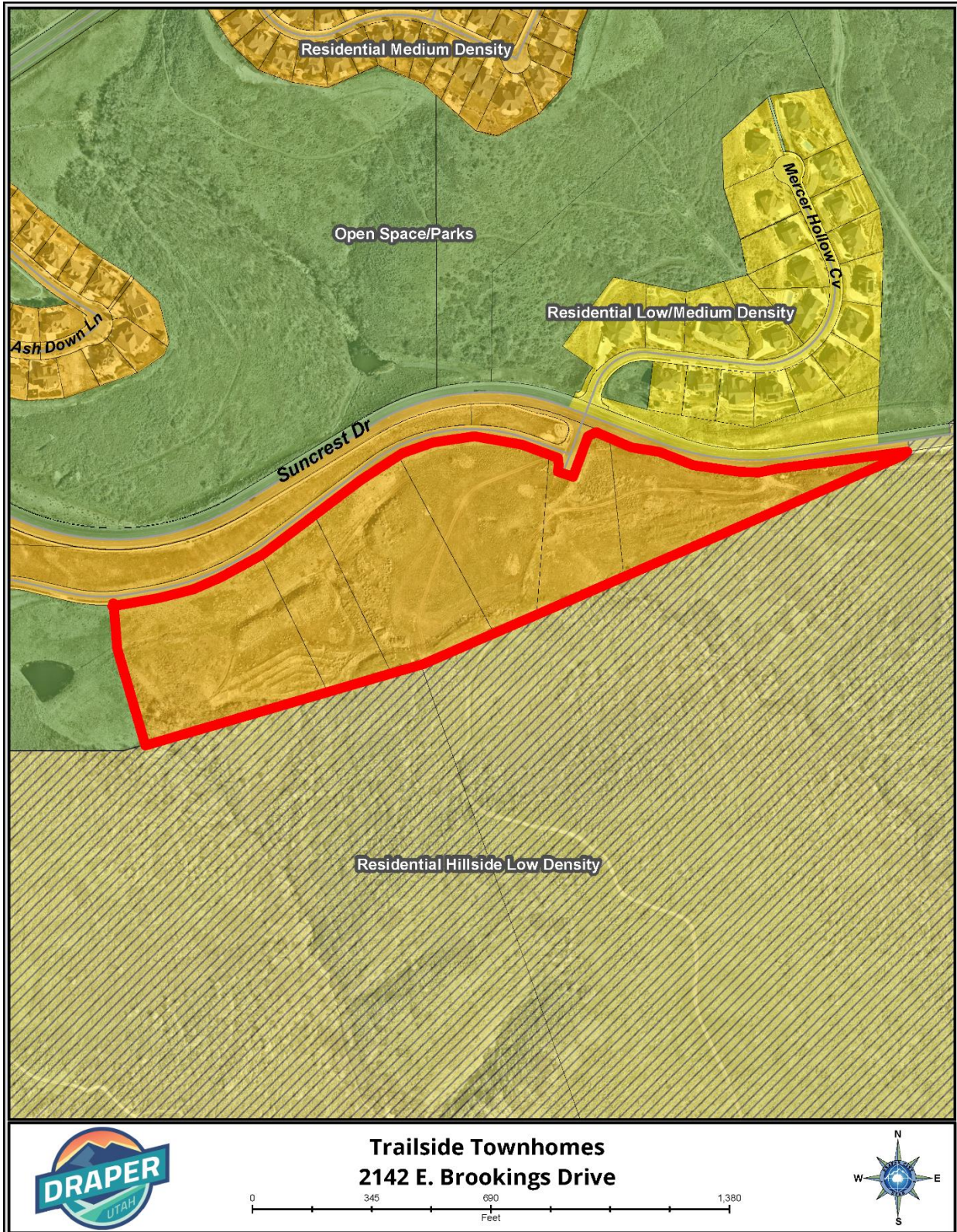


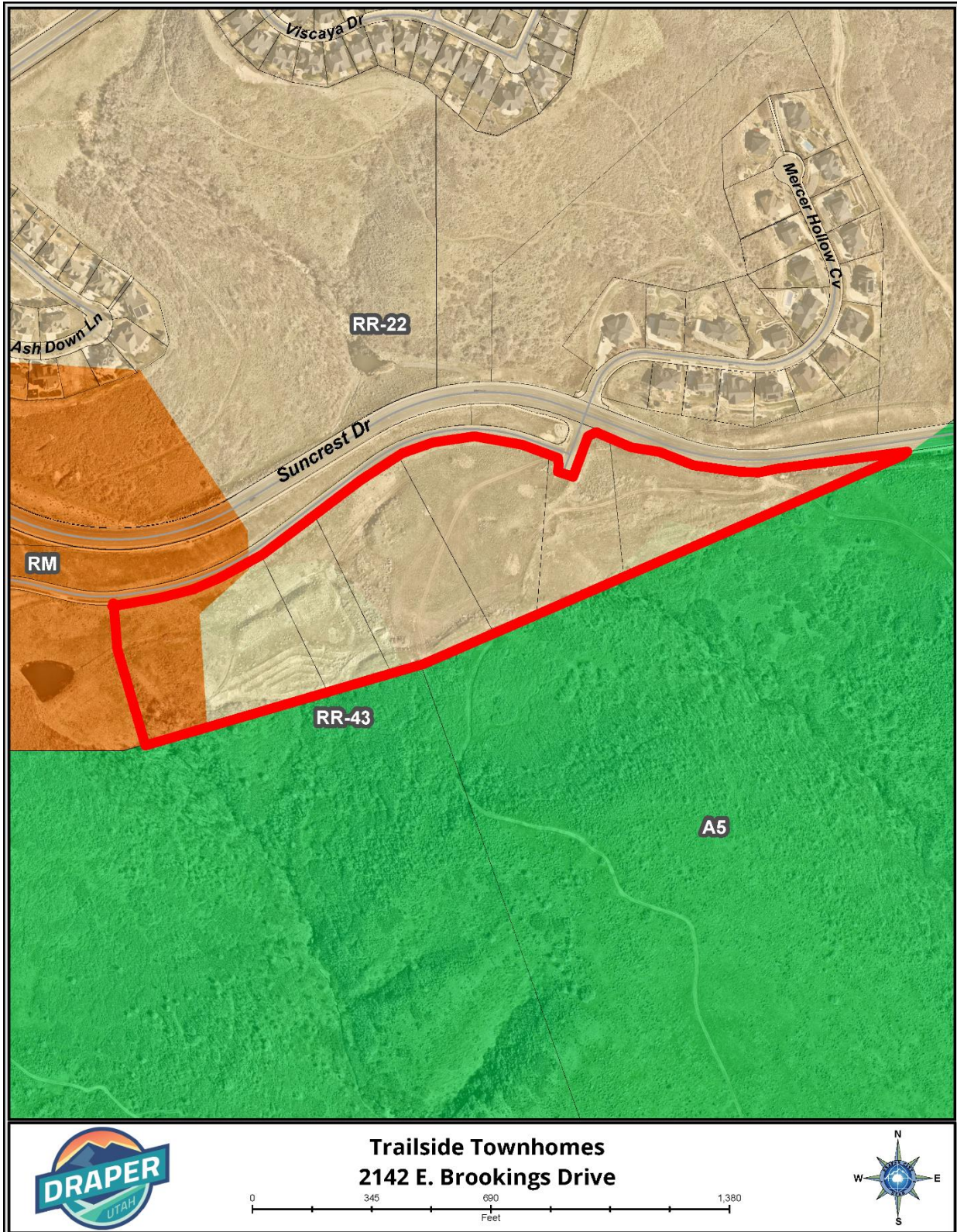
EXHIBIT D
LAND USE MAP



Trailside Townhomes
2142 E. Brookings Drive



EXHIBIT E
ZONING MAP



Trailside Townhomes
2142 E. Brookings Drive

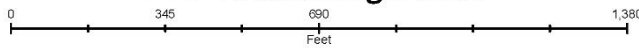


EXHIBIT F
APPEAL DECISION

Brent N. Bateman
DENTONS DURHAM JONES PINEGAR P.C.
3301 N Thanksgiving Way, Suite 400
Lehi, Utah 84043
(801) 375-6600
brent.bateman@dentons.com

Attorneys for Appellants

**APPEAL BEFORE THE DRAPER CITY
ADMINISTRATIVE HEARING OFFICER**

<p>Trailside GP, LLC, Appellants, vs. Draper City, Respondents.</p>	<p>JOINT MOTION AND STIPULATION FOR ENTRY OF DECISION</p> <p>Hearing Officer Tim Pack</p>
---	--

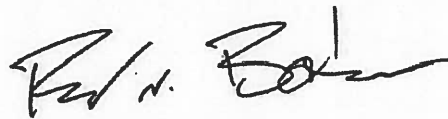
Appellant Trailside GP, LLC, (“Trailside”) and Appellee Draper City (“City”) hereby jointly stipulate and move that the Hearing Officer to this administrative appeal enter the proposed Stipulated Decision filed concurrently herewith (“Stipulated Decision”). This Joint Motion and Stipulation for Entry of Decision is a component of a settlement entered into by the parties.

The parties stipulate to a ruling in accordance with the map attached hereto as Exhibit 1. The Hearing Officer will uphold the decision of the Planning Commission in part, and not grant a deviation on Pipeline Street, Levitate Lane, Rush Road running roughly north/south, Zen Way, and along a short distance between the play lawn and the amenity deck along Horsetail Lane. Accordingly, Appellant must install sidewalks in all areas shown in Exhibit A in black lines.

The Hearing Officer will overturn the decision of the Planning Commission in part, and grants the deviation along Rush Road running roughly east/west and those portions of Horsetail Lane except the portion between the play lawn and the amenity deck. Places where deviations are granted are shown on Exhibit A in yellow lines.

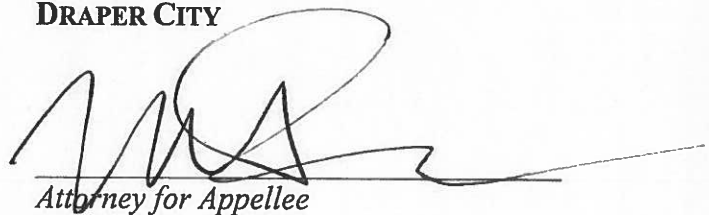
DATED this 23rd day of September 2022.

DENTONS DURHAM JONES PINEGAR



Attorney for Appellant

DRAPER CITY



Attorney for Appellee

Brent N. Bateman
DENTONS DURHAM JONES PINEGAR P.C.
3301 N Thanksgiving Way, Suite 400
Lehi, Utah 84043
(801) 375-6600
brent.bateman@dentons.com

Attorneys for Appellants

**APPEAL BEFORE THE DRAPER CITY
ADMINISTRATIVE HEARING OFFICER**

<p>Trailside GP, LLC, Appellants, vs. Draper City, Respondents.</p>	<p>ORDER ON JOINT MOTION AND STIPULATION FOR ENTRY OF DECISION</p> <p>Hearing Officer Tim Pack</p>
---	---

This matter comes before the Draper City Administrative Hearing Officer on Appellant Trailside GP, LLC, (“Trailside”) and Appellee Draper City (“City”) Joint Motion and Stipulation for Entry of Decision, filed on September __, 2022.

The Administrative Hearing Officer decides this matter in accordance with the map attached hereto as Exhibit 1. The Hearing Officer upholds the decision of the Planning Commission in part, and does not grant a deviation on Pipeline Street, Levitate Lane, Rush Road running roughly north/south, Zen Way, and along a short distance between the play lawn and the amenity deck along Horsetail Lane. Accordingly, Appellant must install sidewalks in all areas shown in Exhibit A in black lines.

The Hearing Officer overturns the decision of the Planning Commission in part, and grants the deviation along Rush Road and those portions of Horsetail Lane except the portion between the play lawn and the amenity deck. Places where deviations are granted are shown on Exhibit A in yellow lines.

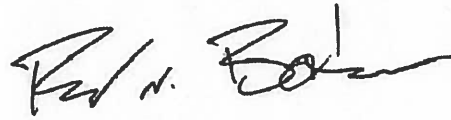
So Ordered:

ADMINISTRATIVE HEARING OFFICER

Timothy R. Pack

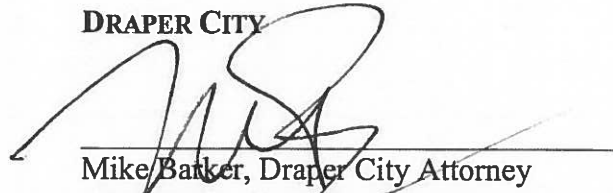
Approved as to form:

DENTONS DURHAM JONES PINEGAR



Brent N. Bateman
Attorney for Appellant

DRAPER CITY



Mike Barker, Draper City Attorney
Attorney for Appellee

EXHIBIT A



- SIDEWALK / CROSSWALK
- ASPHALT PATH
- PUBLIC SIDEWALK
- CRUSHED GRANITE (OR SIMILAR) TRAIL
- PROPOSED DEVIATIONS
- PROPOSED ADDITIONAL SIDEWALKS

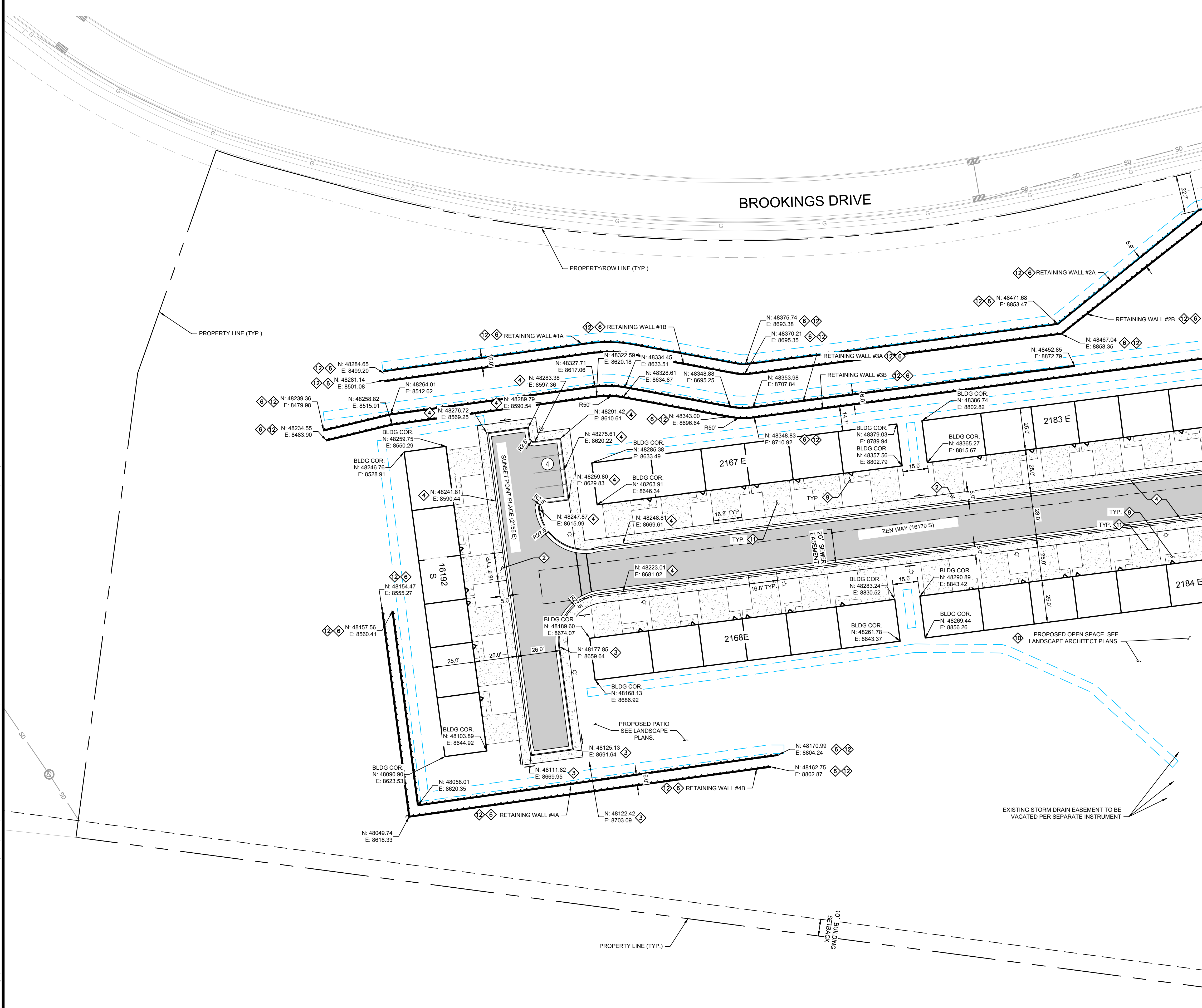
TRAILSIDE TOWNHOMES
 DRAPER, UT

CONCEPT CIRCULATION EXHIBIT
 SEPTEMBER 20, 2022

Signature: Timothy R. Pack
Timothy R. Pack (Sep 26, 2022 10:07 MDT)

Email: trp@clydesnow.com

**EXHIBIT G
SITE PLAN**



SEE SHEET C2.2

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ENCROACHMENT AGREEMENTS REQUIRED FOR ANY PROPOSED ENCROACHMENTS IN THE RIGHT OF WAY. ENCROACHMENT APPLICATIONS ARE NOT ALWAYS APPROVED.
- SEE SHEETS C4.0 - C4.3 FOR UTILITY DESIGN

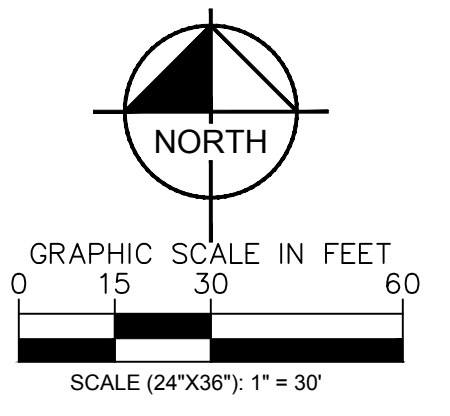
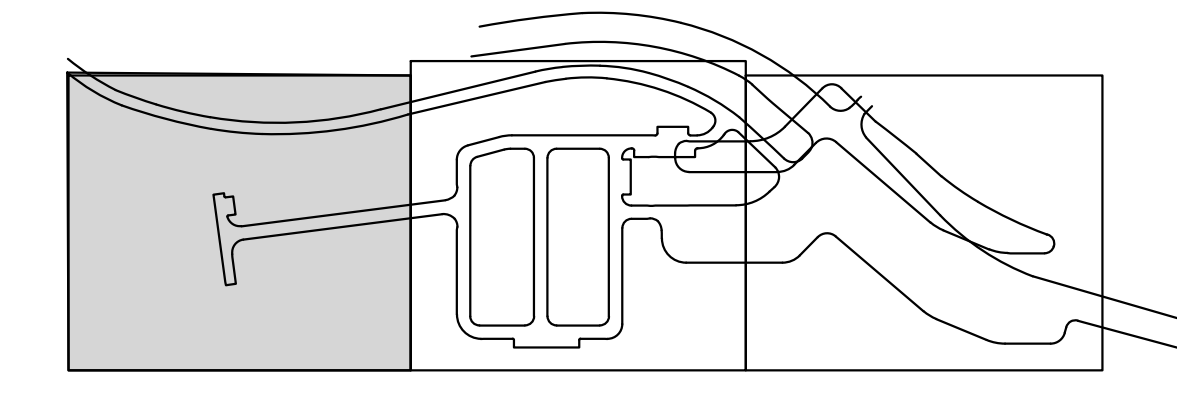
NOTES

1	MATCH EXISTING
2	PROPOSED SIDEWALK PER DRAPER CITY SPECIFICATIONS. SEE DETAILS ON SHEET C7.0.
3	INSTALL 30" CONCRETE CURB AND GUTTER. SEE DETAILS SHEET C7.0.
4	INSTALL TYPE D CURB AND GUTTER PER APWA STANDARD PLAN 205.1. SEE DETAILS ON SHEET C7.0.
5	WATERWAY TRANSITION PER DRAPER CITY SPECIFICATIONS. SEE DETAIL 1 ON SHEET C7.0.
6	PROPOSED RETAINING WALL PER ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND STRUCTURAL PLANS (BY OTHERS). LABELS MEASURE TO CENTERLINE OF WALL.
7	INSTALL CORNER CURB CUT ADA RAMP PER DRAPER CITY SPECIFICATIONS. SEE DETAILS ON SHEET C7.1.
8	INSTALL MIDBLOCK ADA RAMP PER DRAPER CITY SPECIFICATIONS. SEE DETAILS ON SHEET C7.0.
9	ENTRANCE PATIOS PER ARCHITECTURAL PLANS.
10	AMENITY PER LANDSCAPE ARCHITECTURE PLANS.
11	MOUNTABLE CURB DRIVEWAY APPROACH PER APWA STANDARD PLAN 216. SEE DETAILS ON SHEET C7.1.
12	SAFETY RAIL TO BE INSTALLED ON RETAINING WALL PER STRUCTURAL PLANS (BY OTHERS)
13	KEYNOTE UNUSED
14	INSTALL STAIRS/STEPS WITH 12" TREADS. SEE GRADING PLANS FOR FINISHED GRADE AT TOP AND BOTTOM OF STAIRSTEP.
15	DEMO EXISTING CURB, GUTTER AND SIDEWALK. INSTALL RADIUS DRIVE APPROACH PER DRAPER CITY STD. PLAN ST-09. REFER TO DETAIL 7 ON SHEET C7.0.
16	INSTALL STAIRS/STEPS WITH 11" TREADS. SEE GRADING PLANS FOR FINISHED GRADE AT TOP AND BOTTOM OF STAIRSTEP.
17	INSTALL VEHICULAR GUARDRAIL FOR 20 MPH SPEED. GUARDRAIL DESIGN TO BE PROVIDED BY OTHERS.

LEGEND

	PROPERTY LINE
	PROPOSED ROAD CENTERLINE
	PROPOSED UTILITY EASEMENT
	EXISTING STORM DRAIN EASEMENT
	INSTALL CONCRETE PAVEMENT PER KEYNOTES
	PROPOSED ASPHALT PAVEMENT SECTION PER GEOTECH REPORT. SEE DETAIL ON SHEET C2.0
	PROPOSED GRAVEL ROAD PER GEOTECHNICAL SPECIFICATIONS
	PROPOSED CRUSHED GRAVEL TRAIL PER LANDSCAPE ARCHITECTURE PLANS
	PARKING COUNT
	PROPOSED STREET LIGHT PER SITE ELECTRICAL PLANS BY OTHERS

KEY MAP



DATE	DESCRIPTION

SITE PLAN

TRAILSIDE TOWNHOMES
DRAPER CITY, UTAH

Kimley»Horn

111 East Broadway, Suite 600 | Salt Lake City, UT 84111 | Tel. No. (385) 2133178

DRAWN BY: JDL	DATE: 03/27/2024
DESIGNED BY: JDL	DATE: 03/27/2024
CHECKED BY: AJR	DATE: 03/27/2024
PROJECT No.: 093855000	SCALE: AS SHOWN

SEAL

SHEET
C2.1

CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.

BLUE STAKES OF UTAH
 1-800-662-4111
 www.bluestakes.org

811

Know what's below.
Call before you dig.

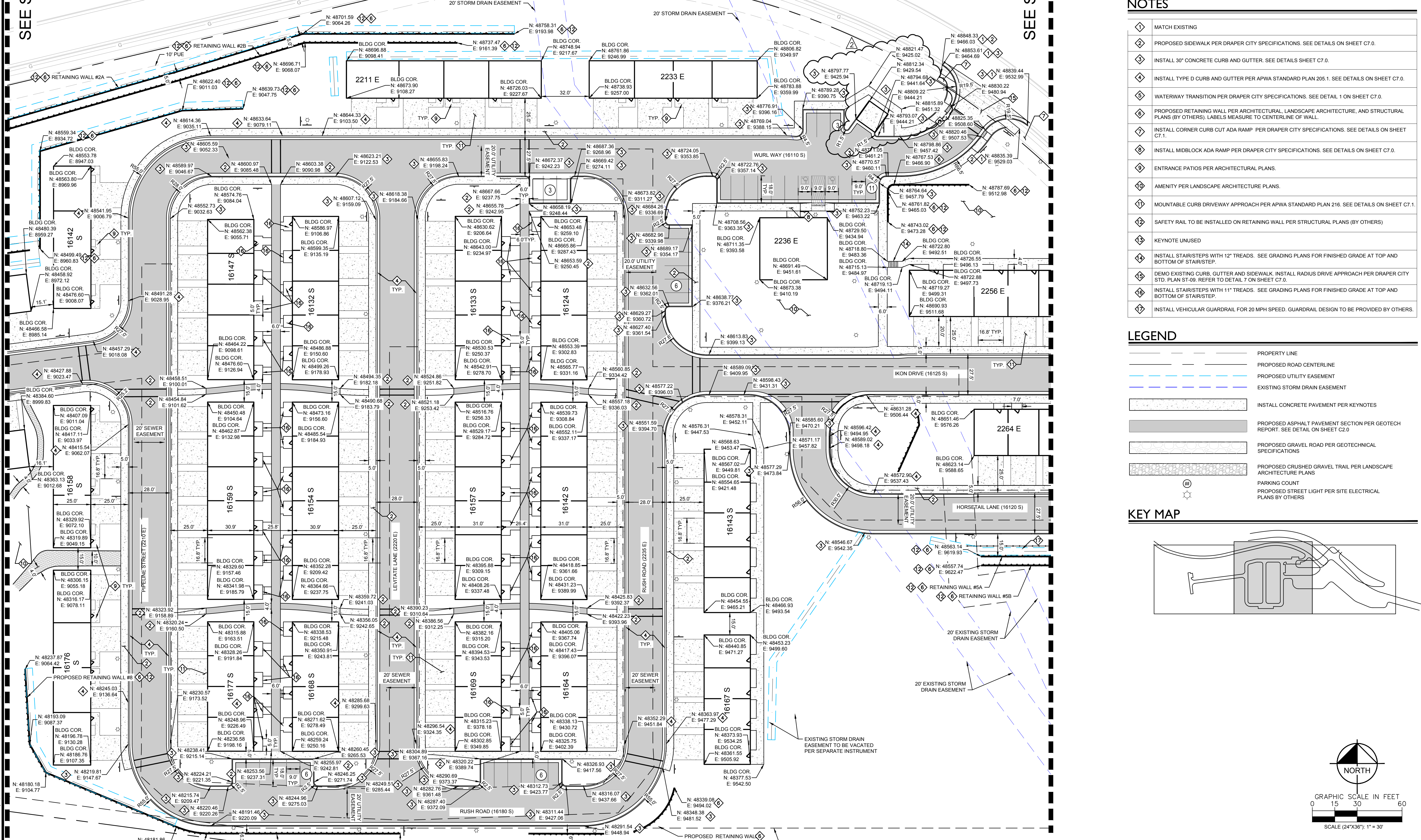
CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

SEE SHEET C2.1

SEE SHEET C2.3

BROOKINGS DRIVE



GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ENCROACHMENT AGREEMENTS REQUIRED FOR ANY PROPOSED ENCROACHMENTS IN THE RIGHT OF WAY. ENCROACHMENT APPLICATIONS ARE NOT ALWAYS APPROVED.
- SEE SHEETS C4.0 - C4.3 FOR UTILITY DESIGN

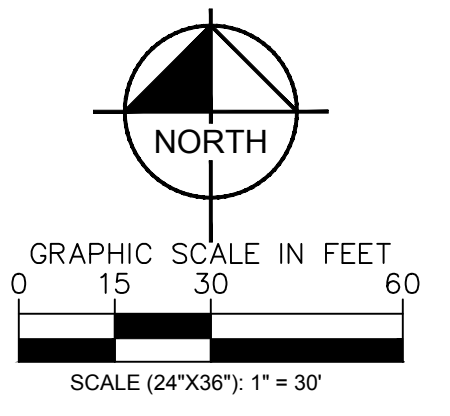
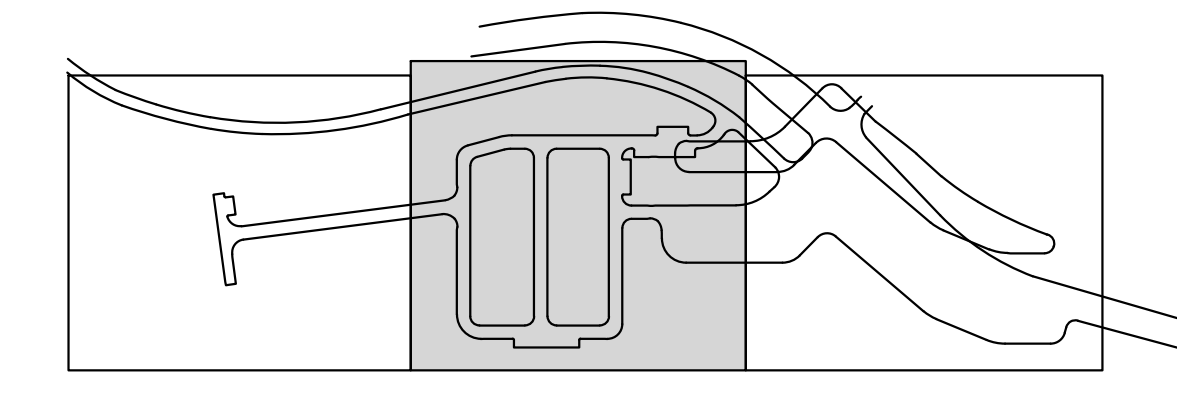
NOTES

- 1 MATCH EXISTING
- 2 PROPOSED SIDEWALK PER DRAPER CITY SPECIFICATIONS. SEE DETAILS ON SHEET C7.0.
- 3 INSTALL 30" CONCRETE CURB AND GUTTER. SEE DETAILS SHEET C7.0.
- 4 INSTALL TYPE D CURB AND GUTTER PER APWA STANDARD PLAN 205.1. SEE DETAILS ON SHEET C7.0.
- 5 WATERWAY TRANSITION PER DRAPER CITY SPECIFICATIONS. SEE DETAIL 1 ON SHEET C7.0.
- 6 PROPOSED RETAINING WALL PER ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND STRUCTURAL PLANS (BY OTHERS). LABELS MEASURE TO CENTERLINE OF WALL.
- 7 INSTALL CORNER CURB CUT ADA RAMP PER DRAPER CITY SPECIFICATIONS. SEE DETAILS ON SHEET C7.1.
- 8 INSTALL MIDBLOCK ADA RAMP PER DRAPER CITY SPECIFICATIONS. SEE DETAILS ON SHEET C7.0.
- 9 ENTRANCE PATIOS PER ARCHITECTURAL PLANS.
- 10 AMENITY PER LANDSCAPE ARCHITECTURE PLANS.
- 11 MOUNTABLE CURB DRIVEWAY APPROACH PER APWA STANDARD PLAN 216. SEE DETAILS ON SHEET C7.1.
- 12 SAFETY RAIL TO BE INSTALLED ON RETAINING WALL PER STRUCTURAL PLANS (BY OTHERS)
- 13 KEYNOTE UNUSED
- 14 INSTALL STAIRS/STEPS WITH 12" TREADS. SEE GRADING PLANS FOR FINISHED GRADE AT TOP AND BOTTOM OF STAIRSTEP.
- 15 DEMO EXISTING CURB, GUTTER AND SIDEWALK. INSTALL RADIUS DRIVE APPROACH PER DRAPER CITY STD. PLAN ST-09. REFER TO DETAIL 7 ON SHEET C7.0.
- 16 INSTALL STAIRS/STEPS WITH 11" TREADS. SEE GRADING PLANS FOR FINISHED GRADE AT TOP AND BOTTOM OF STAIRSTEP.
- 17 INSTALL VEHICULAR GUARDRAIL FOR 20 MPH SPEED. GUARDRAIL DESIGN TO BE PROVIDED BY OTHERS.

LEGEND

- PROPERTY LINE
- PROPOSED ROAD CENTERLINE
- PROPOSED UTILITY EASEMENT
- EXISTING STORM DRAIN EASEMENT
- INSTALL CONCRETE PAVEMENT PER KEYNOTES
- PROPOSED ASPHALT PAVEMENT SECTION PER GEOTECH REPORT. SEE DETAIL ON SHEET C2.0
- PROPOSED GRAVEL ROAD PER GEOTECHNICAL SPECIFICATIONS
- PROPOSED CRUSHED GRAVEL TRAIL PER LANDSCAPE ARCHITECTURE PLANS
- PARKING COUNT
- PROPOSED STREET LIGHT PER SITE ELECTRICAL PLANS BY OTHERS

KEY MAP



DATE	DESCRIPTION

Kimley»Horn
111 East Broadway, Suite 600 | Salt Lake City, UT 84111 | Tel. No. (385) 212-3178

SITE PLAN
TRAILSIDE TOWNHOMES
DRAPER CITY, UTAH

DRAWN BY:	JDL	03/27/2024
DESIGNED BY:	JDL	03/27/2024
CHECKED BY:	AJR	03/27/2024
PROJECT No.:	093855000	SCALE: AS SHOWN



SHEET
C2.2

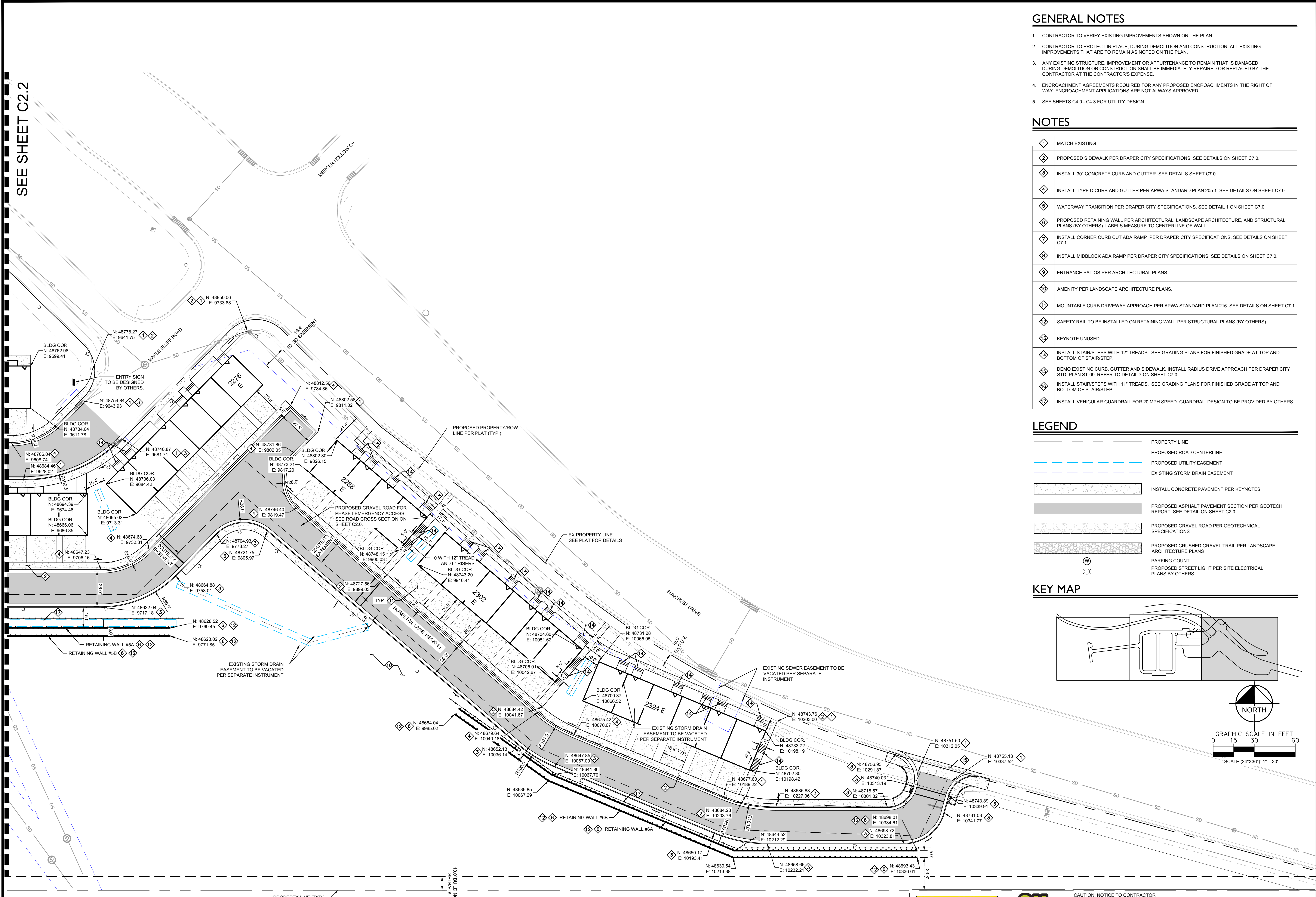
DATE: 3/27/2024 9:21 PM
USER: LYKINS, JON
PATH: K:\S\C_CIVIL\093855000_TRAILSIDE TOWNHOMES\CADD\PLANS\SITE PLAN\DWG
This drawing is the property of Kimley-Horn and Associates, Inc. It is to be used only for the project and site for which it was prepared. Release of any part hereof without the written consent of Kimley-Horn and Associates, Inc. is prohibited.

CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.
BLUE STAKES OF UTAH
1-800-662-4111
Dig Safely. Know what's below. Call before you dig.

CAUTION: NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Date: 3/27/2024 9:22 PM
 User: LYKINS, JON
 Path: K:\S\C_Civil\093855000_TRAILSIDE TOWNHOMES\CADD\PLANS\SHEETS\C3.1 SITE PLANDWG
 This document, together with the associated design presented herein, is an instrument of service, as defined under the Utah Professional Corporation Act, and shall be without liability to Kimley-Horn and Associates, Inc. until it is signed by Kimley-Horn and Associates, Inc.

SEE SHEET C2.2



GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ENCROACHMENT AGREEMENTS REQUIRED FOR ANY PROPOSED ENCROACHMENTS IN THE RIGHT OF WAY. ENCROACHMENT APPLICATIONS ARE NOT ALWAYS APPROVED.
- SEE SHEETS C4.0 - C4.3 FOR UTILITY DESIGN

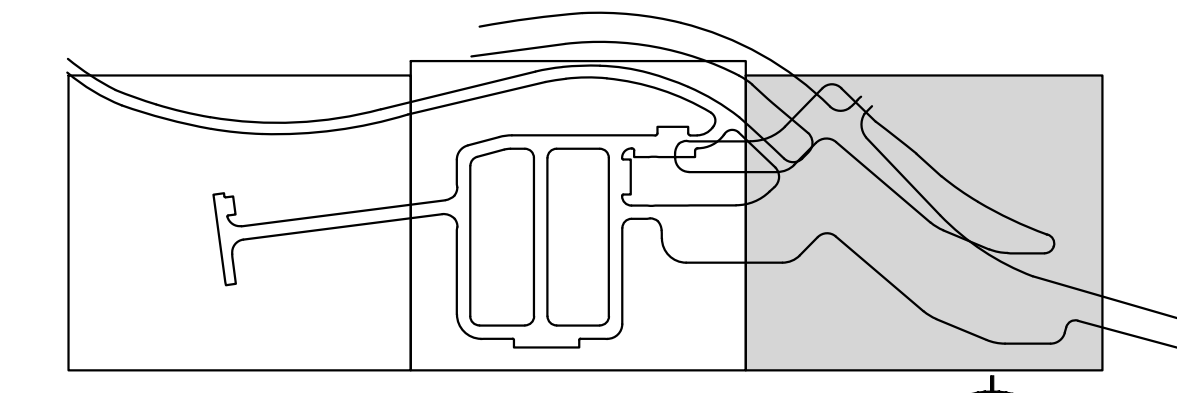
NOTES

KEYNOTE	DESCRIPTION
1	MATCH EXISTING
2	PROPOSED SIDEWALK PER DRAPER CITY SPECIFICATIONS. SEE DETAILS ON SHEET C7.0.
3	INSTALL 30" CONCRETE CURB AND GUTTER. SEE DETAILS SHEET C7.0.
4	INSTALL TYPE D CURB AND GUTTER PER APWA STANDARD PLAN 205.1. SEE DETAILS ON SHEET C7.0.
5	WATERWAY TRANSITION PER DRAPER CITY SPECIFICATIONS. SEE DETAIL 1 ON SHEET C7.0.
6	PROPOSED RETAINING WALL PER ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND STRUCTURAL PLANS (BY OTHERS). LABELS MEASURE TO CENTERLINE OF WALL.
7	INSTALL CORNER CURB CUT ADA RAMP PER DRAPER CITY SPECIFICATIONS. SEE DETAILS ON SHEET C7.1.
8	INSTALL MIDBLOCK ADA RAMP PER DRAPER CITY SPECIFICATIONS. SEE DETAILS ON SHEET C7.0.
9	ENTRANCE PATIOS PER ARCHITECTURAL PLANS.
10	AMENITY PER LANDSCAPE ARCHITECTURE PLANS.
11	MOUNTABLE CURB DRIVEWAY APPROACH PER APWA STANDARD PLAN 216. SEE DETAILS ON SHEET C7.1.
12	SAFETY RAIL TO BE INSTALLED ON RETAINING WALL PER STRUCTURAL PLANS (BY OTHERS)
13	KEYNOTE UNUSED
14	INSTALL STAIR/STEPS WITH 12" TREADS. SEE GRADING PLANS FOR FINISHED GRADE AT TOP AND BOTTOM OF STAIR/STEP.
15	DEMO EXISTING CURB, GUTTER AND SIDEWALK. INSTALL RADIUS DRIVE APPROACH PER DRAPER CITY STD. PLAN ST-09. REFER TO DETAIL 7 ON SHEET C7.0.
16	INSTALL STAIR/STEPS WITH 11" TREADS. SEE GRADING PLANS FOR FINISHED GRADE AT TOP AND BOTTOM OF STAIR/STEP.
17	INSTALL VEHICULAR GUARDRAIL FOR 20 MPH SPEED. GUARDRAIL DESIGN TO BE PROVIDED BY OTHERS.

LEGEND

	PROPERTY LINE
	PROPOSED ROAD CENTERLINE
	PROPOSED UTILITY EASEMENT
	EXISTING STORM DRAIN EASEMENT
	INSTALL CONCRETE PAVEMENT PER KEYNOTES
	PROPOSED ASPHALT PAVEMENT SECTION PER GEOTECH REPORT. SEE DETAIL ON SHEET C2.0
	PROPOSED GRAVEL ROAD PER GEOTECHNICAL SPECIFICATIONS
	PROPOSED CRUSHED GRAVEL TRAIL PER LANDSCAPE ARCHITECTURE PLANS
	PARKING COUNT
	PROPOSED STREET LIGHT PER SITE ELECTRICAL PLANS BY OTHERS

KEY MAP



DATE	DESCRIPTION

Kimley»Horn
 111 East Broadway, Suite 600 | Salt Lake City, UT 84111 | Tel. No. (385) 2123178

SITE PLAN
TRAILSIDE TOWNHOMES
 DRAPER CITY, UTAH

DRAWN BY: JDL	DATE: 03/27/2024
DESIGNED BY: JDL	DATE: 03/27/2024
CHECKED BY: AJR	DATE: 03/27/2024
PROJECT No.: 093855000	SCALE: AS SHOWN

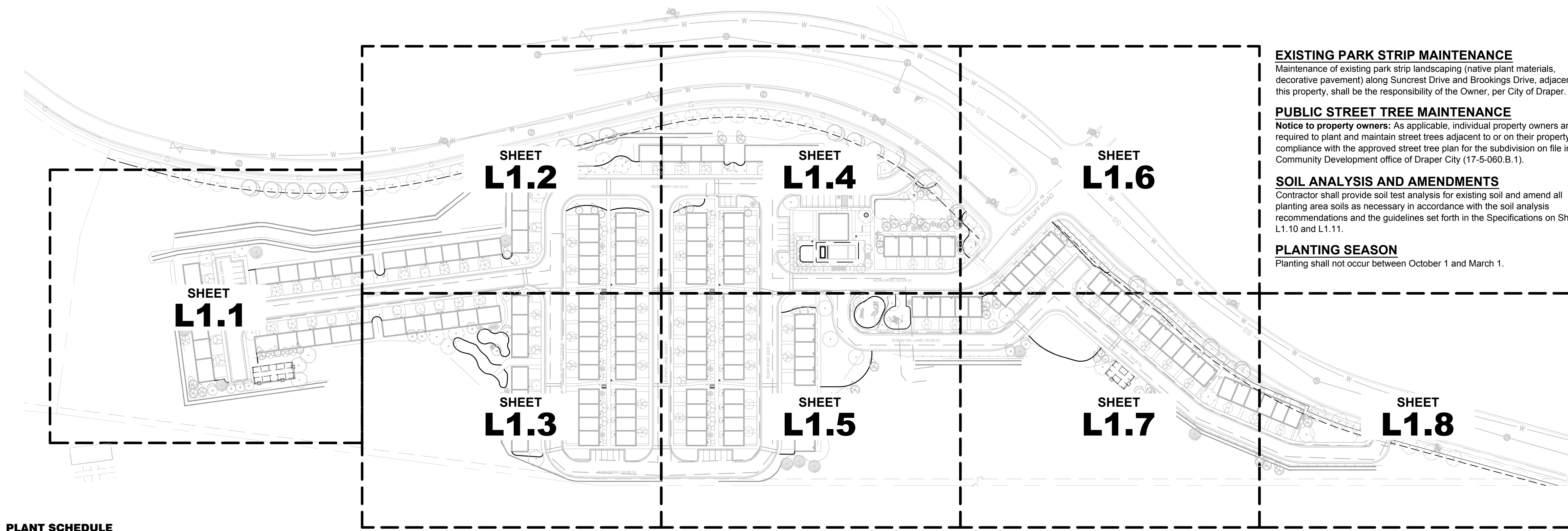


SHEET
C2.3



CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

EXHIBIT H
LANDSCAPE PLAN



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	CONT	SIZE	SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT
EVERGREEN TREES									
	26	Juniperus scopulorum Rocky Mountain Juniper	6' Ht.	B&B	6' MIN		181	Berberis thunbergii 'Limoncello'	3 gal.
	26	Picea pungens glauca 'Bakeri' Blue Spruce	6' Ht.	B&B	6' MIN		325	Cornus sericea 'Kelsey' Kelsey's Dwarf Red Twig Dogwood	3 gal.
	15	Picea pungens glauca 'Fat Albert' Fat Albert Colorado Blue Spruce	6' Ht.	B&B	6' MIN		73	Euonymus alatus Burning Bush	3 gal.
	9	Pinus cembroides edulis Pinyon Pine	6' Ht.	B&B	6' MIN		50	Euonymus japonicus 'Aureo-marginatus' Evergreen Golden Euonymus	3 gal.
	12	Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Pyramid Limber Pine	6' Ht.	B&B	6' MIN		145	Juniperus horizontalis Creeping Juniper	3 gal.
ORNAMENTAL TREES									
	19	Acer tataricum 'GarAnn' TM Hot Wings Tatarian Maple	2' Cal.	B&B	6' MIN		163	Perovskia atriplicifolia 'Little Spire' Little Spire Russian Sage	3 gal.
	12	Amelanchier liliifolia Utah Serviceberry MULTI-STEM, 3-4 CANES	2' Cal.	B&B	6' MIN		288	Physocarpus opulifolius 'Morio' TM Diabolo Ninebark	3 gal.
	30	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Apple Serviceberry SINGLE TRUNK, UPRIGHT	2' Cal.	B&B	6' MIN		46	Pinus mugo 'Pumilio' Dwarf Mugo Pine	3 gal.
	32	Crataegus crus-galli nemris Thornless Cockspur Hawthorn	2' Cal.	B&B	6' MIN		144	Prunus besseyi Sand Cherry	3 gal.
	14	Liriodendron tulipifera 'JFS-Oz' TM Emerald City Tulip Poplar	2' Cal.	B&B	8' MIN		159	Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac	3 gal.
	31	Prunus cerasifera 'Thundercloud' Thundercloud Purple-leaf Plum	2' Cal.	B&B	6' MIN		71	Ribes alpinum 'Green Mound' Green Mound Alpine Currant	3 gal.
	5	Quercus gambelii Gambel Oak MULTI-STEM, 3-4 CANES	2' Cal.	B&B	6' MIN		46	Salix purpurea 'Nana' Dwarf Purple Osier Willow	3 gal.
	9	Acer grandidentatum Bigtooth Maple	2' Cal.	B&B	10' - 12'		33	Symphoricarpos albus Common White Snowberry	3 gal.
	6	Acer truncatum x platanoides 'JFS-KW202' Crimson Sunset Maple	2' Cal.	B&B	10' - 12'		18	Thuja occidentalis 'Degroot's Spire' Degroot's Spire Arborvitae	5 gal.
	15	Quercus macrocarpa Burr Oak	2' Cal.	B&B	12' - 14'		101	Viburnum trilobum 'Bailey Compact' Bailey's Compact Cranberrybush	3 gal.
	19	Tilia cordata 'Greenspire' Greenspire Littleleaf Linden	2' Cal.	B&B	10' - 12'		37	Artemisia tridentata Big Sagebrush	3 gal.
	23	Ulmus carpinifolia x parvifolia 'Frontier' Frontier Elm	2' Cal.	B&B	12' - 14'		78	Andropogon gerardi 'Red October' Red October Big Bluestem	1 gal.
	9	Zelkova serrata 'Village Green' Village Green Sawleaf Zelkova	2' Cal.	B&B	12' - 14'		521	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	1 gal.
SHADE TREES									
	15	Quercus macrocarpa Burr Oak	2' Cal.	B&B	12' - 14'		970	Festuca idahoensis 'Siskiyoo Blue' Siskiyoo Blue Fescue	1 gal.
	19	Tilia cordata 'Greenspire' Greenspire Littleleaf Linden	2' Cal.	B&B	10' - 12'		310	Helictotrichon sempervirens Blue Oak Grass	1 gal.
	23	Ulmus carpinifolia x parvifolia 'Frontier' Frontier Elm	2' Cal.	B&B	12' - 14'		91	Panicum virgatum 'Heavy Metal' Heavy Metal Switch Grass	1 gal.
	9	Zelkova serrata 'Village Green' Village Green Sawleaf Zelkova	2' Cal.	B&B	12' - 14'		163	Pennisetum alopecuroides 'Hamelri' Hameln Fountain Grass	1 gal.
GROUND COVERS									
	16,429	BioBlue Grass Sod BioGrass Sod Farms					521	Crested Wheatgrass	seed
	192,361	Native Seed Mix A' Native Grasses and Shrubs (Hillside)					970	Slender Wheatgrass	seed
	52,772	Native Seed Mix B' Native Grass (Low)					91	Intermediate Wheatgrass	seed

CITY OF DRAPER TITLE 9 LANDSCAPE REQUIREMENTS

SITE DATA
 GROSS SITE AREA (SEE SITE PLAN): 843,757.20 SF (19.37 AC)
 BUILDING FOOTPRINT: 109,064 SF
 TOTAL UNITS: 149

9-23-050 PLANT COVERAGE
 MINIMUM 50% COVERAGE WITHIN 2 YEARS, 75% COVERAGE WITHIN 10 YEARS
 SITE LANDSCAPE AREA: 329,867 SF
 PLANT COVERAGE REQUIRED AT 2 YEARS (50%): 164,934 SF

PLANT COVERAGE PROVIDED AT 2 YEARS:
 TURFGRASS (100% COVERAGE): 16,658 SF
 NATIVE SEED (90% COVERAGE): 219,561 SF
 SHRUB PLANTING (35% COVERAGE): 23,893 SF
TOTAL COVERAGE (2 years): 260,112 SF (79%)

PLANT COVERAGE PROVIDED AT 10 YEARS:
 TURFGRASS (100% COVERAGE): 16,658 SF
 NATIVE SEED (100% COVERAGE): 243,957 SF
 SHRUB PLANTING (50% COVERAGE): 34,133 SF
TOTAL COVERAGE (2 years): 294,748 SF (89%)

TREE SYMBOLS SHOWN AT 10 YEAR PROJECTED GROWTH, SHRUB SYMBOLS SHOWN AT MATURE GROWTH

MAXIMUM TURFGRASS	ALLOWED	PROVIDED	(%)
MAXIMUM 20% OF SITE LANDSCAPE AREA	65,973 SF	16,658 SF	5%

SPECIES DIVERSITY	REQUIRED	PROVIDED
SHRUB SPECIES - MAXIMUM 20% OF SINGLE SPECIES	MAX 715	521 (15%)
TREE SPECIES - MAXIMUM 25% OF SINGLE SPECIES	MAX 80	39 (12%)

9-23-130 TREE AND LANDSCAPE MATERIAL STANDARDS

- A. General: Trees and plants used in landscape design pursuant to this chapter shall be Water-wise and drought tolerant; Planted in areas where the recommended soil nutrients, water, and sun exposure are available; Noninvasive; and Low maintenance. PLANTS SELECTED FROM LOCALLY AVAILABLE NURSERY STOCK, IDENTIFIED TO MEET THE REQUIRED STANDARDS.
- B. Plant Quality: All plants and trees installed pursuant to this chapter shall conform to or exceed the standards of the most recent edition of "American Standard For Nursery Stock, ANSI Z60.1. REFERENCE LANDSCAPE SPECIFICATIONS SHEET L1.11.
- C. Artificial Turf: Artificial turf installed over a permeable base surface may be used in lieu of actual turf. Artificial turf must be regularly maintained according to manufacturer specifications and shall be replaced once the manufacturer's recommended lifespan or functional lifespan has been reached, whichever comes first. No other artificial plants or vegetation shall be used to meet any standards of this chapter. ARTIFICIAL TURF IS USED MINIMALLY IN THE CLUBHOUSE AMENITY AREA, AND WILL BE MAINTAINED AS NOTED.
- D. Tree Diameter and Height: Deciduous Trees minimum 2" caliper; Evergreen Trees minimum 6' height. TREES SPECIFIED WITH COMPLYING CALIPER AND HEIGHT SIZES.
- E. Shrubs: Shrubs utilized in a non-residential, mixed use, or multiple-family landscape plan shall be from nursery stock, a minimum size of three (3) gallons, or container class #3, at the time of planting, SHRUBS SPECIFIED WITH COMPLYING CONTAINER SIZE.
- F. Ground Treatment: The ground area within landscape areas shall present a finished appearance with a balanced distribution of plantings across each planting area; Bark or rock mulch shall be installed and maintained at a minimum depth of three inches (3") on all planted areas except where ground cover plants are fully established and provide for complete coverage of the area. Mulch may be approved as a permanent ground treatment in landscape designs where ground cover or turf is impractical; Rock mulch with an accompanying weed barrier may be used in a limited way as a ground treatment in areas where typical water drainage from the site would create conditions unsuitable for plant survival, or adjacent to buildings where plantings could create a health, safety, or operational hazard near entrances. The use of this type of treatment adjacent to non-residential and mixed-use buildings may not exceed ten percent (10%) of the landscape planting area located within ten feet (10') of the building; Landscape edging shall be used to separate planting beds from turf and other areas predominantly planted with groundcovers, and shall also be provided at the transition between all mulched areas, ground covers, and turf. ROCK MULCH WITH WEED BARRIER SPECIFIED AS PRIMARY PLANTING BED GROUND COVER, WITH PLANT COVERAGE; ROCK MULCH NOT USED AS AN EXCLUSIVE, NON-VEGETATIVE GROUND COVER.

9-32-030 E. COMMON OPEN SPACE

OPEN SPACE REQUIRED (30% OF GROSS AREA): 253,127.16 SF
 OPEN SPACE PROVIDED:

NATURAL OPEN SPACE (<30% SLOPE):	94,706 SF
NATURAL OPEN SPACE (>30% SLOPE):	98,123 SF (30% OF TOTAL)
IMPROVED CLUSTERS (AMENITY AREAS):	54,796 SF
VISUAL RELIEF (YARDS, PARKSTRIPS, ETC.):	43,260 SF
TOTAL COMMON OPEN SPACE PROVIDED:	290,885 SF (34%)

9-32-030 F. RECREATIONAL AMENITIES

AMENITIES REQUIRED (1 PER 50 UNITS): 3 (149 UNITS)
 AMENITIES PROVIDED: 6

TOT LOT / PLAY STRUCTURE; PICNIC TABLE & BARBECUE AREA(S) WITH SHADE STRUCTURE(S); SWIMMING POOL & HOT TUB; SPORTS COURTS (PICKLEBALL); AMENITY DECKS; COMMUNITY OPEN SPACE WITH TURF GRASS

INDOOR SOCIAL GATHERING AREA: MIN. 1,000 SF REQUIRED / 1,040 SF PROVIDED
OUTDOOR SOCIAL FUNCTION AREA: MIN. 1,000 SF REQUIRED / 1,827 SF PROVIDED

- NOTES:**
- * REQUIRED PARK STRIP STREET TREES ARE PLACED WITHIN 15' OF THE RIGHT-OF-WAY WHERE EXISTING UNDERGROUND UTILITIES IN THE PARK STRIP CONFLICT WITH TREE PLACEMENT (9-23-080.A.5).
 - ** PARKING LOT TREES OMITTED IN ISLANDS WITH UNDERGROUND DETENTION CONFLICTS. REQUIRED TREES PLACED IN NEARBY LANDSCAPE AREAS.

EXISTING PARK STRIP MAINTENANCE

Maintenance of existing park strip landscaping (native plant materials, decorative pavement) along Suncrest Drive and Brookings Drive, adjacent to this property, shall be the responsibility of the Owner, per City of Draper.

PUBLIC STREET TREE MAINTENANCE

Notice to property owners: As applicable, individual property owners are required to plant and maintain street trees adjacent to or on their property in compliance with the approved street tree plan for the subdivision on file in the Community Development office of Draper City (17-5-060.B.1).

SOIL ANALYSIS AND AMENDMENTS

Contractor shall provide soil test analysis for existing soil and amend all planting area soils as necessary in accordance with the soil analysis recommendations and the guidelines set forth in the Specifications on Sheets L1.10 and L1.11.

PLANTING SEASON

Planting shall not occur between October 1 and March 1.

Landscape Sheet Index

Sheet Number	Sheet Title
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L1.3	LANDSCAPE PLAN
L1.4	LANDSCAPE PLAN
L1.5	LANDSCAPE PLAN
L1.6	LANDSCAPE PLAN
L1.7	LANDSCAPE PLAN
L1.8	LANDSCAPE PLAN
L1.9	LANDSCAPE DETAILS
L1.10	LANDSCAPE SPECIFICATIONS
L1.11	LANDSCAPE SPECIFICATIONS
L2.0	OVERALL IRRIGATION PLAN
L2.1	IRRIGATION PLAN
L2.2	IRRIGATION PLAN
L2.3	IRRIGATION PLAN
L2.4	IRRIGATION PLAN
L2.5	IRRIGATION PLAN
L2.6	IRRIGATION PLAN
L2.7	IRRIGATION PLAN
L2.8	IRRIGATION PLAN
L2.9	IRRIGATION DETAILS
L2.10	IRRIGATION DETAILS
L2.11	IRRIGATION SPECIFICATIONS
L3.0	OVERALL LAYOUT AND MATERIALS PLAN
L3.1	AMENITY DETAILS
L3.2	AMENITY DETAILS
L3.3	AMENITY DETAILS
L3.4	PICKLEBALL COURT DETAILS
L3.5	AMENITY DETAILS
L4.0	STREET TREE PLAN
L4.1	UTILITY & ENCLOSURE SCREENING EXHIBIT

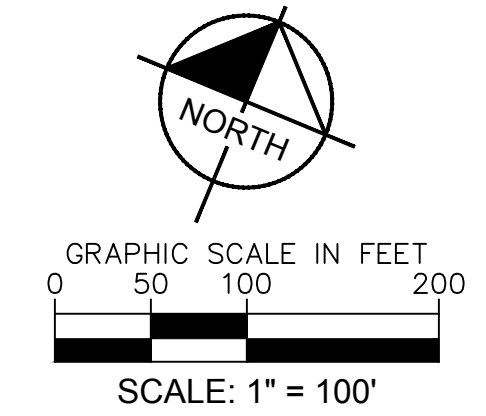
DATE	DESCRIPTION

Kimley»Horn
 111 East Broadway, Suite 600 | Salt Lake City, UT 84111 | Tel. No. (385) 212-3178

OVERALL LANDSCAPE PLAN
TRAILSIDE TOWNHOMES
 DRAPER CITY, UTAH

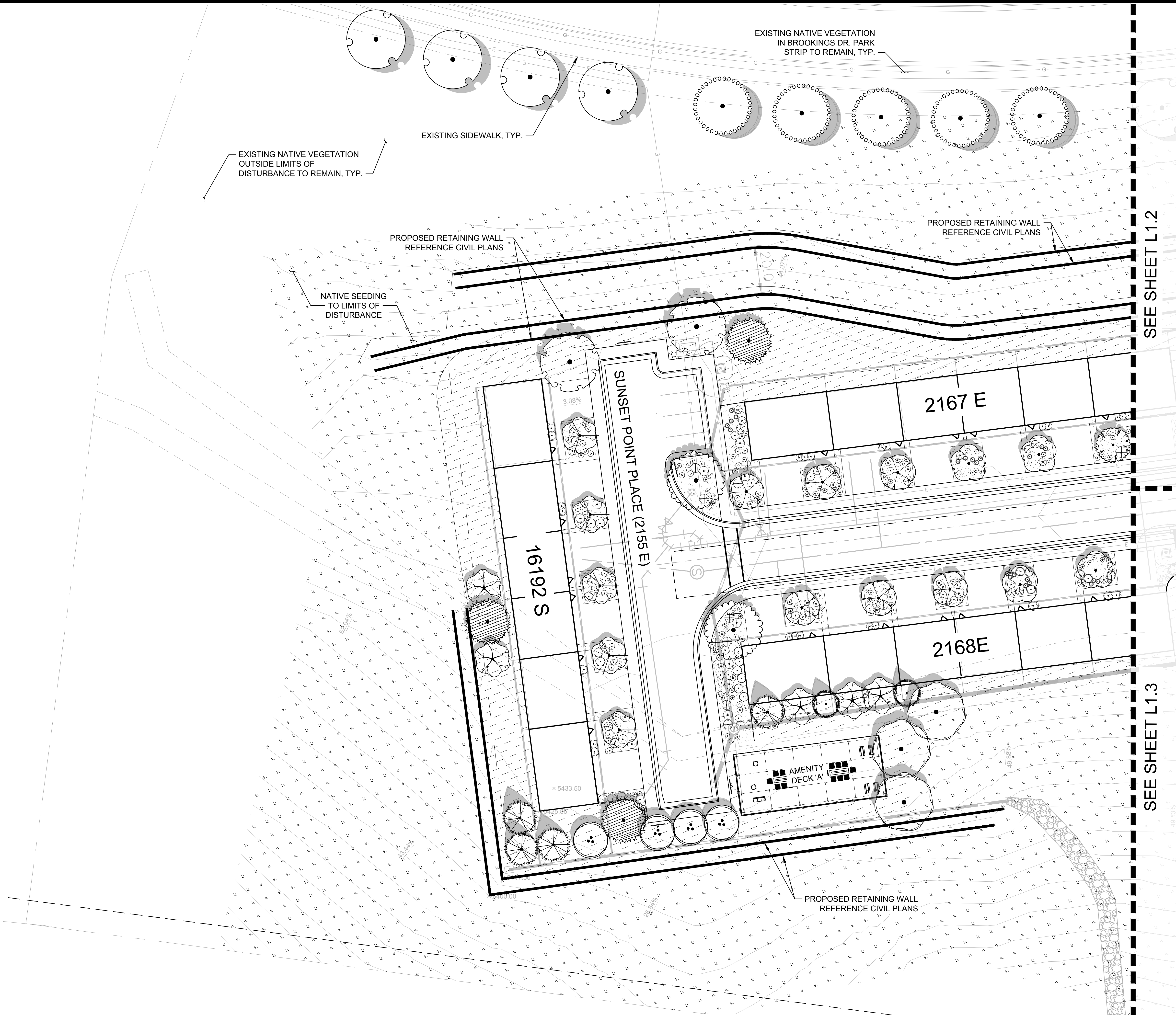
DRAWN BY: LITE 01/31/2024
 DESIGNED BY: LITE 01/31/2024
 CHECKED BY: CMR 01/31/2024
 PROJECT No.: 093855000 AS SHOWN
 SCALE: AS SHOWN

SEAL
 State of Utah
 CHRISTOPHER M. ROSE
 No. 9112943-5301
 03/27/2024
 Licensed Landscape Architect



CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.
 BLUE STAKES OF UTAH
 1-800-662-4111
 Dig Safely. Know what's below. Call before you dig.

CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



SYMBOL	QTY	COMMON NAME
EVERGREEN TREES		
	26	Rocky Mountain Juniper
	26	Blue Spruce
	15	Fat Albert Colorado Blue Spruce
	9	Pinyon Pine
	12	Vanderwolf's Pyramid Limber Pine
ORNAMENTAL TREES		
	10	Hot Wings Tatarian Maple
	12	Utah Serviceberry
	39	Autumn Brilliance Apple Serviceberry
	32	Thornless Cockspur Hawthorn
	14	Emerald City Tulip Poplar
	31	Thundercloud Purple-leaf Flum
	5	Gambel Oak
SHADE TREES		
	9	Bigtooth Maple
	6	Crimson Sunset® Maple
	15	Burr Oak
	10	Greenspire Littleleaf Linden
	23	Frontier Elm
	9	Village Green Sawleaf Zelkova
SHRUBS		
	181	Barberry Limoncello
	66	Dark Knight Bluebeard
	325	Kelsey's Dwarf Red Twig Dogwood
	73	Burning Bush
	50	Evergreen Golden Euonymus
	145	Creeping Juniper
	80	Hidcote Blue English Lavender
	163	Lodense Privet
	288	Little Spire Russian Sage
	46	Diabolo Ninebark
	48	Dwarf Mugo Pine
	144	Sand Cherry
	159	Gro-Low Fragrant Sumac
	71	Green Mound Alpine Currant
	46	Dwarf Purple Osier Willow
	33	Common White Snowberry
	18	Degroot's Spire Arborvitae
	101	Bailey's Compact Cranberrybush
NATIVE SHRUBS		
	37	Big Sagebrush
GRASSES		
	78	Red October Big Bluestem
	521	Karl Foerster Feather Reed Grass
	370	Siskiyou Blue Fescue
	110	Blue Oat Grass
	91	Heavy Metal Switch Grass
	163	Hameln Fountain Grass
	129	Little Bluestem

SYMBOL	QTY	BOTANICAL NAME
	16,429 sf	BioBlue Grass Sod
	192,361 sf	Native Seed Mix 'A'
	52,772 sf	Native Seed Mix 'B'

DATE	DESCRIPTION

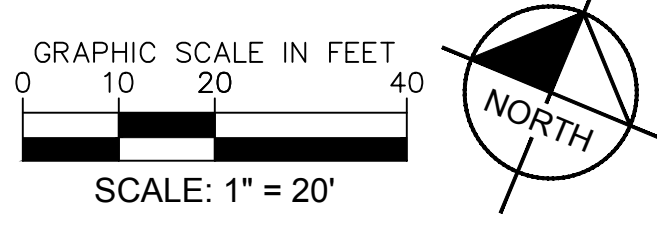
DRAWN BY: LITE 01/31/2024
 DESIGNED BY: LITE 01/31/2024
 CHECKED BY: CMR 01/31/2024
 PROJECT No.: 093855000 SCALE: AS SHOWN

LANDSCAPE PLAN

TRAILSIDE TOWNHOMES
DRAPER CITY, UTAH

State of Utah
 Licensed Landscape Architect
 CHRISTOPHER M ROSE
 No. 9112943-5301
 03/27/2024

SHEET L1.1



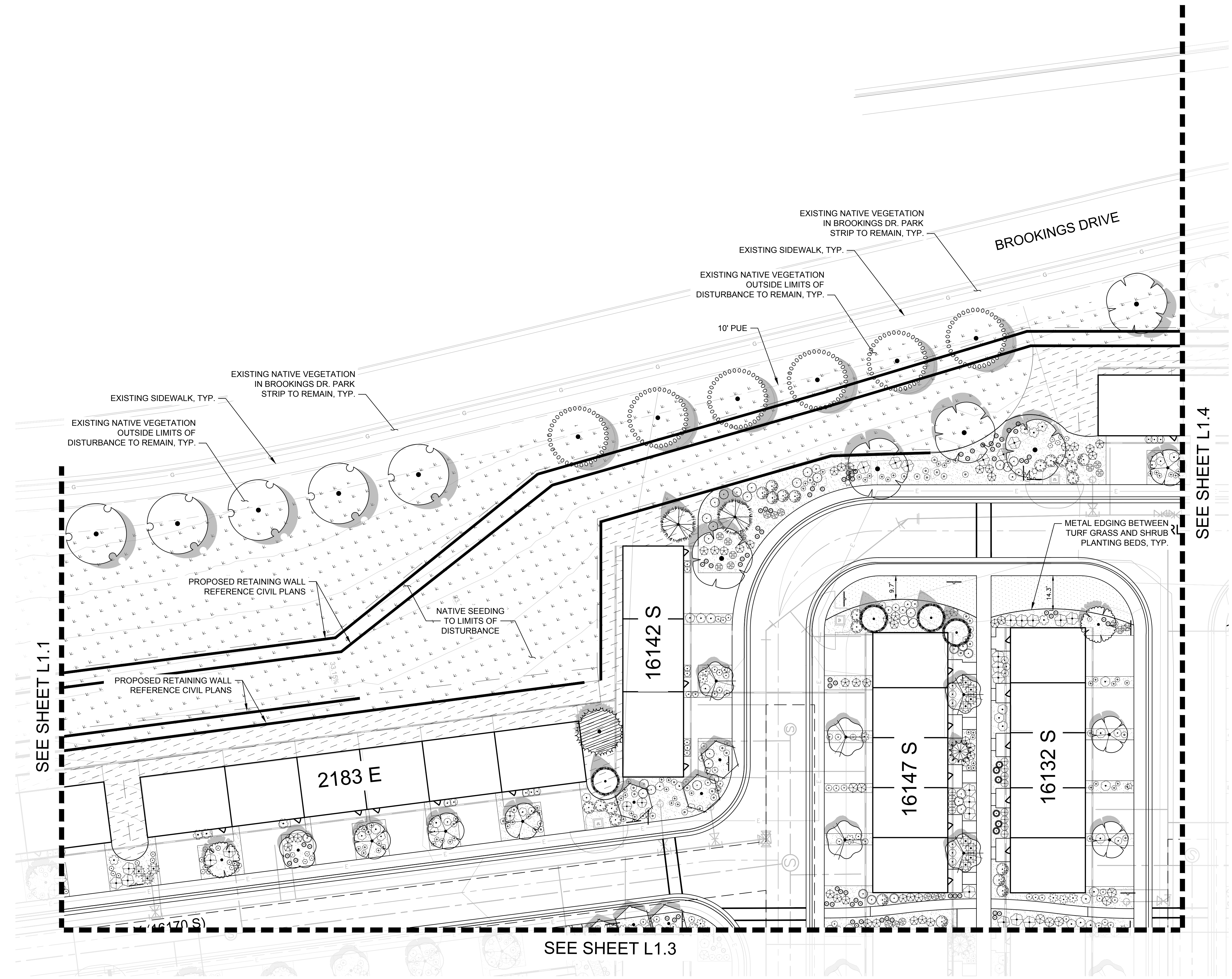
CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.

BLUE STAKES OF UTAH
 1-800-662-4111
 www.bluestakes.org

811
 Know what's below. Call before you dig.

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



PLANT SCHEDULE

SYMBOL	QTY	COMMON NAME
EVERGREEN TREES		
	26	Rocky Mountain Juniper
	26	Blue Spruce
	15	Fat Albert Colorado Blue Spruce
	9	Pinyon Pine
	12	Vanderwolf's Pyramid Limber Pine
ORNAMENTAL TREES		
	10	Hot Wings Tatarian Maple
	12	Utah Serviceberry
	39	Autumn Brilliance Apple Serviceberry
	32	Thornless Cockspur Hawthorn
	14	Emerald City Tulip Poplar
	31	Thundercloud Purple-leaf Flum
	5	Gambel Oak
SHADE TREES		
	9	Bigtooth Maple
	6	Crimson Sunset Maple
	15	Burr Oak
	10	Greenspire Littleleaf Linden
	23	Frontier Elm
	9	Village Green Sawleaf Zelkova
SHRUBS		
	181	Barberry Limoncello
	66	Dark Knight Bluebeard
	325	Kelsey's Dwarf Red Twig Dogwood
	73	Burning Bush
	50	Evergreen Golden Euonymus
	145	Creeping Juniper
	80	Hidcote Blue English Lavender
	163	Lodense Privet
	288	Little Spire Russian Sage
	46	Diabolo Ninebark
	48	Dwarf Mugo Pine
	144	Sand Cherry
	159	Gro-Low Fragrant Sumac
	71	Green Mound Alpine Currant
	46	Dwarf Purple Osier Willow
	33	Common White Snowberry
	18	Degroot's Spire Arborvitae
	101	Bailey's Compact Cranberrybush
NATIVE SHRUBS		
	37	Big Sagebrush
GRASSES		
	78	Red October Big Bluestem
	521	Karl Foerster Feather Reed Grass
	370	Siskiyou Blue Fescue
	110	Blue Oat Grass
	91	Heavy Metal Switch Grass
	163	Hamel's Fountain Grass
	129	Little Bluestem

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME
	16,429	BioBlue Grass Sod
	192,361	Native Seed Mix 'A'
	52,772	Native Seed Mix 'B'

DATE	DESCRIPTION
A	

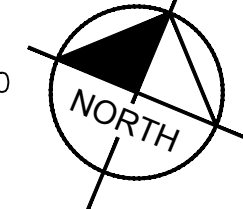
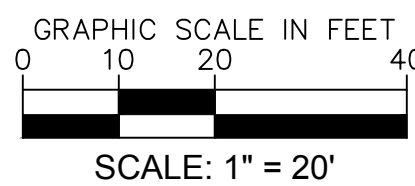
LANDSCAPE PLAN
TRAILSIDE TOWNHOMES
 DRAPER CITY, UTAH

DESIGNED BY: LITE
 CHECKED BY: CMR
 PROJECT No.: 093855000
 SCALE: AS SHOWN

DRAWN BY: LITE
 DESIGNED BY: LITE
 CHECKED BY: CMR
 PROJECT No.: 093855000
 SCALE: AS SHOWN

SEAL
 State of Utah
 Christopher M. Rose
 No. 9112943-5301
 03/27/2024
 Licensed Landscape Architect

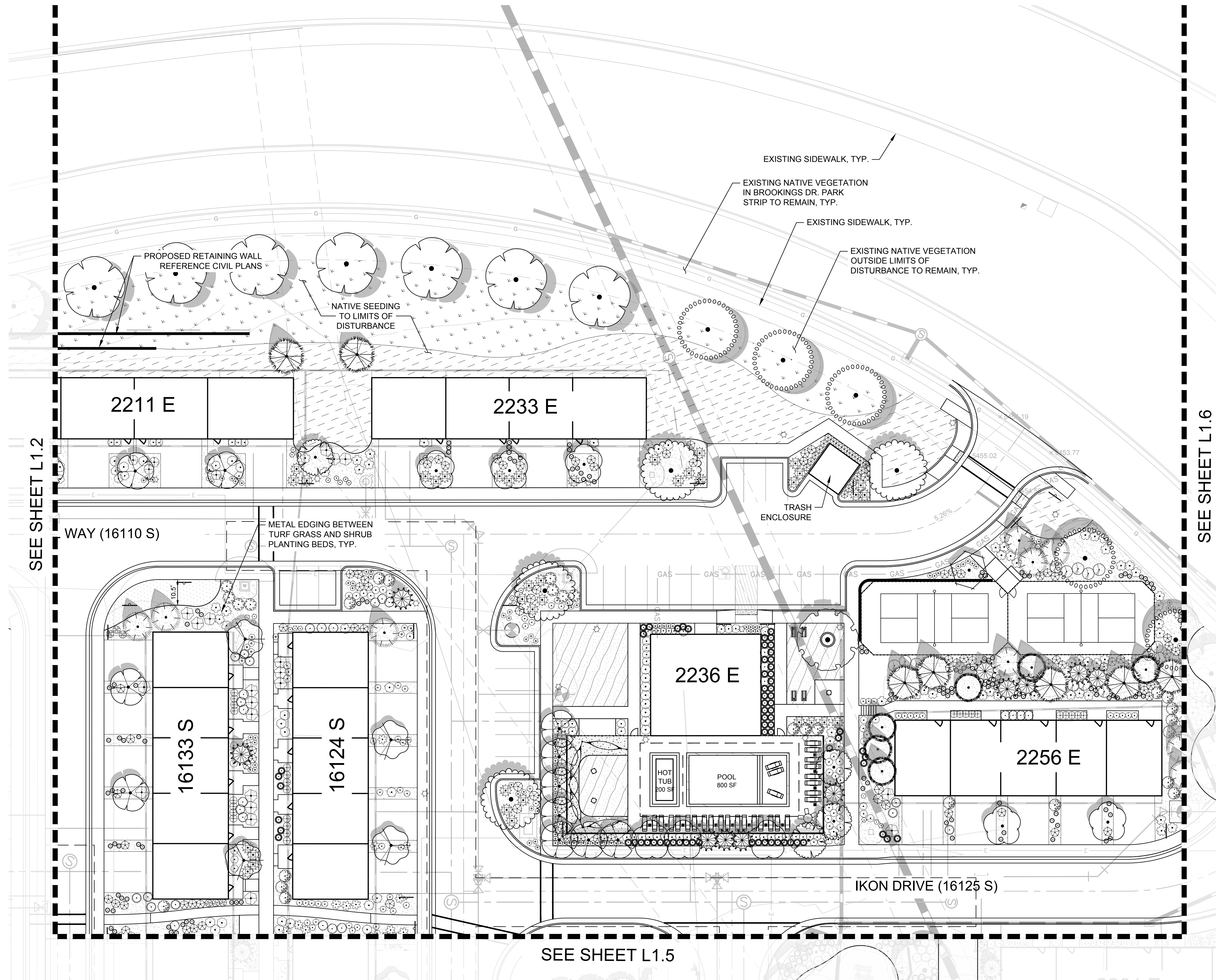
SHEET
L1.2



CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.
 BLUE STAKES OF UTAH
 1-800-662-4111
 Dig Safely.

811
 Know what's below.
 Call before you dig.

CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



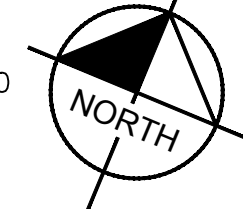
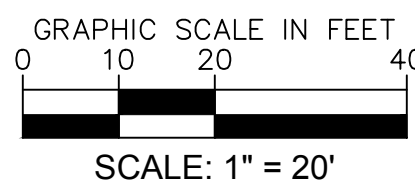
SEE SHEET L1.2

SEE SHEET L1.6

SEE SHEET L1.5

PLANT SCHEDULE		
SYMBOL	QTY	COMMON NAME
EVERGREEN TREES		
	26	Rocky Mountain Juniper
	26	Blue Spruce
	15	Fat Albert Colorado Blue Spruce
	9	Pinyon Pine
	12	Vanderwolf's Pyramid Limber Pine
ORNAMENTAL TREES		
	10	Hot Wings Tatarian Maple
	12	Utah Serviceberry
	39	Autumn Brilliance Apple Serviceberry
	32	Thornless Cocksbur Hawthorn
	14	Emerald City Tulip Poplar
	31	Thundercloud Purple-leaf Flum
	5	Gambel Oak
SHADE TREES		
	9	Bigtooth Maple
	6	Crimson Sunset® Maple
	15	Burr Oak
	10	Greenspire Littleleaf Linden
	23	Frontier Elm
	9	Village Green Sawleaf Zelkova
SHRUBS		
	181	Barberry Limoncello
	66	Dark Knight Bluebeard
	325	Kelsey's Dwarf Red Twig Dogwood
	73	Burning Bush
	50	Evergreen Golden Euonymus
	145	Creeping Juniper
	80	Hidcote Blue English Lavender
	163	Lodense Privet
	288	Little Spire Russian Sage
	46	Diabolo Ninebark
	48	Dwarf Mugo Pine
	144	Sand Cherry
	159	Gro-Low Fragrant Sumac
	71	Green Mound Alpine Currant
	46	Dwarf Purple Osier Willow
	33	Common White Snowberry
	18	Degroot's Spire Arborvitae
	101	Bailey's Compact Cranberrybush
NATIVE SHRUBS		
	37	Big Sagebrush
GRASSES		
	78	Red October Big Bluestem
	521	Karl Foerster Feather Reed Grass
	370	Siskiyou Blue Fescue
	110	Blue Oat Grass
	91	Heavy Metal Switch Grass
	163	Hameln Fountain Grass
	129	Little Bluestem

PLANT SCHEDULE		
SYMBOL	QTY	BOTANICAL NAME
	16,429 SF	BioBlue Grass Sod
	192,361 SF	Native Seed Mix 'A'
	52,772 SF	Native Seed Mix 'B'

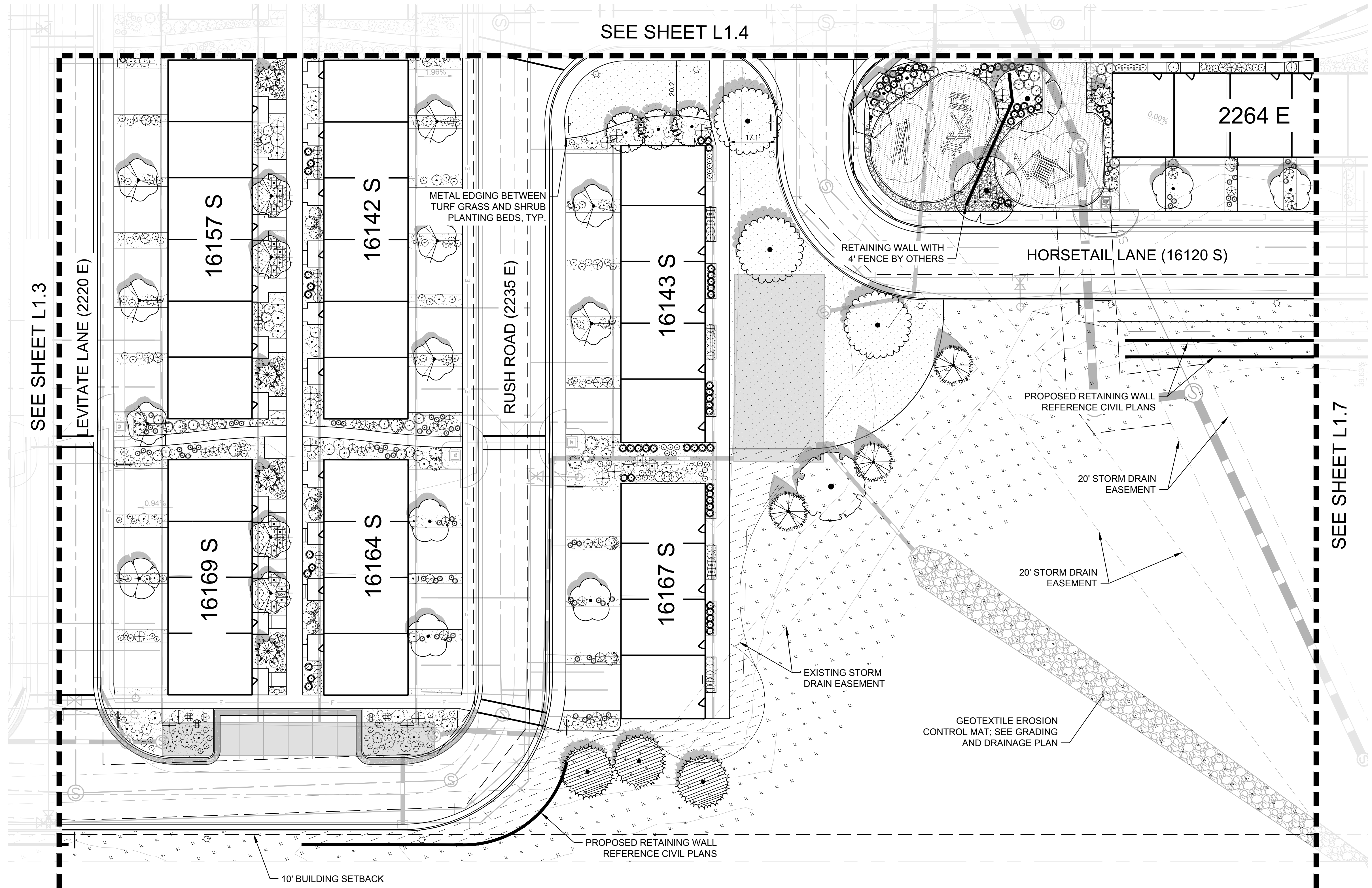


CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.
 BLUE STAKES OF UTAH
 1-800-662-4111
 Dig Safely.

811
 Know what's below. Call before you dig.

CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DESCRIPTION	DATE	
LANDSCAPE PLAN	DESIGNED BY:	01/31/2024
	CHECKED BY:	01/31/2024
	PROJECT No.:	093855000 AS SHOWN
	SCALE:	
	STATE OF UTAH CHRISTOPHER M. ROSE No. 9112943-5301 03/27/2024 Licensed Landscape Architect	
	TRAILSIDE TOWNHOMES DRAPER CITY, UTAH	
	Kimley & Horn 111 East Broadway, Suite 600 Salt Lake City, UT 84111 Tel. No. (385) 213-3776	
SHEET		L1.4



PLANT SCHEDULE

SYMBOL	QTY	COMMON NAME
EVERGREEN TREES		
	26	Rocky Mountain Juniper
	26	Blue Spruce
	15	Fat Albert Colorado Blue Spruce
	9	Pinyon Pine
	12	Vanderwolf's Pyramid Limber Pine
ORNAMENTAL TREES		
	10	Hot Wings Tatarian Maple
	12	Utah Serviceberry
	39	Autumn Brilliance Apple Serviceberry
	32	Thornless Cockspar Hawthorn
	14	Emerald City Tulip Poplar
	31	Thundercloud Purple-leaf Plum
	5	Gambel Oak
SHADE TREES		
	9	Bigtooth Maple
	6	Crimson Sunset Maple
	15	Burr Oak
	10	Greenspire Littleleaf Linden
	23	Frontier Elm
	9	Village Green Sawleaf Zelkova
SHRUBS		
	181	Barberry Limoncello
	66	Dark Knight Bluebeard
	325	Kelsey's Dwarf Red Twig Dogwood
	73	Burning Bush
	50	Evergreen Golden Euonymus
	145	Creeping Juniper
	80	Hidcote Blue English Lavender
	163	Lodense Privet
	288	Little Spire Russian Sage
	46	Diabolo Ninebark
	48	Dwarf Mugo Pine
	144	Sand Cherry
	159	Gro-Low Fragrant Sumac
	71	Green Mound Alpine Currant
	46	Dwarf Purple Osier Willow
	33	Common White Snowberry
	18	Degroot's Spire Arborvitae
	101	Bailey's Compact Cranberrybush
NATIVE SHRUBS		
	37	Big Sagebrush
GRASSES		
	78	Red October Big Bluestem
	521	Karl Foerster Feather Reed Grass
	370	Siskiyou Blue Fescue
	110	Blue Oat Grass
	91	Heavy Metal Switch Grass
	163	Hamelin Fountain Grass
	129	Little Bluestem

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME
	16,429 sf	BioBlue Grass Sod
	192,361 sf	Native Seed Mix 'A'
	52,772 sf	Native Seed Mix 'B'

DATE	DESCRIPTION

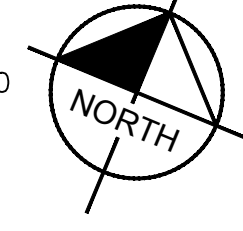
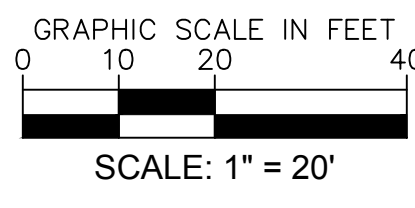
LANDSCAPE PLAN

TRAILSIDE TOWNHOMES
 DRAPER CITY, UTAH

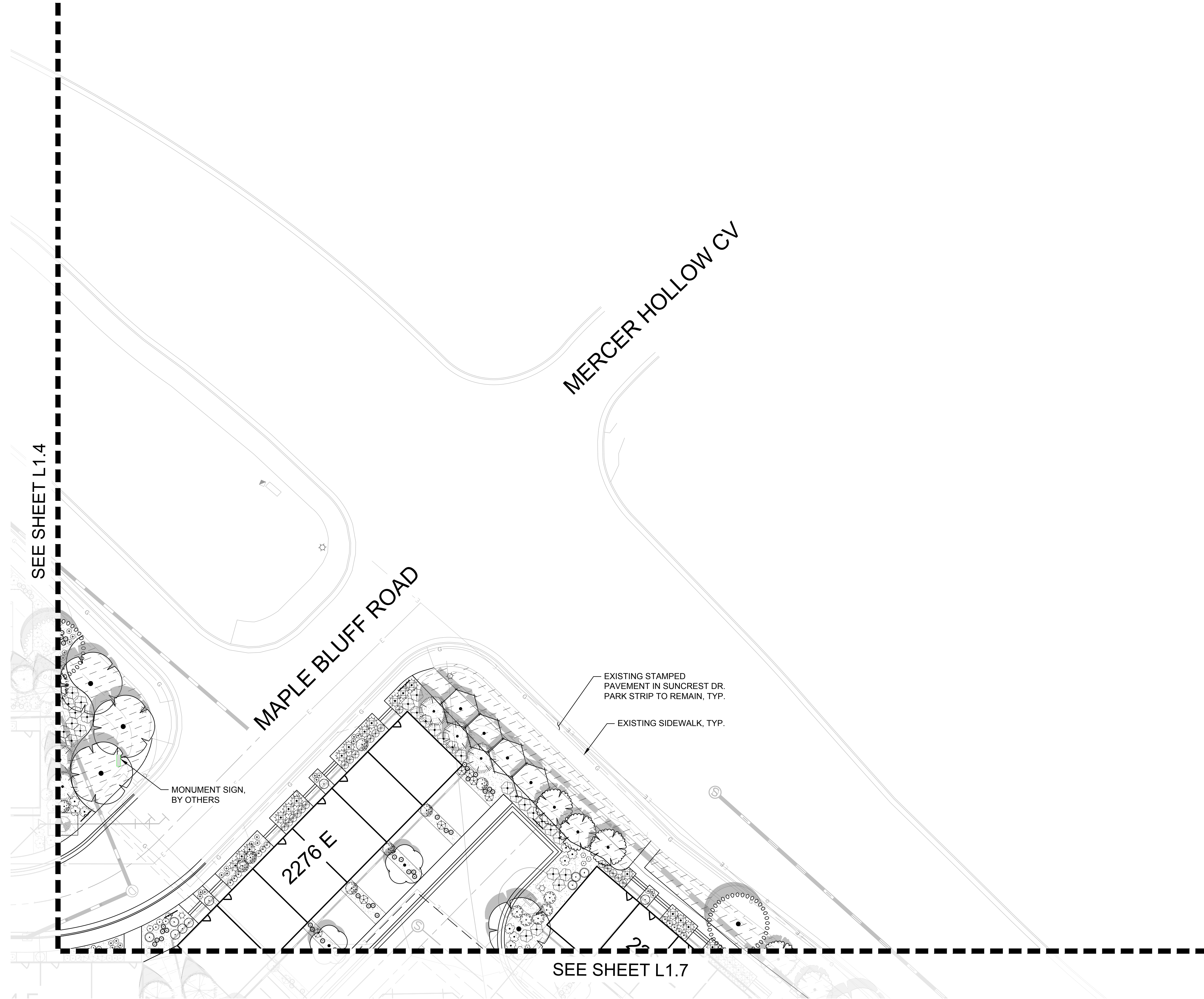
DRAWN BY: LITE 01/31/2024
 DESIGNED BY: LITE 01/31/2024
 CHECKED BY: CMR 01/31/2024
 PROJECT No.: 093855000 SCALE: AS SHOWN

SEAL
 State of Utah
 Christopher M. Rose
 CHRISTOPHER M ROSE
 No. 9112943-5301
 03/27/2024
 Licensed Landscape Architect

SHEET
 L1.5



CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



SEE SHEET L1.4

MONUMENT SIGN, BY OTHERS

MAPLE BLUFF ROAD

MERCER HOLLOW CV

2276 E

EXISTING STAMPED PAVEMENT IN SUNCREST DR. PARK STRIP TO REMAIN, TYP.

EXISTING SIDEWALK, TYP.

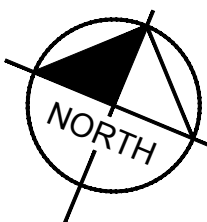
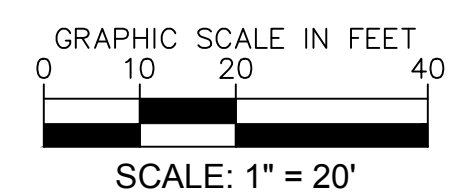
SEE SHEET L1.7

PLANT SCHEDULE

SYMBOL	QTY	COMMON NAME
EVERGREEN TREES		
	26	Rocky Mountain Juniper
	26	Blue Spruce
	15	Fat Albert Colorado Blue Spruce
	9	Pinyon Pine
	12	Vanderwolf's Pyramid Limber Pine
ORNAMENTAL TREES		
	10	Hot Wings Tatarian Maple
	12	Utah Serviceberry
	39	Autumn Brilliance Apple Serviceberry
	32	Thornless Cockspur Hawthorn
	14	Emerald City Tulip Poplar
	31	Thundercloud Purple-leaf Flum
	5	Gambel Oak
SHADE TREES		
	9	Bigtooth Maple
	6	Crimson Sunset® Maple
	15	Burr Oak
	10	Greenspire Littleleaf Linden
	23	Frontier Elm
	9	Village Green Sawleaf Zelkova
SHRUBS		
	181	Barberry Limoncello
	66	Dark Knight Bluebeard
	325	Kelsey's Dwarf Red Twig Dogwood
	73	Burning Bush
	50	Evergreen Golden Euonymus
	145	Creeping Juniper
	80	Hidcote Blue English Lavender
	163	Lodense Privet
	288	Little Spire Russian Sage
	46	Diabolo Ninebark
	48	Dwarf Mugo Pine
	144	Sand Cherry
	159	Gro-Low Fragrant Sumac
	71	Green Mound Alpine Currant
	46	Dwarf Purple Osier Willow
	33	Common White Snowberry
	18	Degroot's Spire Arborvitae
	101	Bailey's Compact Cranberrybush
NATIVE SHRUBS		
	37	Big Sagebrush
GRASSES		
	78	Red October Big Bluestem
	521	Karl Foerster Feather Reed Grass
	370	Siskiyou Blue Fescue
	110	Blue Oat Grass
	91	Heavy Metal Switch Grass
	163	Hamel'n Fountain Grass
	129	Little Bluestem

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME
	16,429 sf	BioBlue Grass Sod
	192,361 sf	Native Seed Mix 'A'
	52,772 sf	Native Seed Mix 'B'

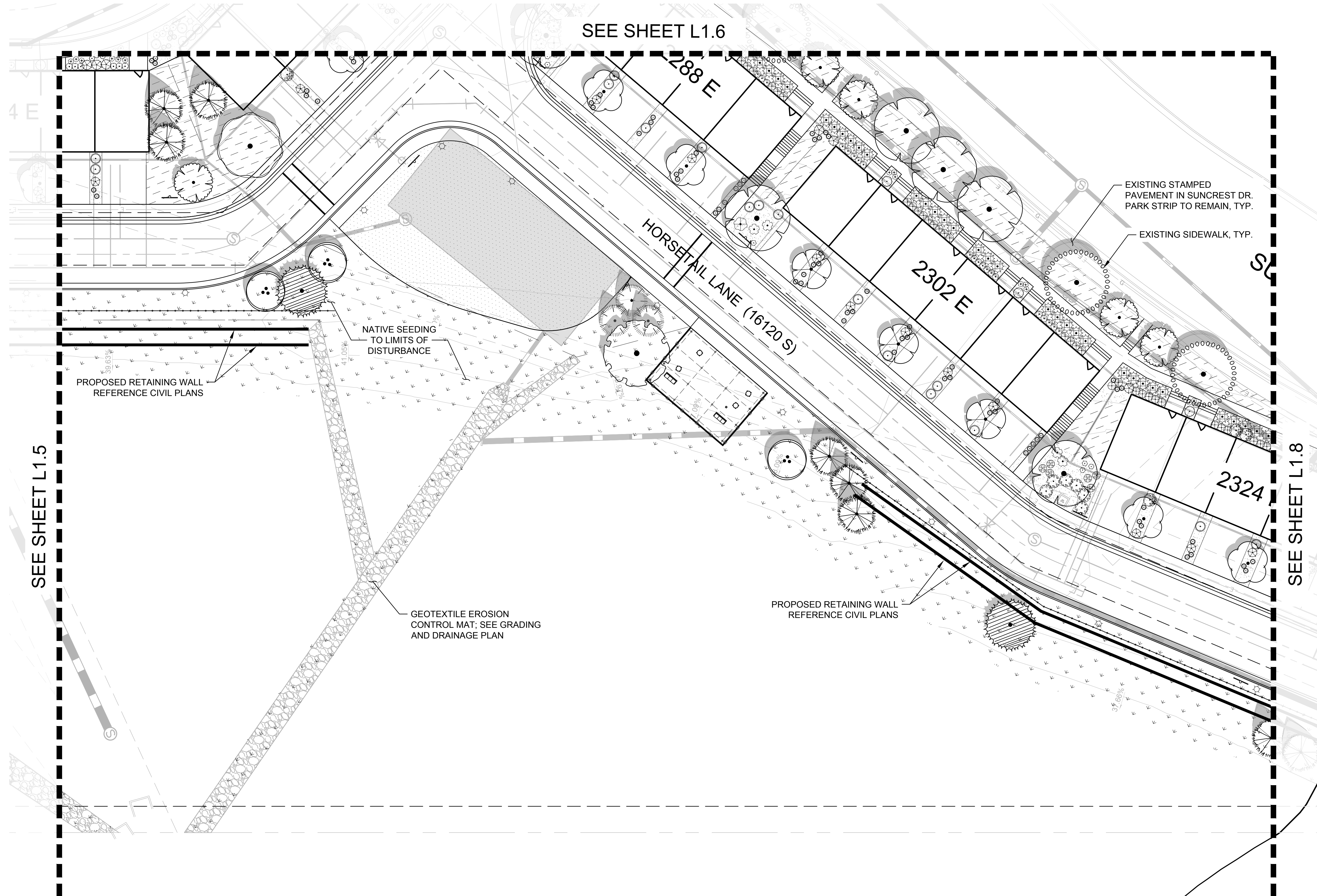


CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DRAWN BY: LITE	DATE: 01/31/2024
	DESIGNED BY: LITE
CHECKED BY: CMR	DATE: 01/31/2024
	PROJECT No.: 093855000
SCALE: AS SHOWN	
SEAL	
SHEET L1.6	

Kimley»Horn
 111 East Broadway, Suite 600 | Salt Lake City, UT 84111 | Tel. No. (385) 2123178

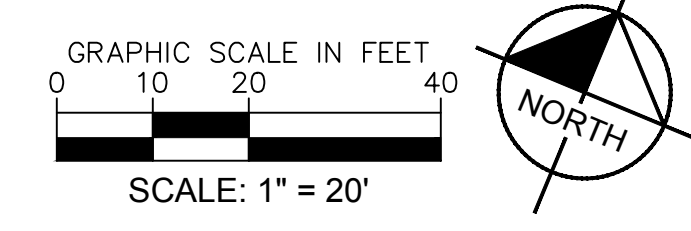
LANDSCAPE PLAN
 TRAILSIDE TOWNHOMES
 DRAPER CITY, UTAH



PLANT SCHEDULE		
SYMBOL	QTY	COMMON NAME
EVERGREEN TREES		
[Symbol]	26	Rocky Mountain Juniper
[Symbol]	26	Blue Spruce
[Symbol]	15	Fat Albert Colorado Blue Spruce
[Symbol]	9	Pinyon Pine
[Symbol]	12	Vanderwolf's Pyramid Limber Pine
ORNAMENTAL TREES		
[Symbol]	10	Hot Wings Tatarian Maple
[Symbol]	12	Utah Serviceberry
[Symbol]	39	Autumn Brilliance Apple Serviceberry
[Symbol]	32	Thornless Cocksbur Hawthorn
[Symbol]	14	Emerald City Tulip Poplar
[Symbol]	31	Thundercloud Purple-leaf Plum
[Symbol]	5	Gambel Oak
SHADE TREES		
[Symbol]	9	Bigtooth Maple
[Symbol]	6	Crimson Sunset® Maple
[Symbol]	15	Burr Oak
[Symbol]	10	Greenspire Littleleaf Linden
[Symbol]	23	Frontier Elm
[Symbol]	9	Village Green Sawleaf Zelikova
SHRUBS		
[Symbol]	181	Barberry Limoncello
[Symbol]	66	Dark Knight Bluebeard
[Symbol]	325	Kelsey's Dwarf Red Twig Dogwood
[Symbol]	73	Burning Bush
[Symbol]	50	Evergreen Golden Euonymus
[Symbol]	145	Creeping Juniper
[Symbol]	80	Hidcote Blue English Lavender
[Symbol]	163	Lodense Privet
[Symbol]	288	Little Spire Russian Sage
[Symbol]	46	Diabolo Ninebark
[Symbol]	48	Dwarf Mugo Pine
[Symbol]	144	Sand Cherry
[Symbol]	159	Gro-Low Fragrant Sumac
[Symbol]	71	Green Mound Alpine Currant
[Symbol]	46	Dwarf Purple Osier Willow
[Symbol]	33	Common White Snowberry
[Symbol]	18	Degroo's Spire Arborvitae
[Symbol]	101	Bailey's Compact Cranberrybush
NATIVE SHRUBS		
[Symbol]	37	Big Sagebrush
GRASSES		
[Symbol]	78	Red October Big Bluestem
[Symbol]	521	Karl Foerster Feather Reed Grass
[Symbol]	370	Siskiyou Blue Fescue
[Symbol]	110	Blue Oat Grass
[Symbol]	91	Heavy Metal Switch Grass
[Symbol]	163	Hamel's Fountain Grass
[Symbol]	129	Little Bluestem

PLANT SCHEDULE		
SYMBOL	QTY	BOTANICAL NAME
[Symbol]	16,429 sf	BioBlue Grass Sod
[Symbol]	192,361 sf	Native Seed Mix 'A'
[Symbol]	52,772 sf	Native Seed Mix 'B'

DRAWN BY: LITE _____ DATE: 01/31/2024		LANDSCAPE PLAN
DESIGNED BY: LITE _____ DATE: 01/31/2024		
CHECKED BY: CMR _____ DATE: 01/31/2024		TRAILSIDE TOWNHOMES DRAPER CITY, UTAH
PROJECT No.: 093855000		
SCALE: AS SHOWN		
SHEET L1.7		

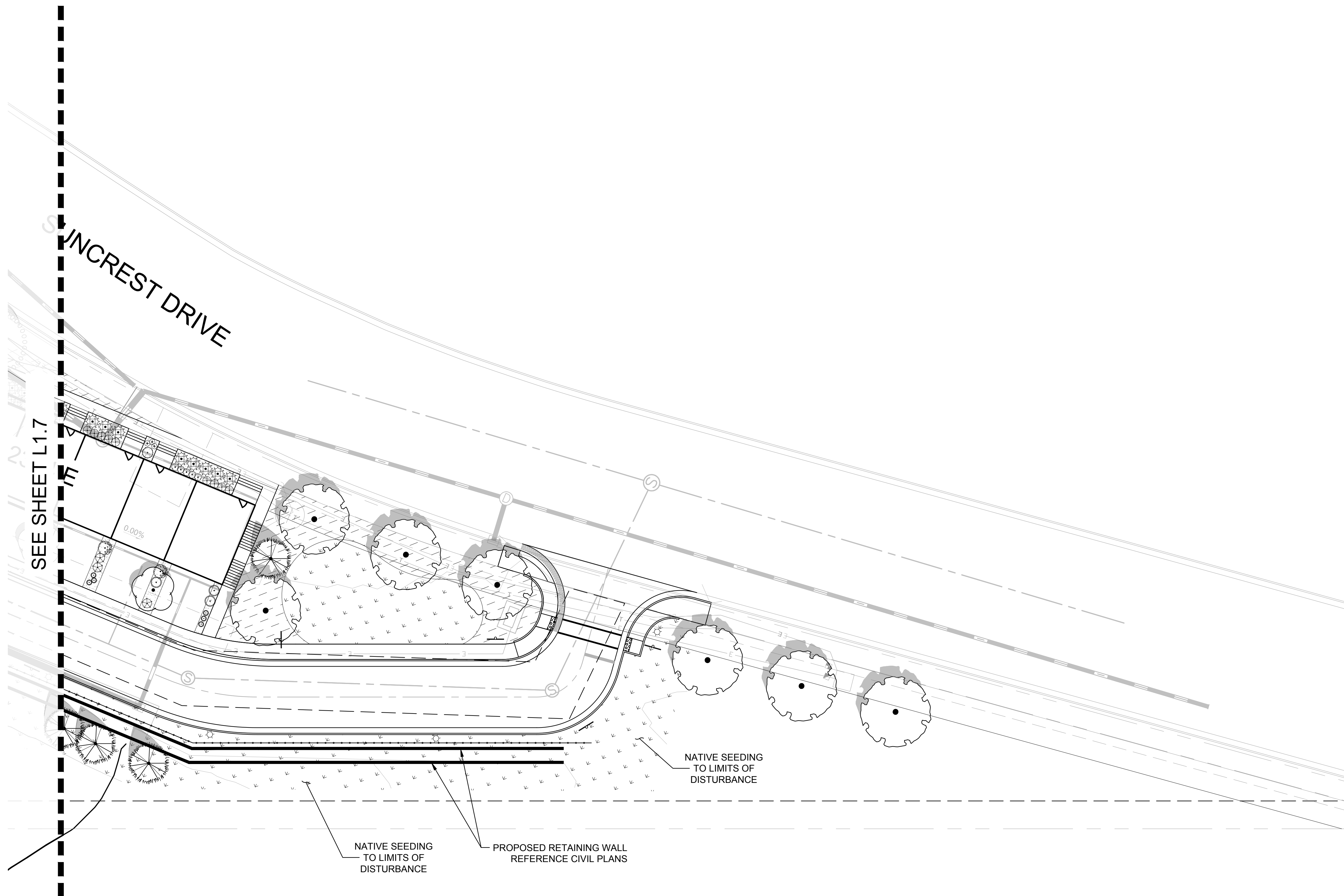


CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Date: 3/22/2024 3:28 PM
 User: ROSE, CHRIS
 Path: K:\S\CL_CIVIL\093855000_TRAILSIDE TOWNHOMES\CADD\PLANSHEET\L1.1 LANDSCAPE PLANDWG

This document, together with the associated design presented herein, is intended only for the specific purpose and client for which it was prepared. Release of any improper reliance of this document without written authorization by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

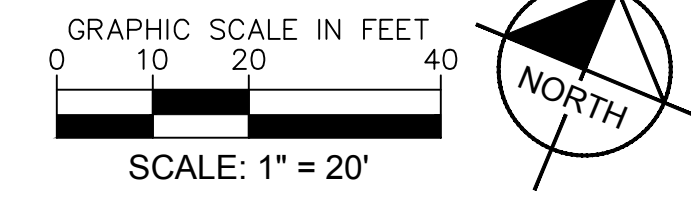


PLANT SCHEDULE

SYMBOL	QTY	COMMON NAME
EVERGREEN TREES		
[Symbol]	26	Rocky Mountain Juniper
[Symbol]	26	Blue Spruce
[Symbol]	15	Fat Albert Colorado Blue Spruce
[Symbol]	9	Pinyon Pine
[Symbol]	12	Vanderwolf's Pyramid Limber Pine
ORNAMENTAL TREES		
[Symbol]	10	Hot Wings Tatarian Maple
[Symbol]	12	Utah Serviceberry
[Symbol]	39	Autumn Brilliance Apple Serviceberry
[Symbol]	32	Thornless Cocksbur Hawthorn
[Symbol]	14	Emerald City Tulip Poplar
[Symbol]	31	Thundercloud Purple-leaf Flum
[Symbol]	5	Gambel Oak
SHADE TREES		
[Symbol]	9	Bigtooth Maple
[Symbol]	6	Crimson Sunset® Maple
[Symbol]	15	Burr Oak
[Symbol]	10	Greenspire Littleleaf Linden
[Symbol]	23	Frontier Elm
[Symbol]	9	Village Green Sawleaf Zelkova
SHRUBS		
[Symbol]	181	Barberry Limoncello
[Symbol]	66	Dark Knight Bluebeard
[Symbol]	325	Kelsey's Dwarf Red Twig Dogwood
[Symbol]	73	Burning Bush
[Symbol]	50	Evergreen Golden Euonymus
[Symbol]	145	Creeping Juniper
[Symbol]	80	Hidcote Blue English Lavender
[Symbol]	163	Lodense Privet
[Symbol]	288	Little Spire Russian Sage
[Symbol]	46	Diabolo Ninebark
[Symbol]	48	Dwarf Mugo Pine
[Symbol]	144	Sand Cherry
[Symbol]	159	Go-Low Fragrant Sumac
[Symbol]	71	Green Mound Alpine Currant
[Symbol]	46	Dwarf Purple Osier Willow
[Symbol]	33	Common White Snowberry
[Symbol]	18	Degroote's Spire Arborvitae
[Symbol]	101	Bailey's Compact Cranberrybush
NATIVE SHRUBS		
[Symbol]	37	Big Sagebrush
GRASSES		
[Symbol]	78	Red October Big Bluestem
[Symbol]	521	Karl Foerster Feather Reed Grass
[Symbol]	370	Siskiyou Blue Fescue
[Symbol]	110	Blue Oat Grass
[Symbol]	91	Heavy Metal Switch Grass
[Symbol]	163	Hamel'n Fountain Grass
[Symbol]	129	Little Bluestem

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME
[Symbol]	16,429 sf	BioBlue Grass Sod
[Symbol]	192,361 sf	Native Seed Mix 'A'
[Symbol]	52,772 sf	Native Seed Mix 'B'



CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.

BLUE STAKES OF UTAH
 Utility Identification Centers, Inc.
 1-800-662-4111
 www.bluestakes.org

811
 Know what's below. Call before you dig.

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DATE	DESCRIPTION

DESIGNED BY: LITE	DATE: 01/31/2024
CHECKED BY: CMR	DATE: 01/31/2024
PROJECT No.: 093855000	SCALE: AS SHOWN

LANDSCAPE PLAN

TRAILSIDE TOWNHOMES
 DRAPER CITY, UTAH

Kimley»Horn
 111 East Broadway, Suite 600 | Salt Lake City, UT 84111 | Tel. No. (385) 2133178

State of Utah
 Licensed Landscape Architect
 Christopher M. Rose
 No. 9112943-5301
 03/27/2024

SHEET
L1.8

**EXHIBIT I
ELEVATIONS**

C.C. BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 42 SF (3%)
• METAL - 42 SF (3%)

BRICK - 1,284 SF (97%)
TOTAL - 2,160 SF

POOL MECH. BUILDING ELEVATION MATERIALS:

BRICK - 651 SF (100%)
TOTAL - 651 SF

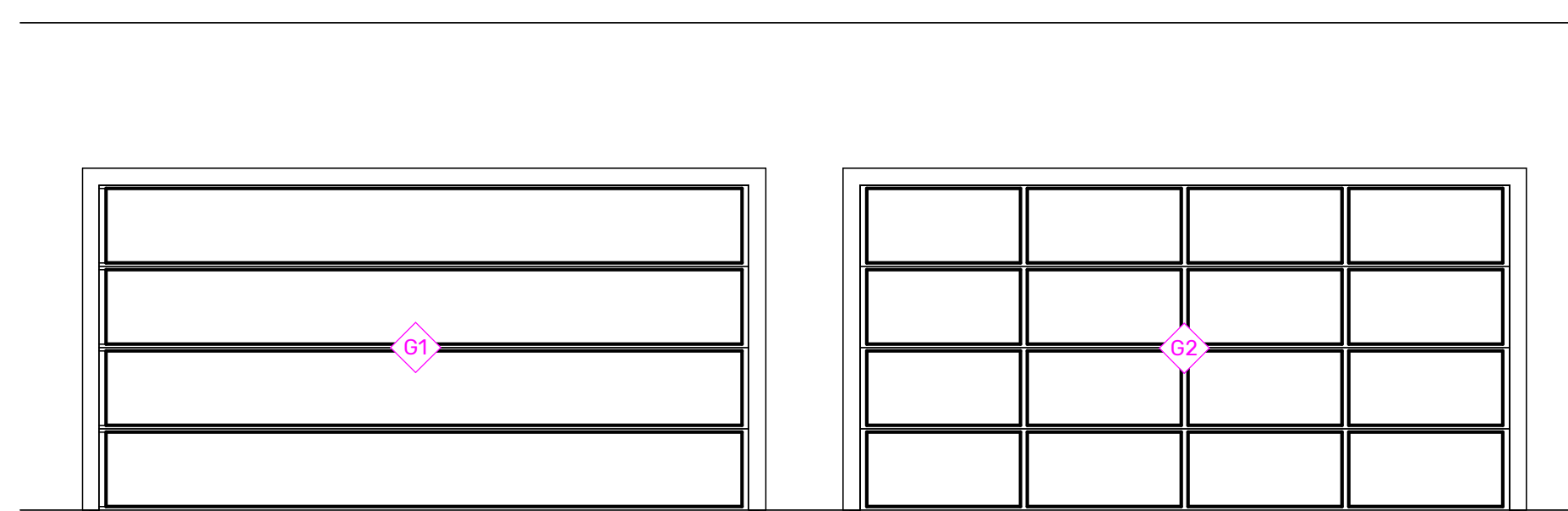
TOTAL RESIDENTIAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 96,637 SF (45%)
• METAL - 36,731 SF (17%)
• BOARD AND BATTEN SIDING - 59,906 SF (28%)

BRICK - 115,494 SF (55%)
TOTAL - 212,131 SF

// FINISH SCHEDULE

- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT



B2 GARAGE DOOR STYLES 1 & 2
SCALE: 1/4" = 1'-0"

W1A



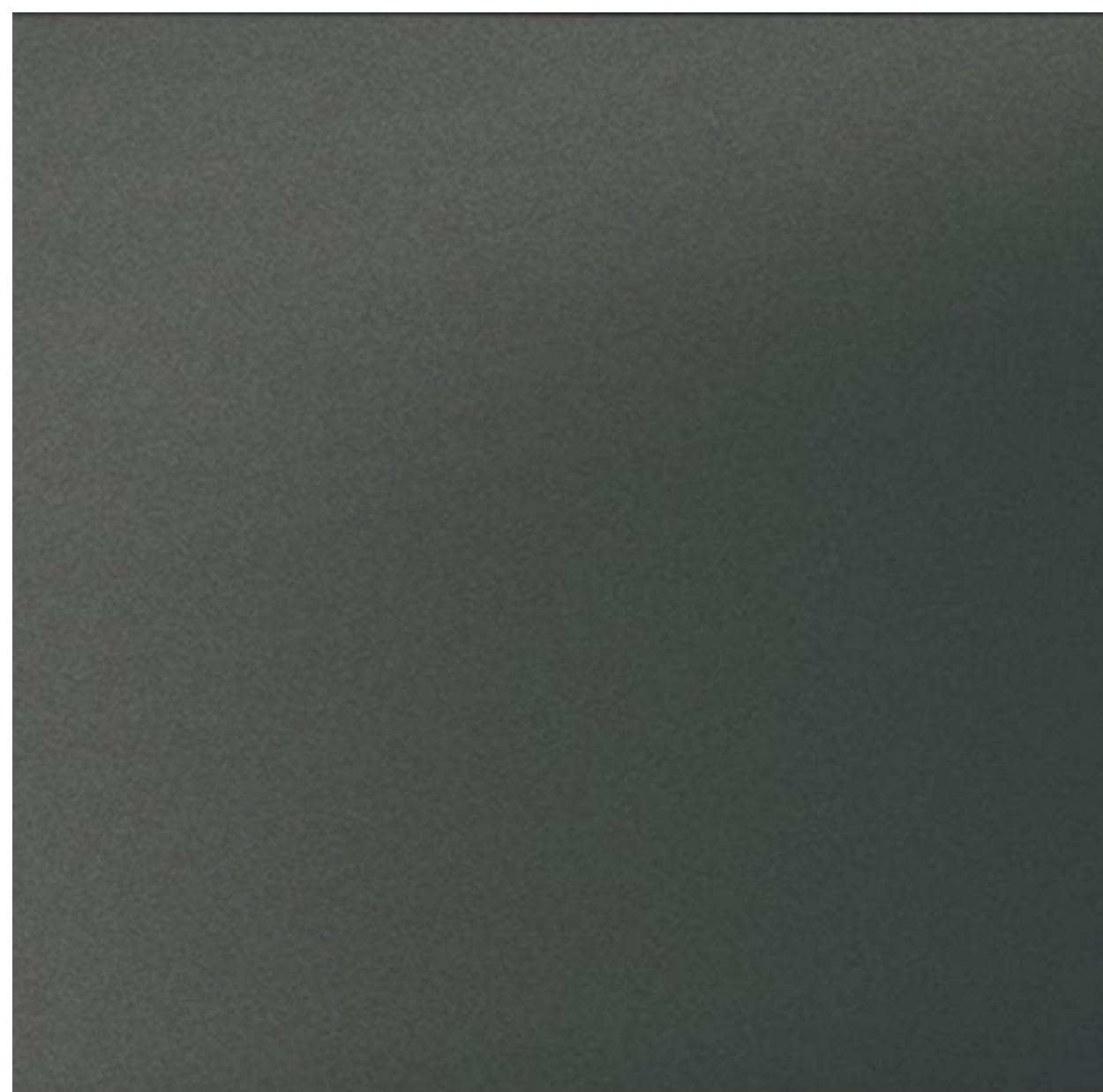
W1B



W1C



W3



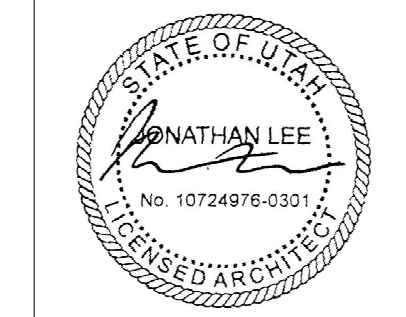
W2A



W2B



R1



REVISIONS:

FINISH SCHEDULE

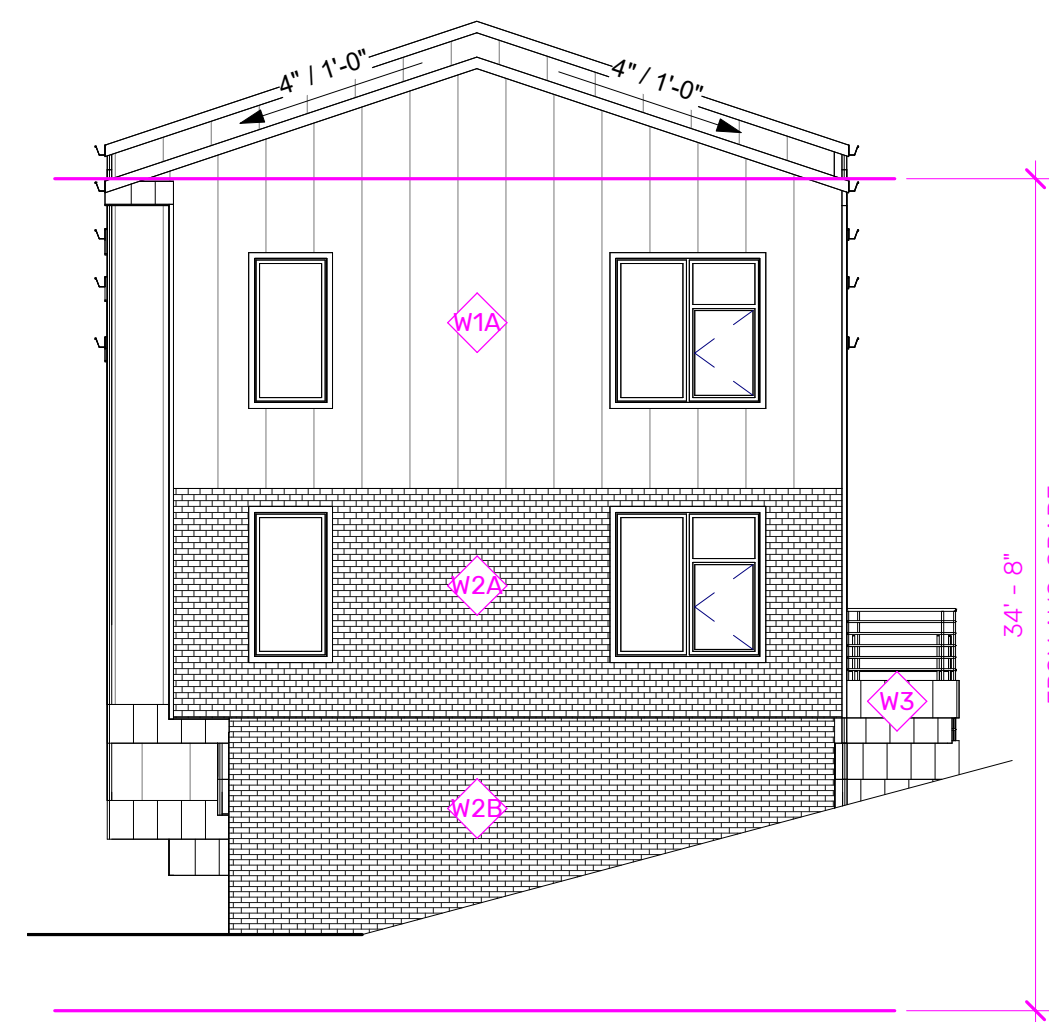
- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

- NON-BRICK MATERIALS - 4,245 SF (45%)
 - METAL - 1,224 SF (13%)
 - BOARD AND BATTEN SIDING - 3,021 SF (32%)
- BRICK - 5,245 SF (55%)
- TOTAL - 9,490 SF

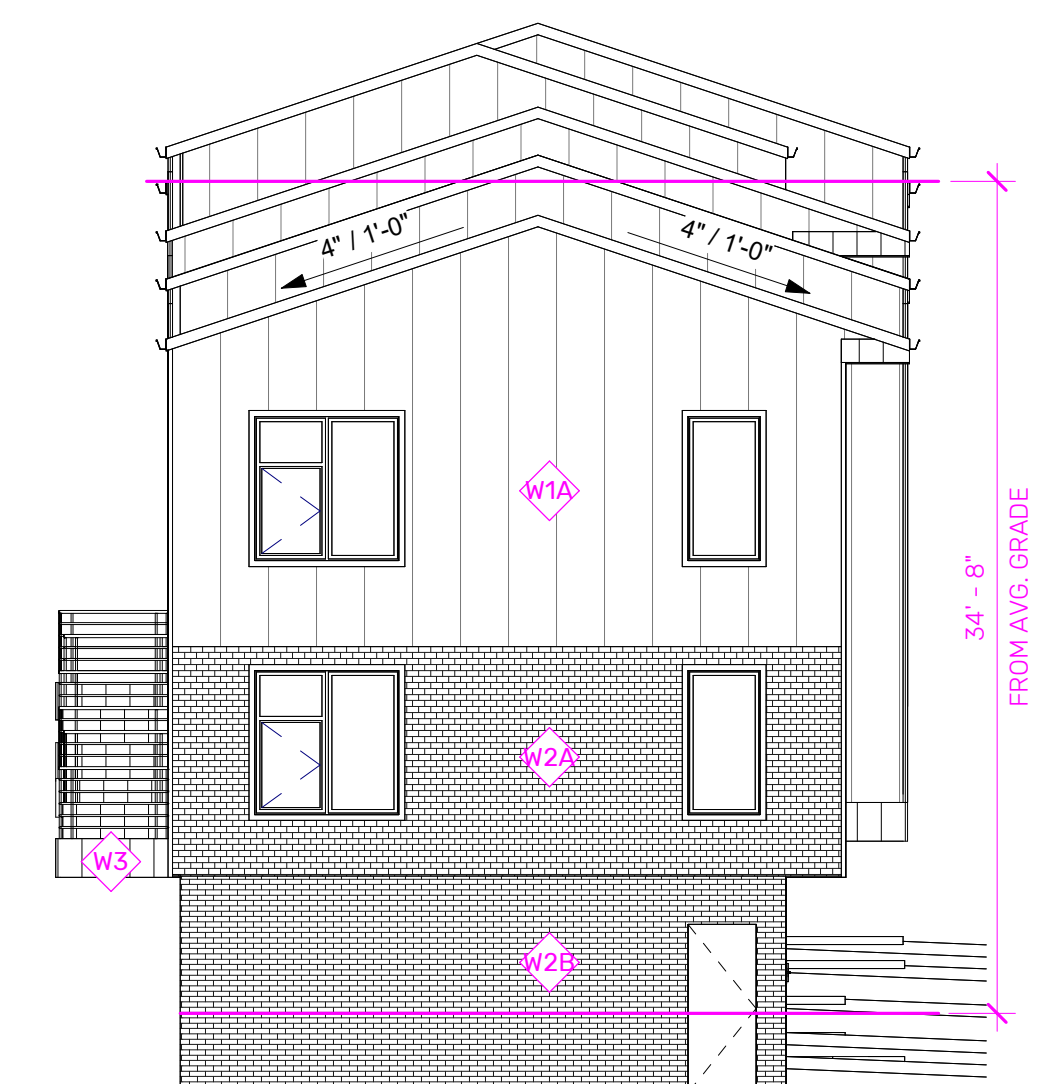
- NON-BRICK MATERIALS - 376 SF (50%)
 - METAL - 19 SF (2%)
 - BOARD AND BATTEN SIDING - 357 SF (48%)
- BRICK - 377 SF (50%)
- TOTAL - 753 SF

- NON-BRICK MATERIALS - 1,513 SF (45%)
 - METAL - 587 SF (17%)
 - BOARD AND BATTEN SIDING - 926 SF (28%)
- BRICK - 1,862 SF (55%)
- TOTAL - 3,375 SF



B1 BUILDING 01 - N.W. ELEVATION
SCALE: 1/8" = 1'-0"

- NON-BRICK MATERIALS - 376 SF (48%)
 - METAL - 19 SF (2%)
 - BOARD AND BATTEN SIDING - 357 SF (46%)
- BRICK - 409 SF (52%)
- TOTAL - 785 SF

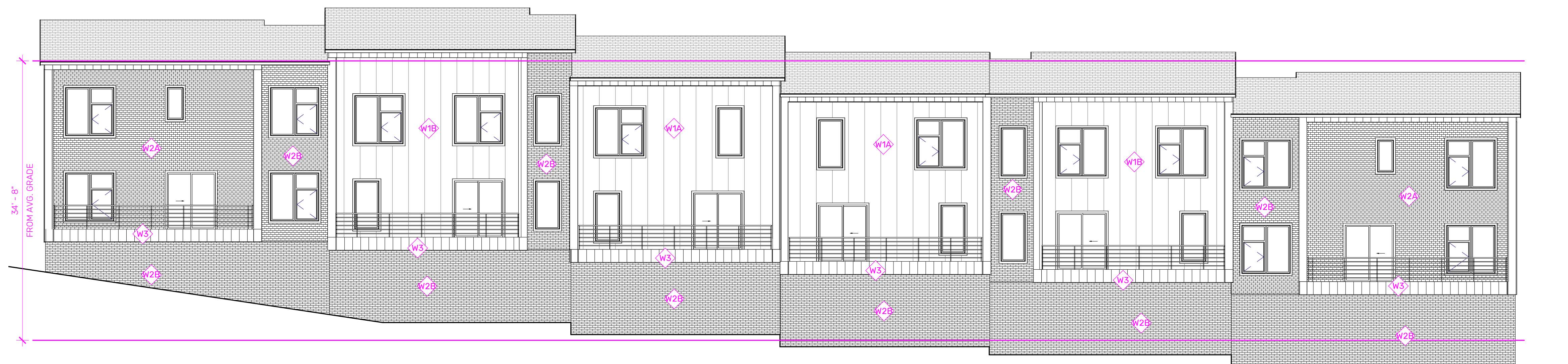


A1 BUILDING 01 - S.E. ELEVATION
SCALE: 1/8" = 1'-0"



B5 BUILDING 01 - N.E. ELEVATION
SCALE: 1/8" = 1'-0"

- NON-BRICK MATERIALS - 1,980 SF (43%)
 - METAL - 599 SF (13%)
 - BOARD AND BATTEN SIDING - 1,381 SF (30%)
- BRICK - 2,597 SF (57%)
- TOTAL - 4,577 SF



A5 BUILDING 01 - S.W. ELEVATION
SCALE: 1/8" = 1'-0"

FINISH SCHEDULE

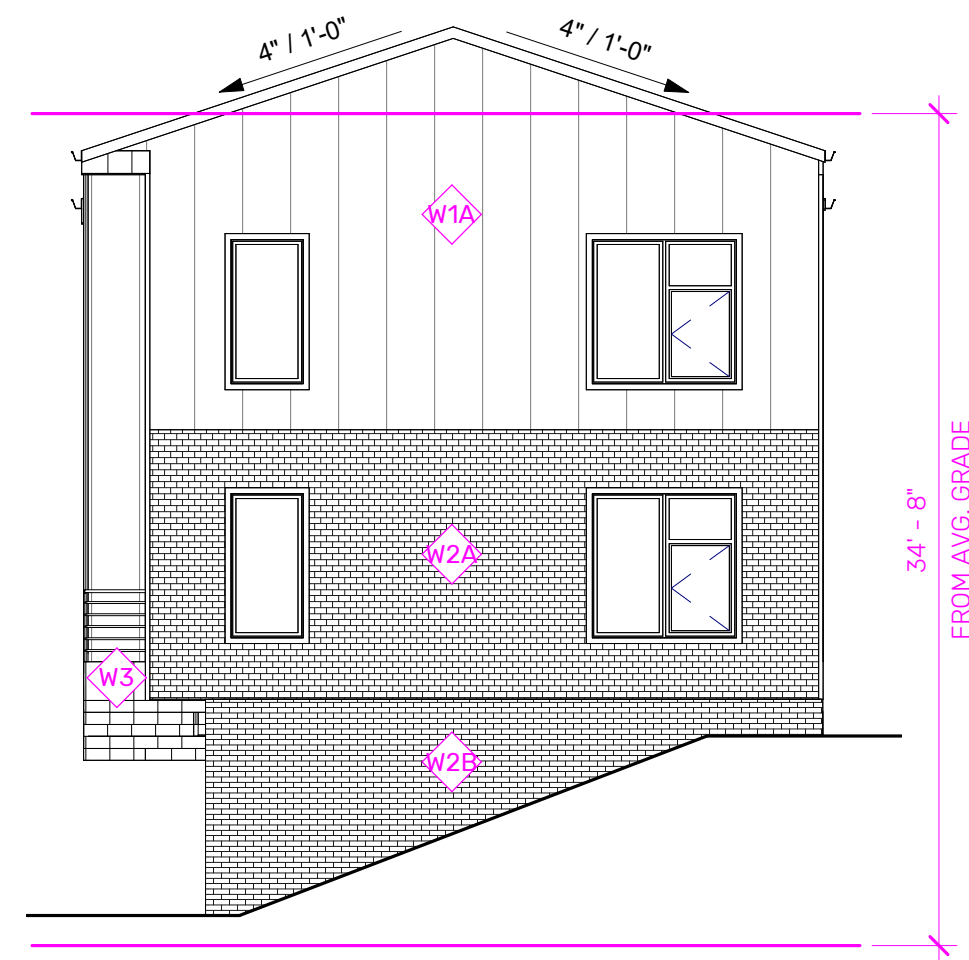
- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

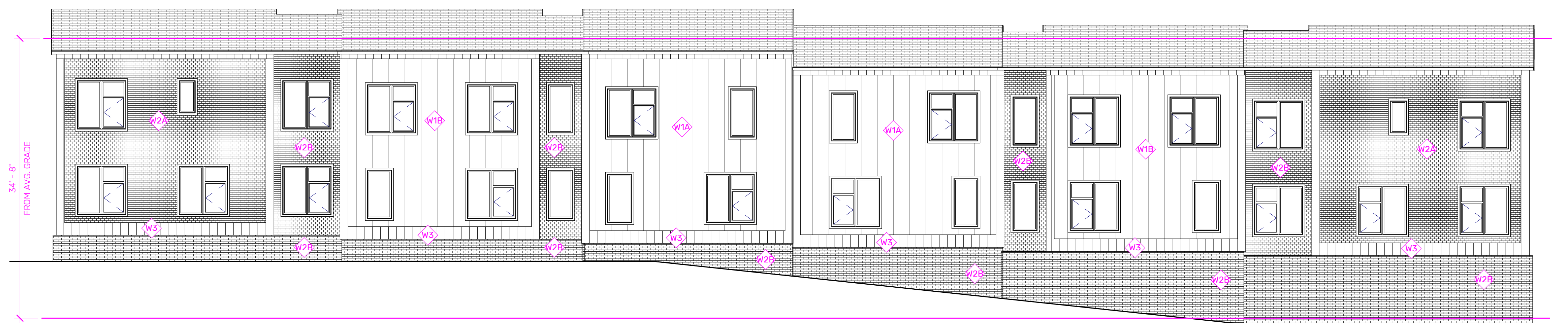
- NON-BRICK MATERIALS - 4,145 SF (47%)
 - METAL - 1,211 SF (14%)
 - BOARD AND BATTEN SIDING - 2,934 SF (33%)
- BRICK - 4,716 SF (53%)
- TOTAL - 8,861 SF

- NON-BRICK MATERIALS - 339 SF (48%)
 - METAL - 15 SF (2%)
 - BOARD AND BATTEN SIDING - 324 SF (46%)
- BRICK - 371 SF (52%)
- TOTAL - 710 SF

- NON-BRICK MATERIALS - 1,954 SF (49%)
 - METAL - 591 SF (15%)
 - BOARD AND BATTEN SIDING - 1,363 SF (34%)
- BRICK - 2,035 SF (51%)
- TOTAL - 3,989 SF



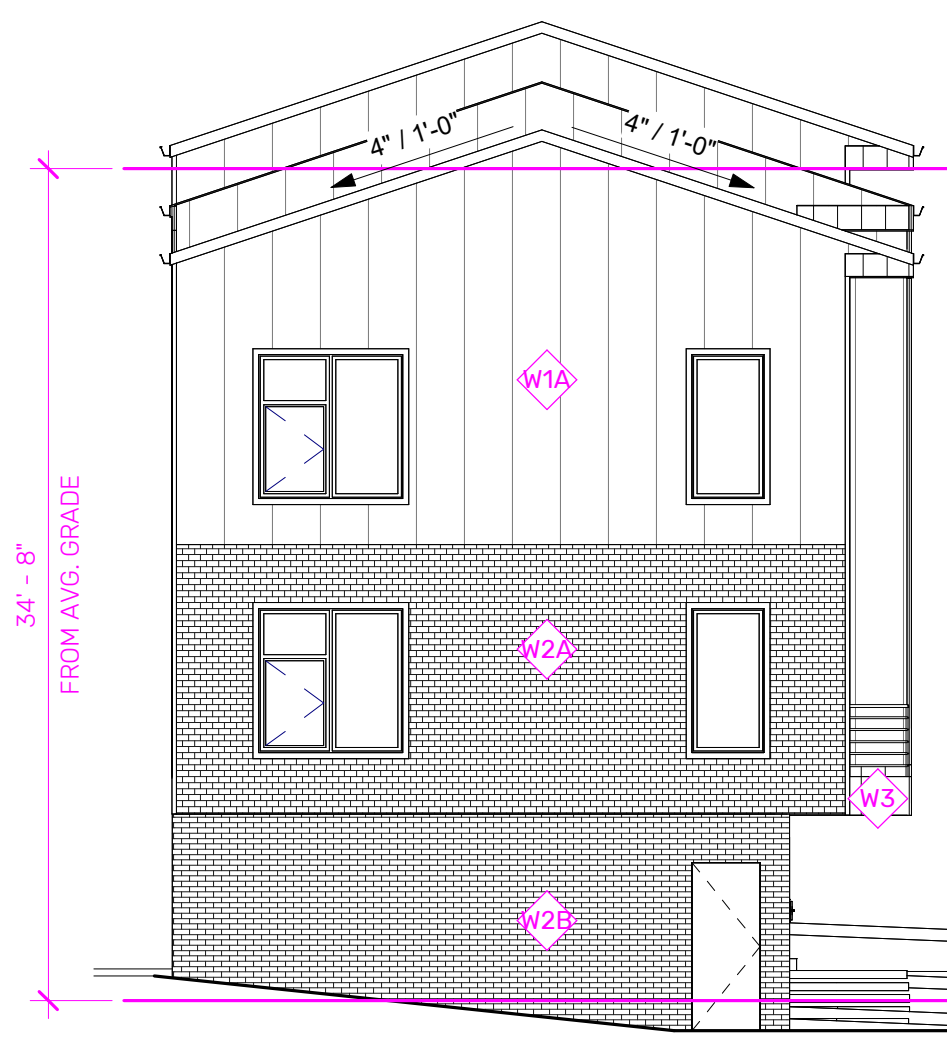
B1 BUILDING 02 - N.E. ELEVATION
SCALE: 1/8" = 1'-0"



B5 BUILDING 02 - N.W. ELEVATION
SCALE: 1/8" = 1'-0"

- NON-BRICK MATERIALS - 353 SF (45%)
 - METAL - 15 SF (2%)
 - BOARD AND BATTEN SIDING - 338 SF (43%)
- BRICK - 437 SF (55%)
- TOTAL - 790 SF

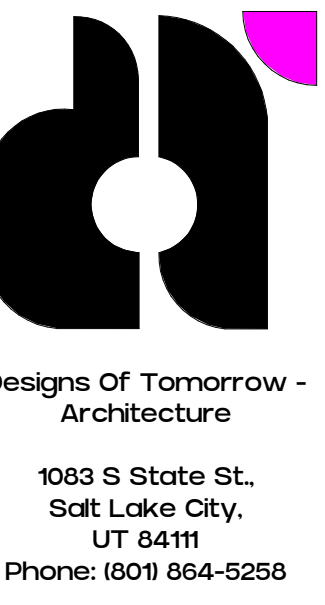
- NON-BRICK MATERIALS - 1,499 SF (44%)
 - METAL - 590 SF (17%)
 - BOARD AND BATTEN SIDING - 909 SF (27%)
- BRICK - 1,873 SF (56%)
- TOTAL - 3,372 SF



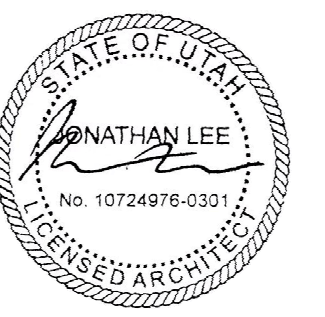
A1 BUILDING 02 - S.W. ELEVATION
SCALE: 1/8" = 1'-0"



A5 BUILDING 02 - S.E. ELEVATION
SCALE: 1/8" = 1'-0"



Designs Of Tomorrow - Architecture
1063 S State St.
Salt Lake City, UT 84111
Phone: (801) 864-5250



REVISIONS:
R13 05/10/24 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 02 (2167 ZEN WAY)
A202

FINISH SCHEDULE

- W1A: WALL FINISH 1A: - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: - BREAK METAL
- R1: ROOF FINISH: - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 4,281 SF (44%)

- METAL - 1,225 SF (13%)
- BOARD AND BATTEN SIDING - 3,056 SF (31%)

BRICK - 5,483 SF (56%)

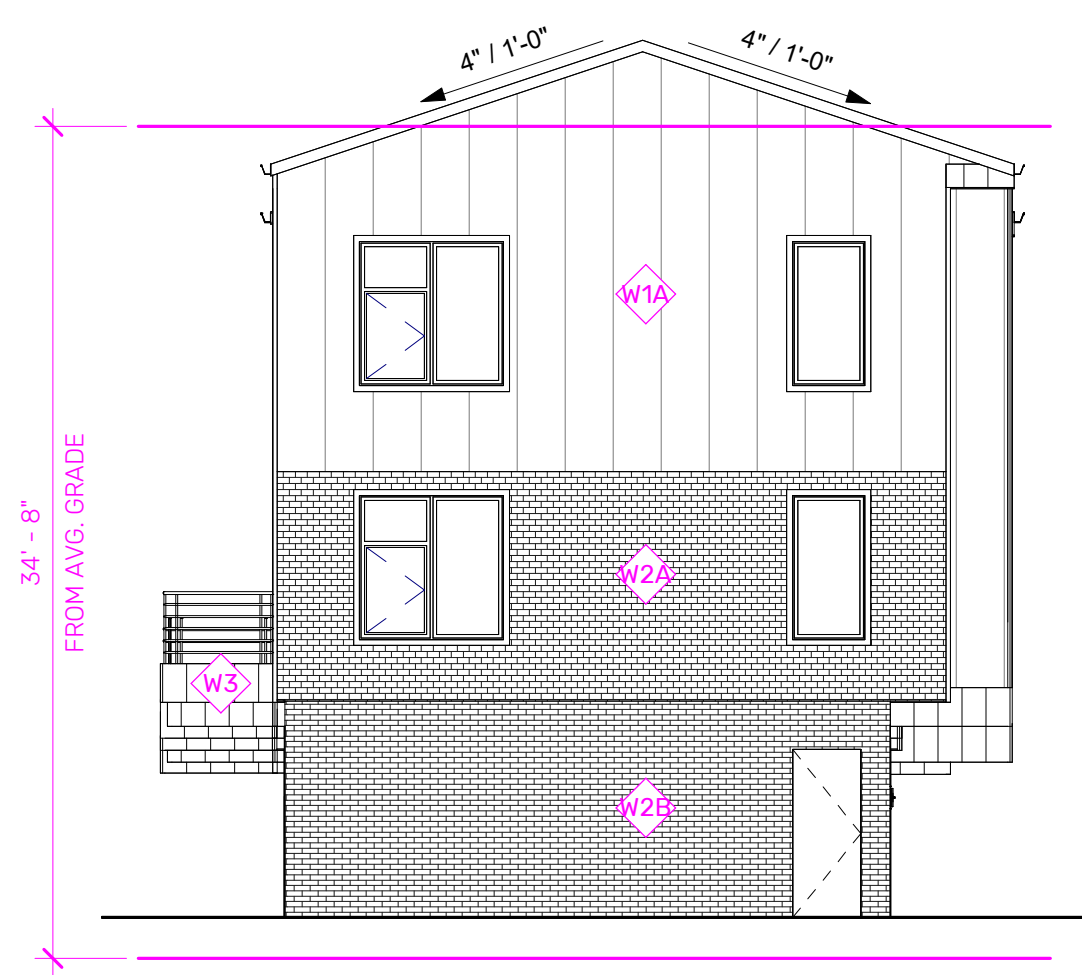
TOTAL - 9,764 SF

NON-BRICK MATERIALS - 376 SF (48%)

- METAL - 19 SF (2%)
- BOARD AND BATTEN SIDING - 357 SF (46%)

BRICK - 409 SF (52%)

TOTAL - 785 SF



B1 BUILDING 03 - N.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,961 SF (42%)

- METAL - 599 SF (13%)
- BOARD AND BATTEN SIDING - 1,362 SF (29%)

BRICK - 2,715 SF (58%)

TOTAL - 4,676 SF



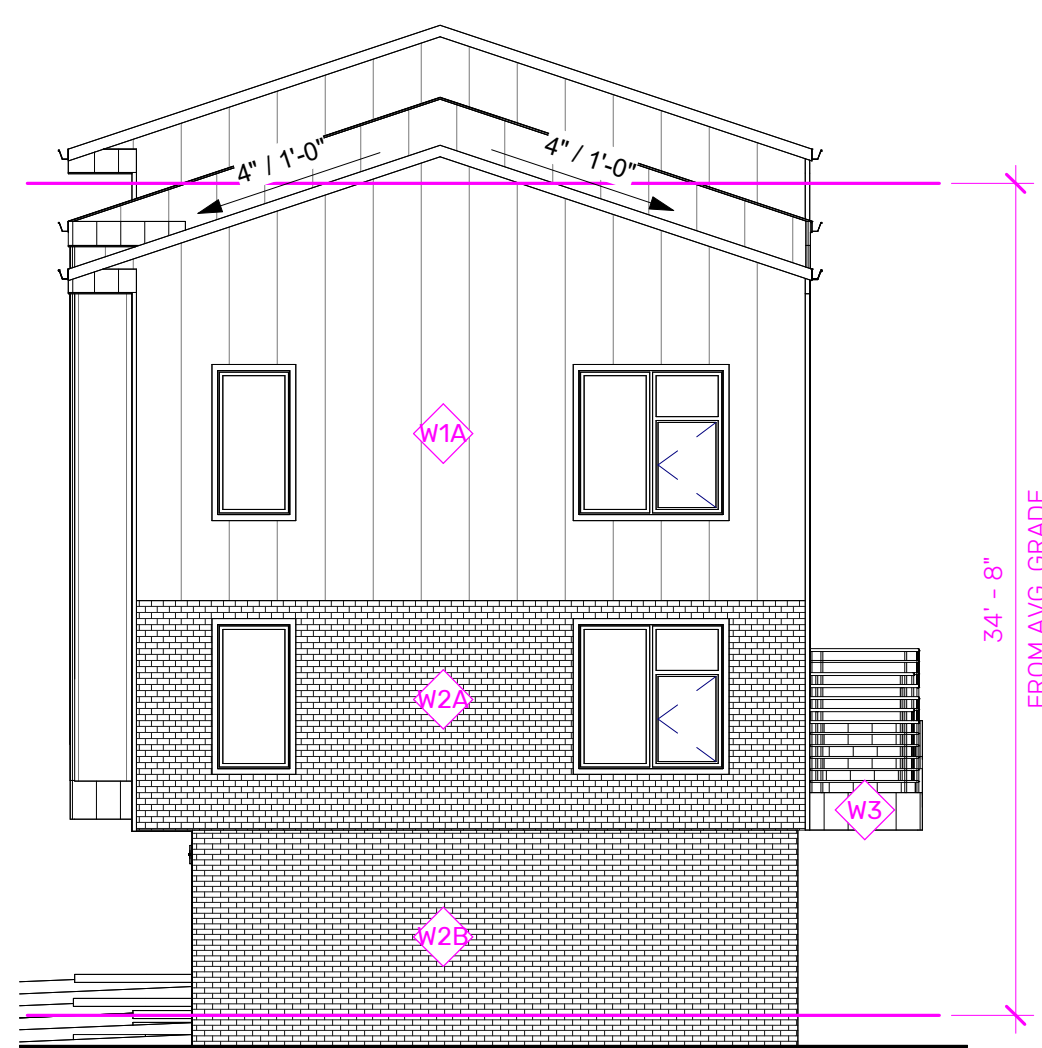
B5 BUILDING 03 - S.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 404 SF (48%)

- METAL - 19 SF (2%)
- BOARD AND BATTEN SIDING - 385 SF (46%)

BRICK - 429 SF (52%)

TOTAL - 833 SF



A1 BUILDING 03 - S.W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,540 SF (44%)

- METAL - 588 SF (17%)
- BOARD AND BATTEN SIDING - 952 SF (27%)

BRICK - 1,930 SF (56%)

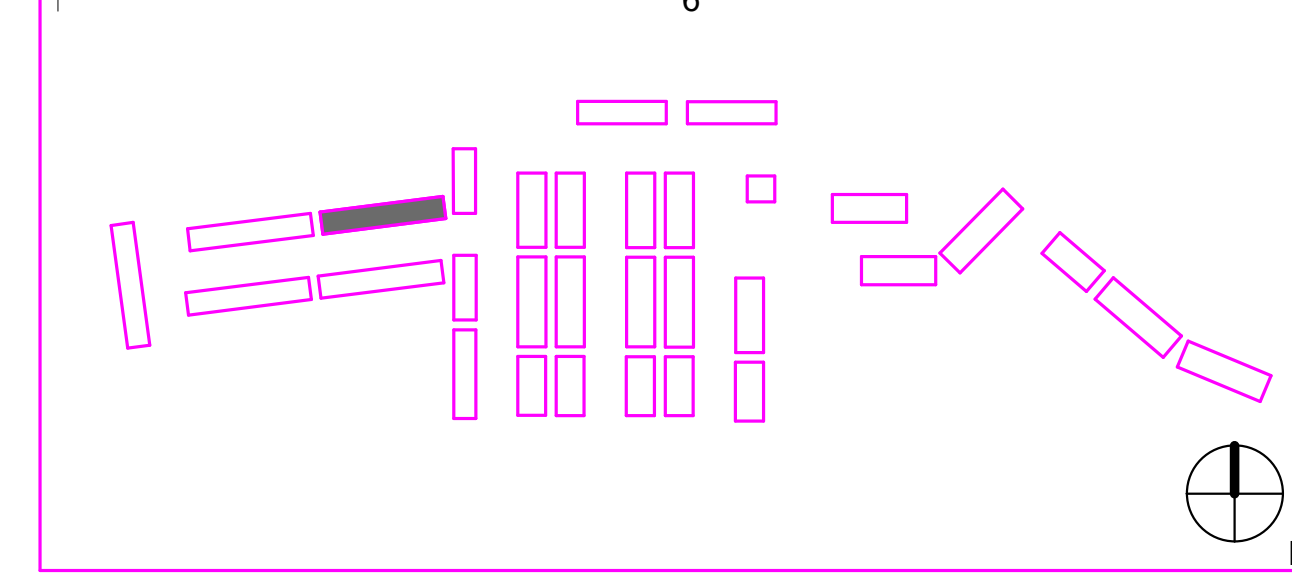
TOTAL - 3,470 SF



A5 BUILDING 03 - N.W. ELEVATION
SCALE: 1/8" = 1'-0"

FINISH SCHEDULE

- W1A: WALL FINISH 1A: - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: - BREAK METAL
- R1: ROOF FINISH: - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: - DARK BRONZE PAINT



TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 4,120 SF (47%)

- METAL - 1,220 SF (14%)
- BOARD AND BATTEN SIDING - 2,900 SF (33%)

BRICK - 4,634 SF (53%)

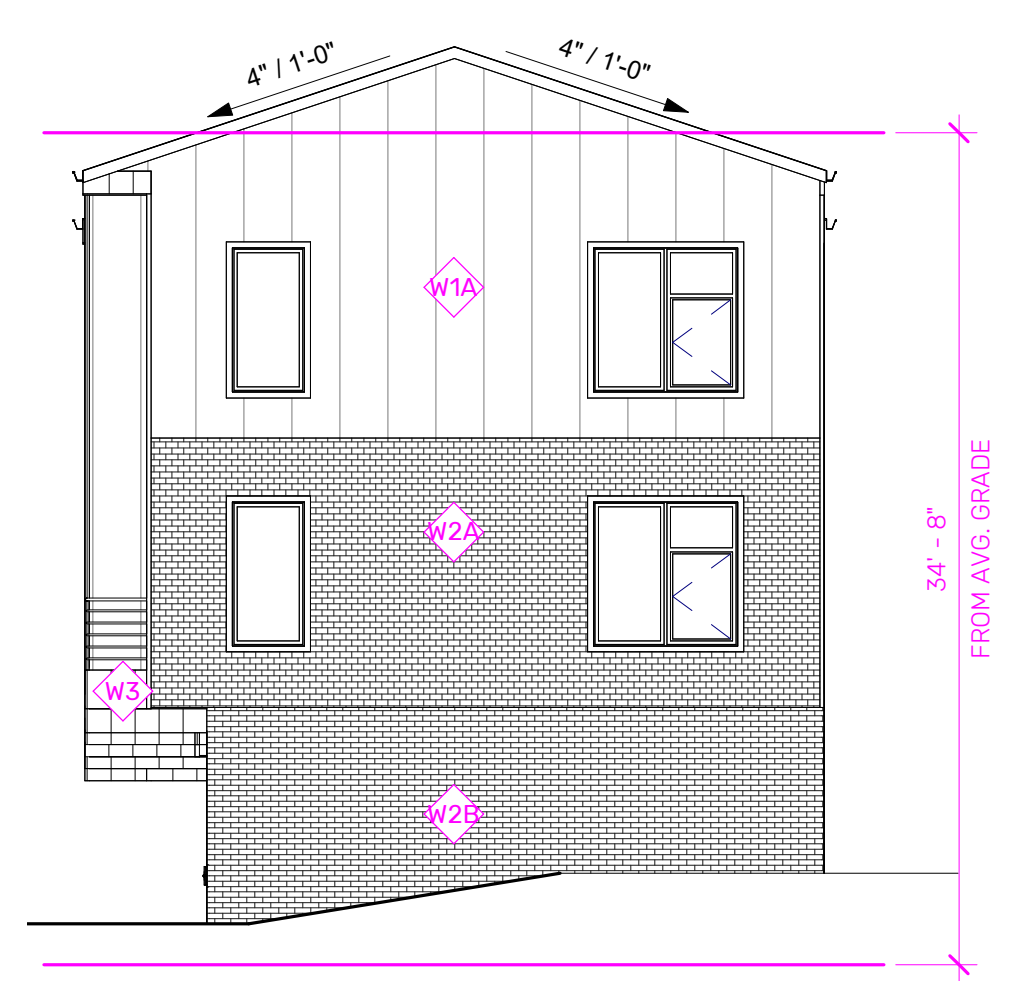
TOTAL - 8,754 SF

NON-BRICK MATERIALS - 325 SF (42%)

- METAL - 15 SF (2%)
- BOARD AND BATTEN SIDING - 310 SF (40%)

BRICK - 443 SF (58%)

TOTAL - 768 SF



B1 BUILDING 04 - N.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,488 SF (44%)

- METAL - 599 SF (18%)
- BOARD AND BATTEN SIDING - 889 SF (26%)

BRICK - 1,859 SF (56%)

TOTAL - 3,347 SF



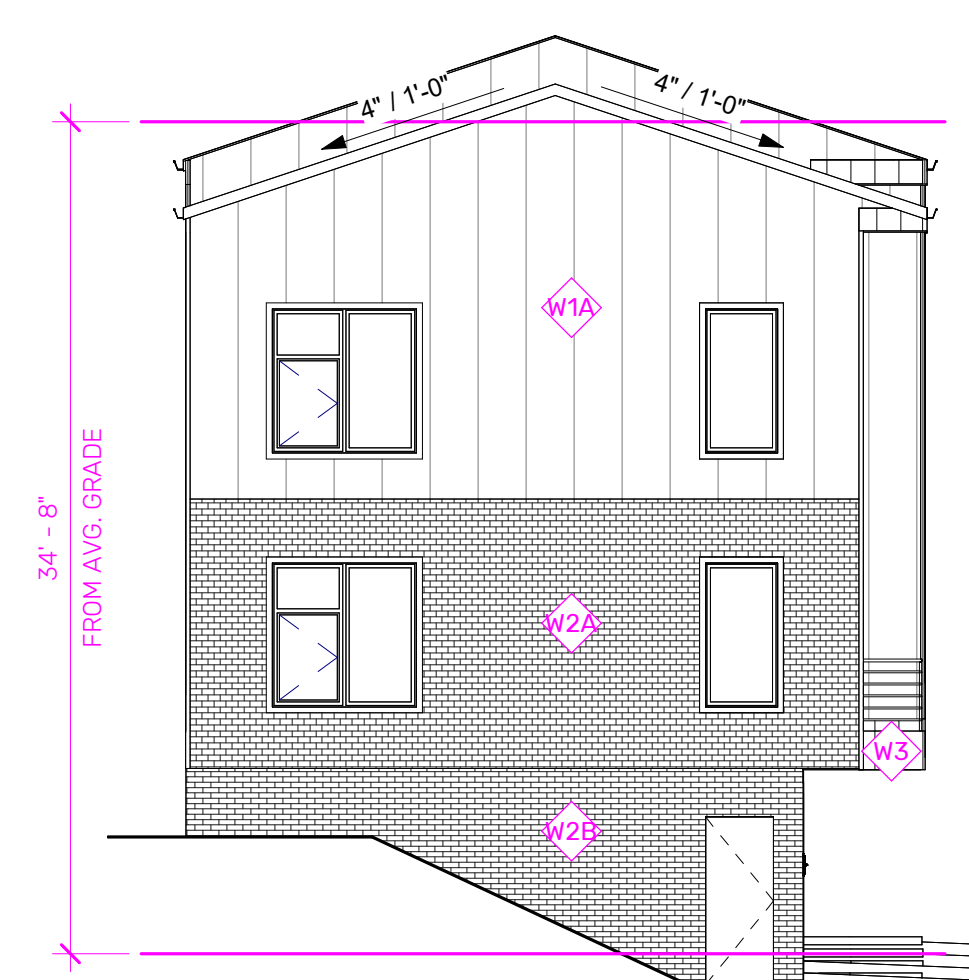
B5 BUILDING 04 - S.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 353 SF (49%)

- METAL - 15 SF (2%)
- BOARD AND BATTEN SIDING - 338 SF (47%)

BRICK - 372 SF (51%)

TOTAL - 725 SF



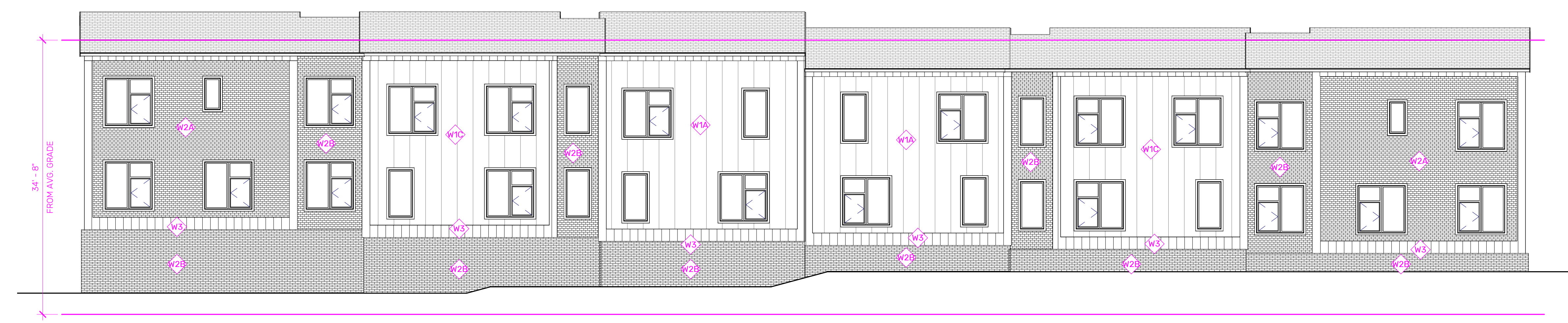
A1 BUILDING 04 - S.W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,954 SF (50%)

- METAL - 591 SF (15%)
- BOARD AND BATTEN SIDING - 1,363 SF (35%)

BRICK - 1,960 SF (50%)

TOTAL - 3,914 SF



A5 BUILDING 04 - N.W. ELEVATION
SCALE: 1/8" = 1'-0"

FINISH SCHEDULE

- W1A: WALL FINISH 1A: - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: - BREAK METAL
- R1: ROOF FINISH: - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 4,331 SF (44%)

- METAL - 1,200 SF (12%)
- BOARD AND BATTEN SIDING - 3,131 SF (32%)

BRICK - 5,522 SF (56%)

TOTAL - 9,853 SF

NON-BRICK MATERIALS - 390 SF (49%)

- METAL - 19 SF (2%)
- BOARD AND BATTEN SIDING - 371 SF (47%)

BRICK - 409 SF (51%)

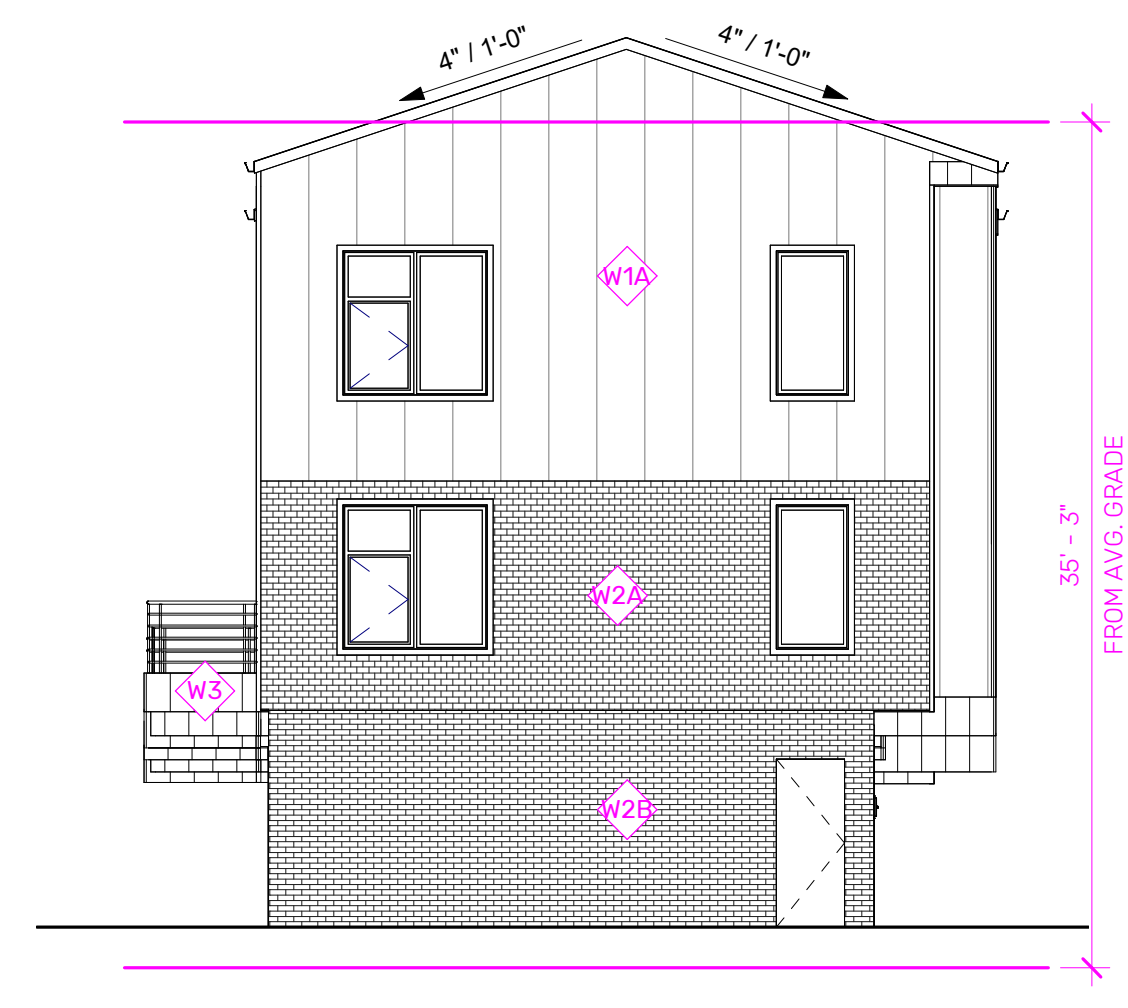
TOTAL - 799 SF

NON-BRICK MATERIALS - 2,013 SF (42%)

- METAL - 604 SF (13%)
- BOARD AND BATTEN SIDING - 1,409 SF (29%)

BRICK - 2,754 SF (58%)

TOTAL - 4,767 SF



C1 BUILDING 05 - N.E. ELEVATION
 SCALE: 1/8" = 1'-0"



C5 BUILDING 05 - S.E. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 418 SF (49%)

- METAL - 19 SF (2%)
- BOARD AND BATTEN SIDING - 399 SF (47%)

BRICK - 429 SF (51%)

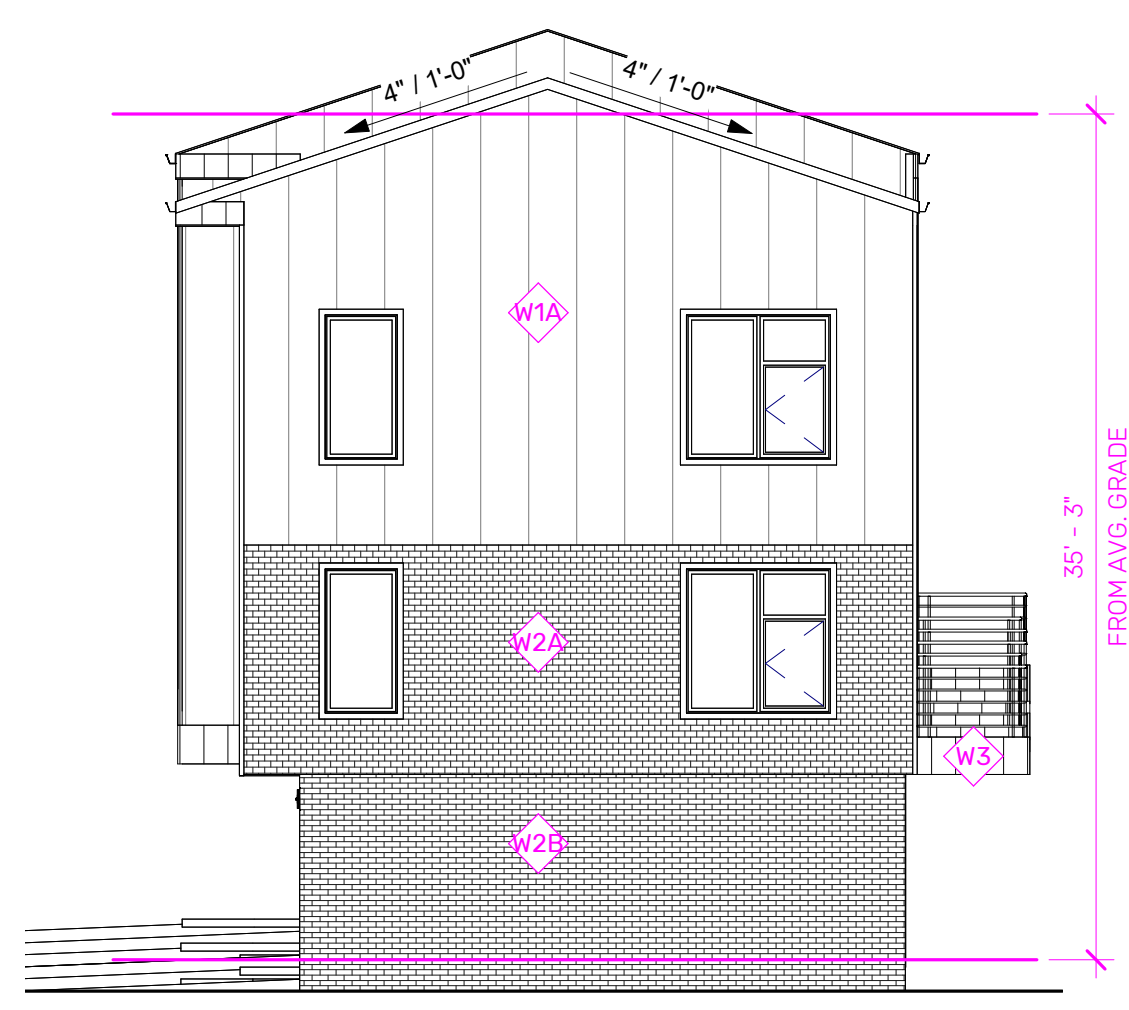
TOTAL - 847 SF

NON-BRICK MATERIALS - 1,540 SF (44%)

- METAL - 588 SF (17%)
- BOARD AND BATTEN SIDING - 952 SF (27%)

BRICK - 1,930 SF (56%)

TOTAL - 3,470 SF



A1 BUILDING 05 - S.W. ELEVATION
 SCALE: 1/8" = 1'-0"



A5 BUILDING 05 - N.W. ELEVATION
 SCALE: 1/8" = 1'-0"



REVISIONS:
 #13 05/13/24 MAY 13, 2024

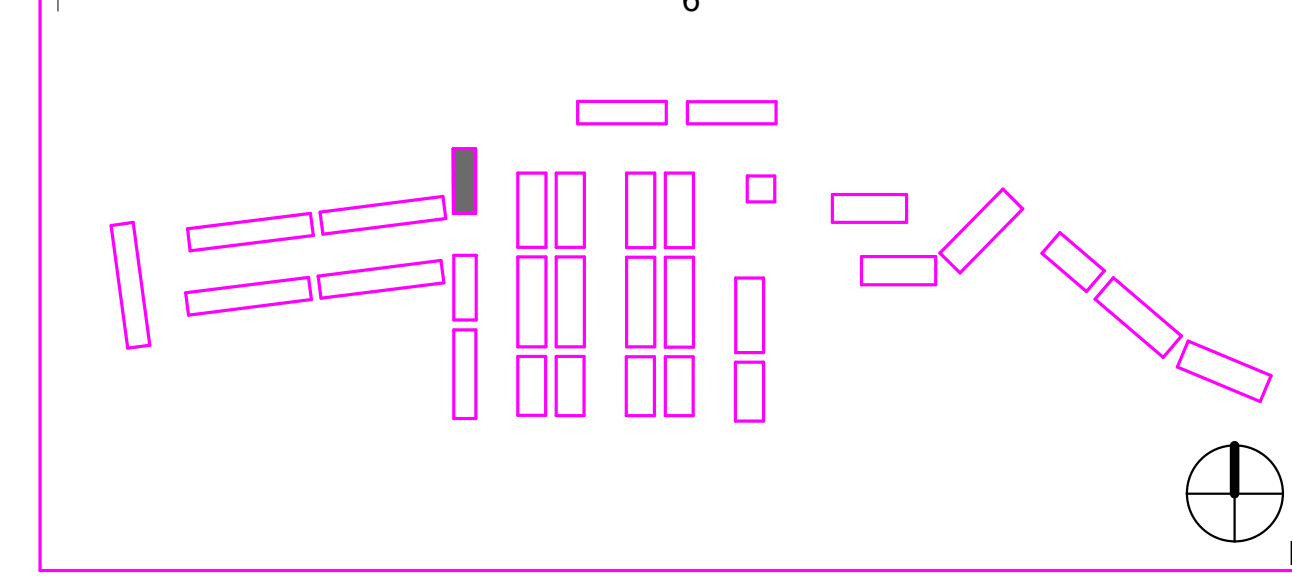
IKON TRAILSIDE TOWNHOMES
 Trailside Townhomes
 Draper, UT 84020

CONTRACT DOCUMENTS
 DATE: 06/04/2024
 NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 05 (2104 ZEN WAY)

FINISH SCHEDULE

- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT



TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,734 SF (46%)

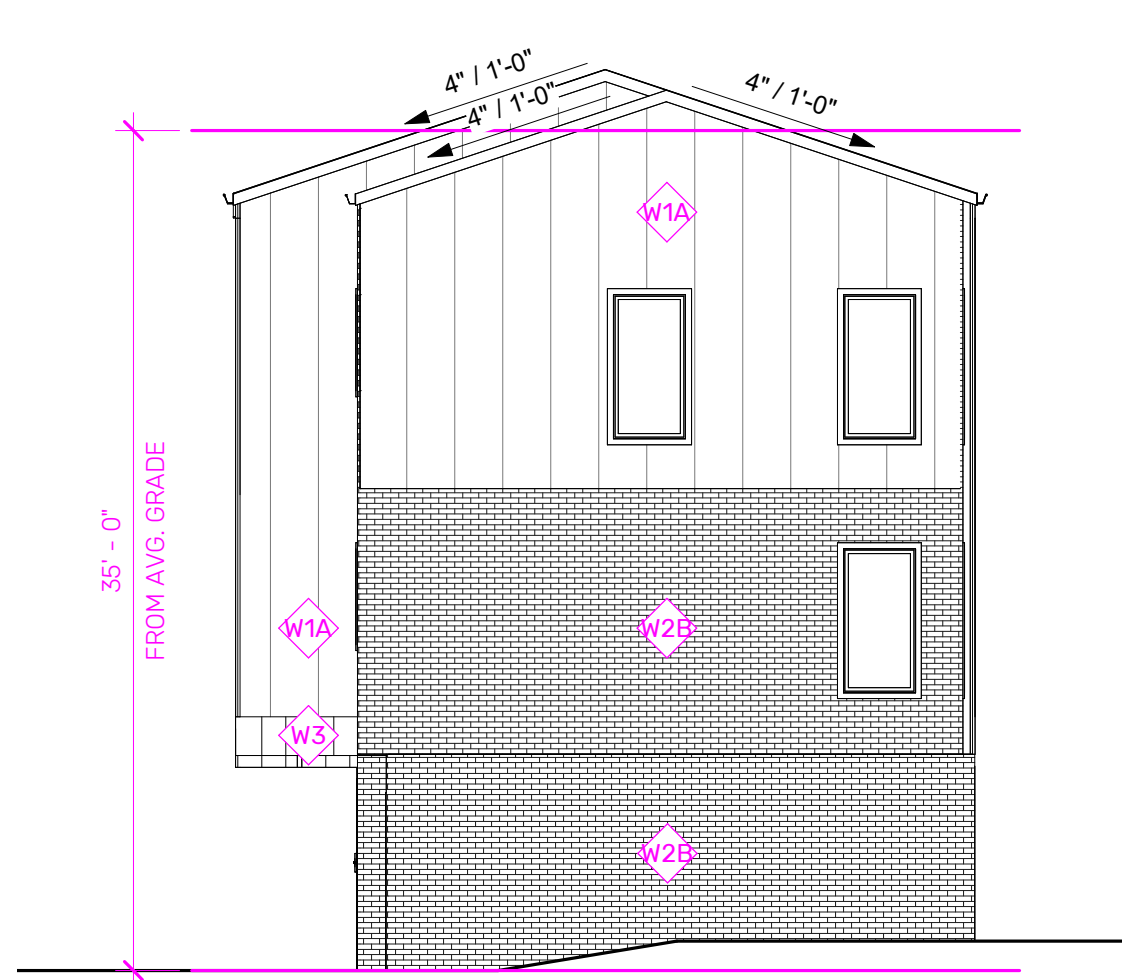
- METAL - 589 SF (10%)
- BOARD AND BATTEN SIDING - 2,145 SF (36%)

BRICK - 3,195 SF (54%)
 TOTAL - 5,929 SF

NON-BRICK MATERIALS - 445 SF (49%)

- METAL - 16 SF (2%)
- BOARD AND BATTEN SIDING - 429 SF (47%)

BRICK - 469 SF (51%)
 TOTAL - 914 SF

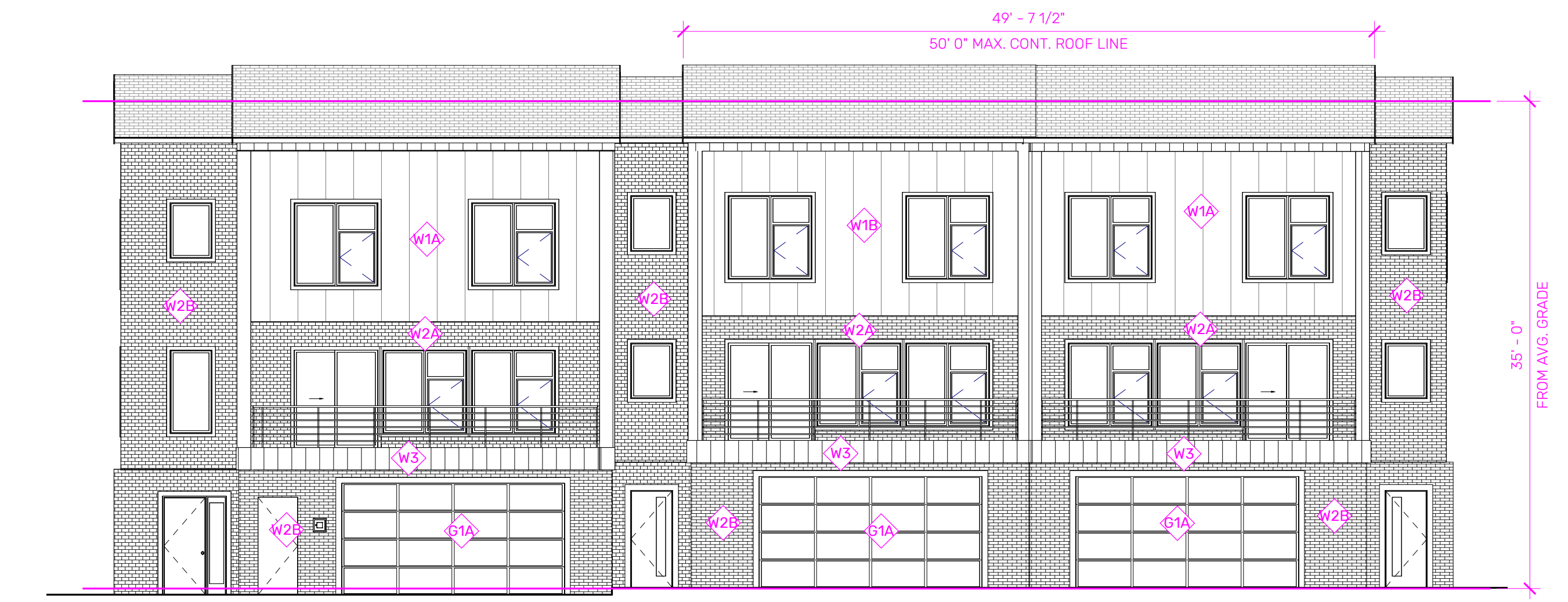


C3 BUILDING 06 - N. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 876 SF (49%)

- METAL - 288 SF (16%)
- BOARD AND BATTEN SIDING - 588 SF (33%)

BRICK - 907 SF (51%)
 TOTAL - 1,783 SF

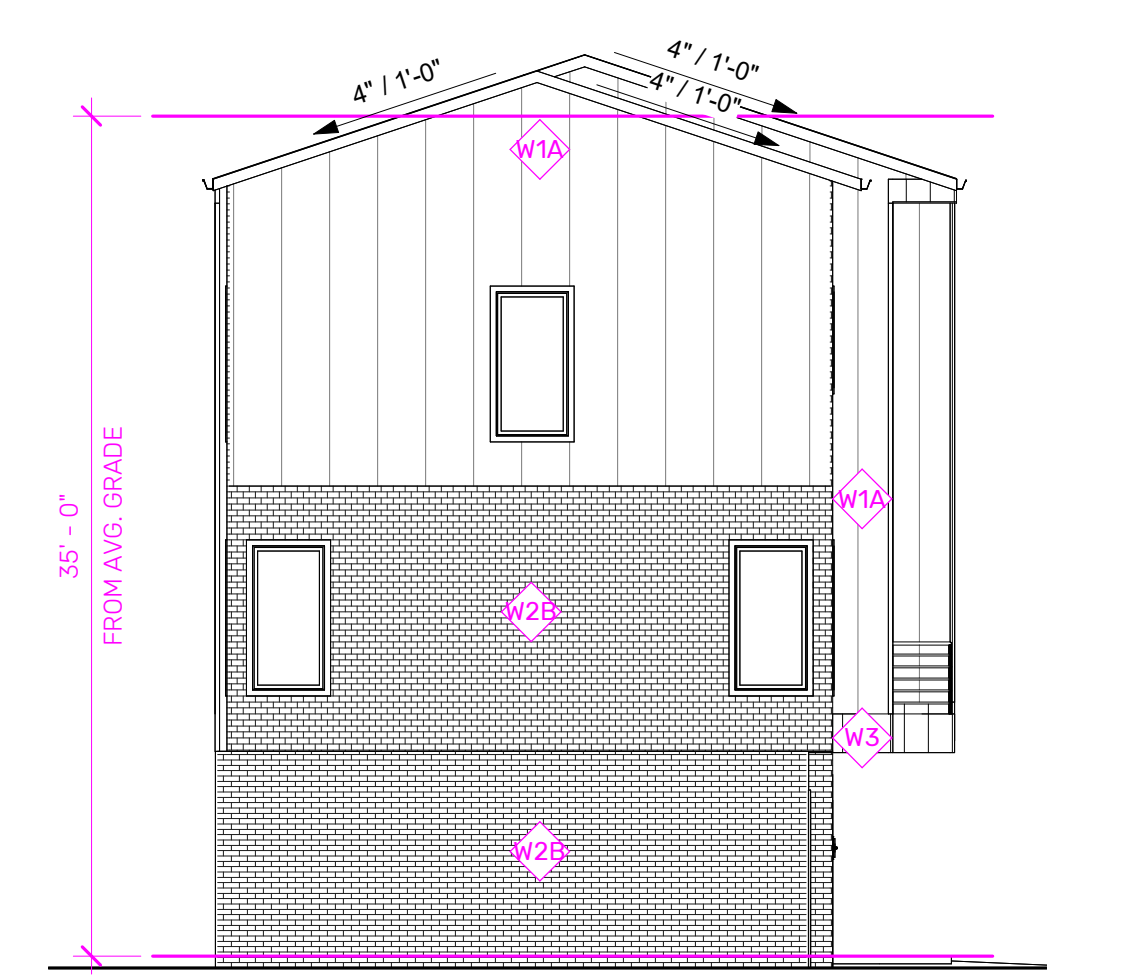


C5 BUILDING 06 - E. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 430 SF (48%)

- METAL - 19 SF (2%)
- BOARD AND BATTEN SIDING - 411 SF (46%)

BRICK - 466 SF (52%)
 TOTAL - 896 SF

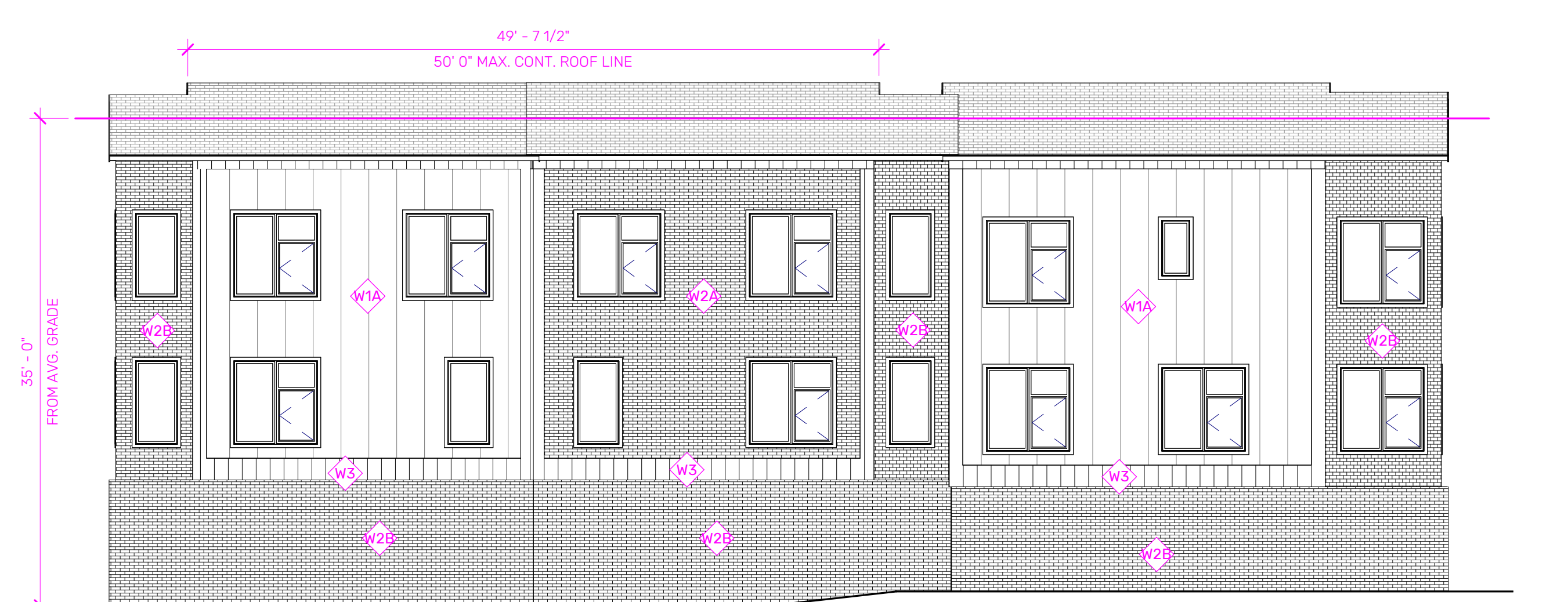


A3 BUILDING 06 - S. ELEVATION
 SCALE: 1/8" = 1'-0"

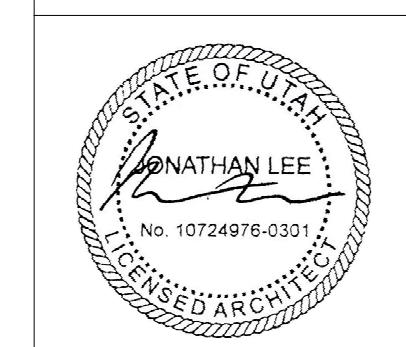
NON-BRICK MATERIALS - 983 SF (41%)

- METAL - 266 SF (11%)
- BOARD AND BATTEN SIDING - 717 SF (30%)

BRICK - 1,408 SF (59%)
 TOTAL - 2,391 SF



A5 BUILDING 06 - W. ELEVATION
 SCALE: 1/8" = 1'-0"



REVISIONS:
 R13 06/10/24 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
 Trailside Townhomes
 Draper, UT 84020

CONTRACT DOCUMENTS
 DATE: 06/04/2024
 NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 06 (16142 PIPELINE)
A206

FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

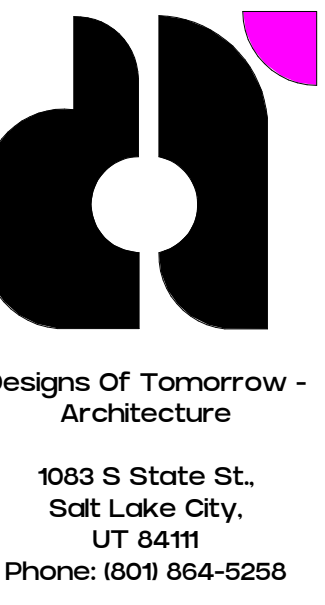
TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,608 SF (45%)

- METAL - 593 SF (10%)
- BOARD AND BATTEN SIDING - 2,015 SF (35%)

BRICK - 3,242 SF (55%)

TOTAL - 5,850 SF



NON-BRICK MATERIALS - 415 SF (47%)

- METAL - 16 SF (2%)
- BOARD AND BATTEN SIDING - 399 SF (46%)

BRICK - 464 SF (53%)

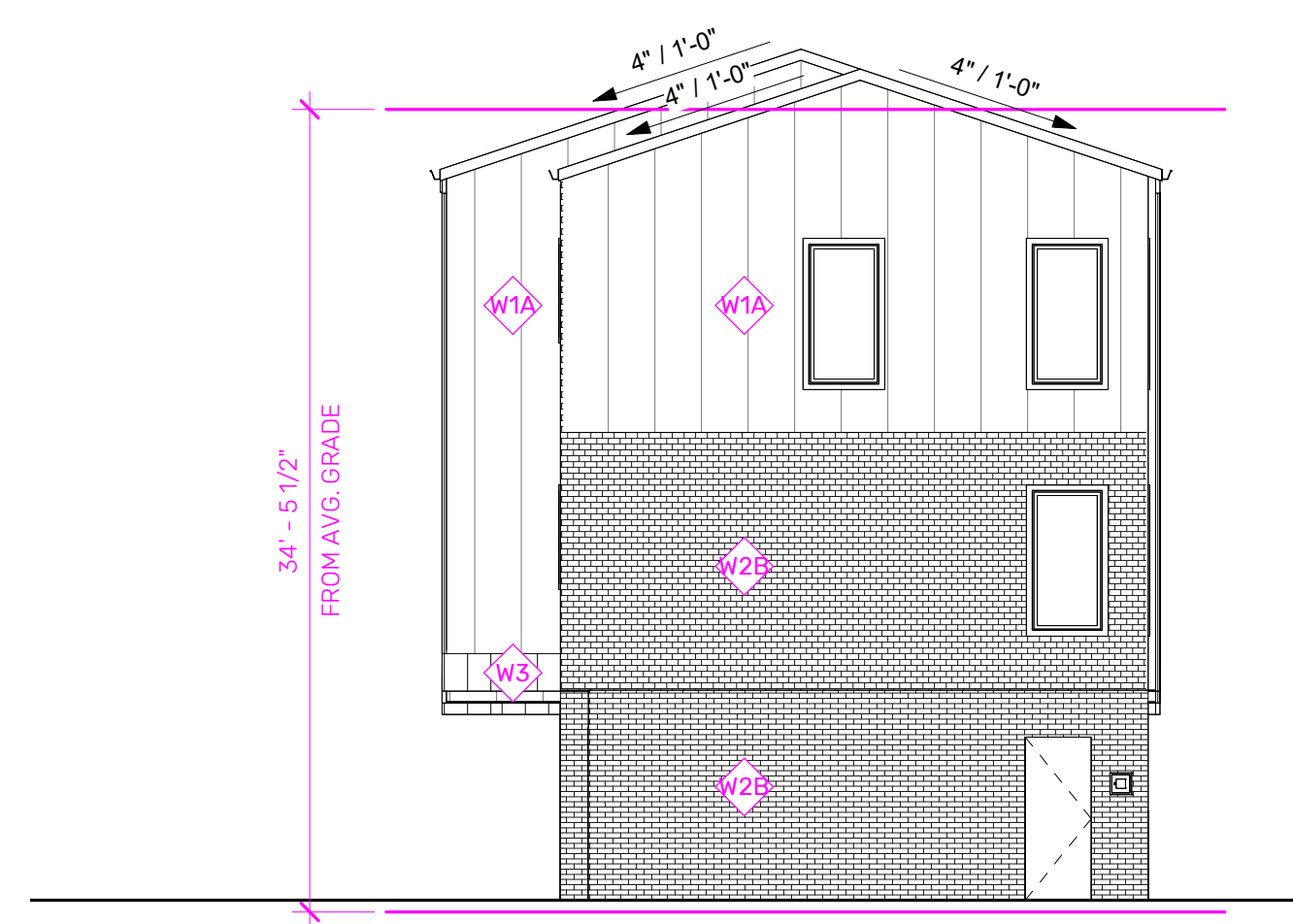
TOTAL - 879 SF

NON-BRICK MATERIALS - 820 SF (48%)

- METAL - 279 SF (16%)
- BOARD AND BATTEN SIDING - 541 SF (32%)

BRICK - 892 SF (52%)

TOTAL - 1,712 SF



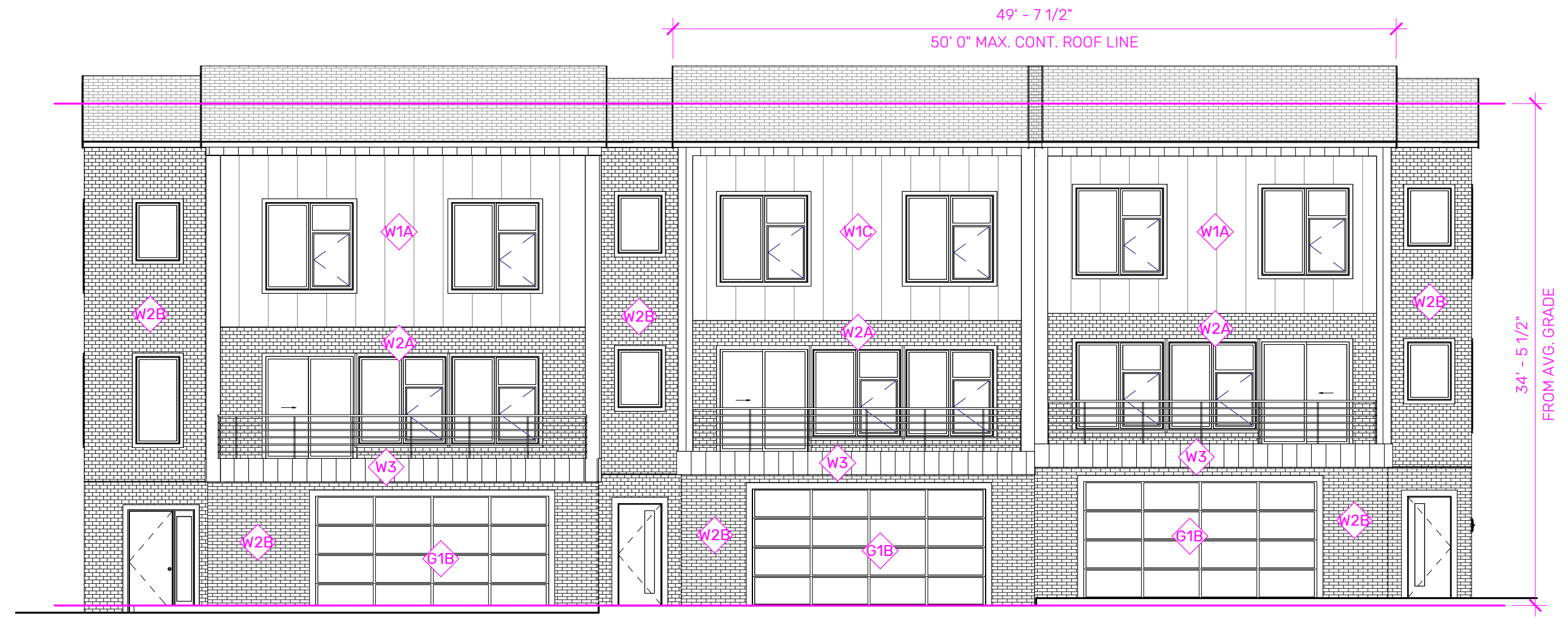
C3 BUILDING 07 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 416 SF (47%)

- METAL - 19 SF (2%)
- BOARD AND BATTEN SIDING - 397 SF (45%)

BRICK - 461 SF (53%)

TOTAL - 877 SF



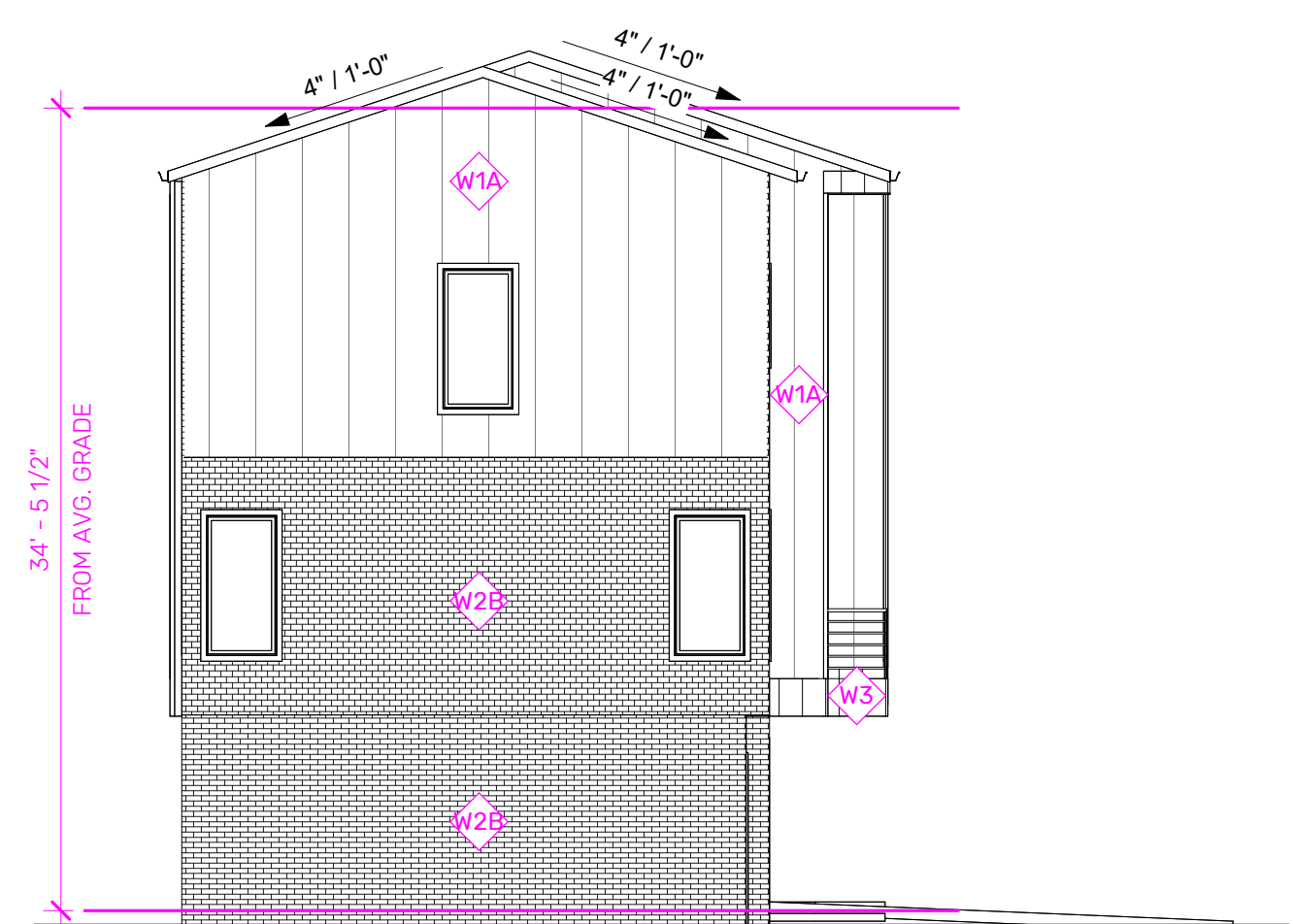
C5 BUILDING 07 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 957 SF (40%)

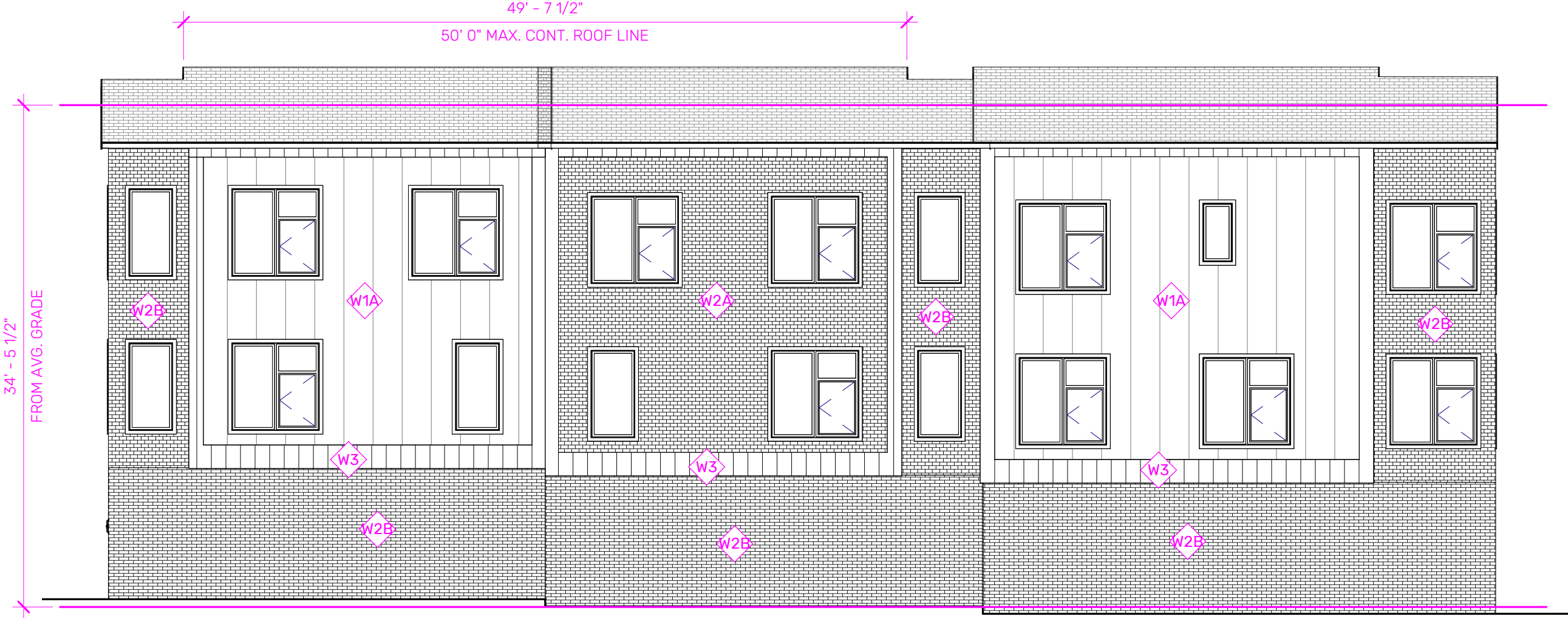
- METAL - 279 SF (12%)
- BOARD AND BATTEN SIDING - 678 SF (28%)

BRICK - 1,425 SF (60%)

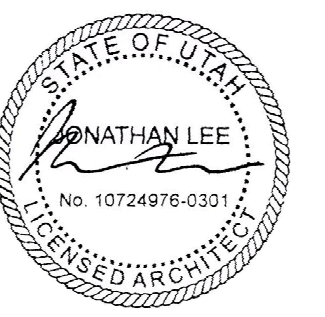
TOTAL - 2,382 SF



A3 BUILDING 07 - S. ELEVATION
SCALE: 1/8" = 1'-0"



A5 BUILDING 07 - W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:

R13 06/10/24 MAY 11, 2024

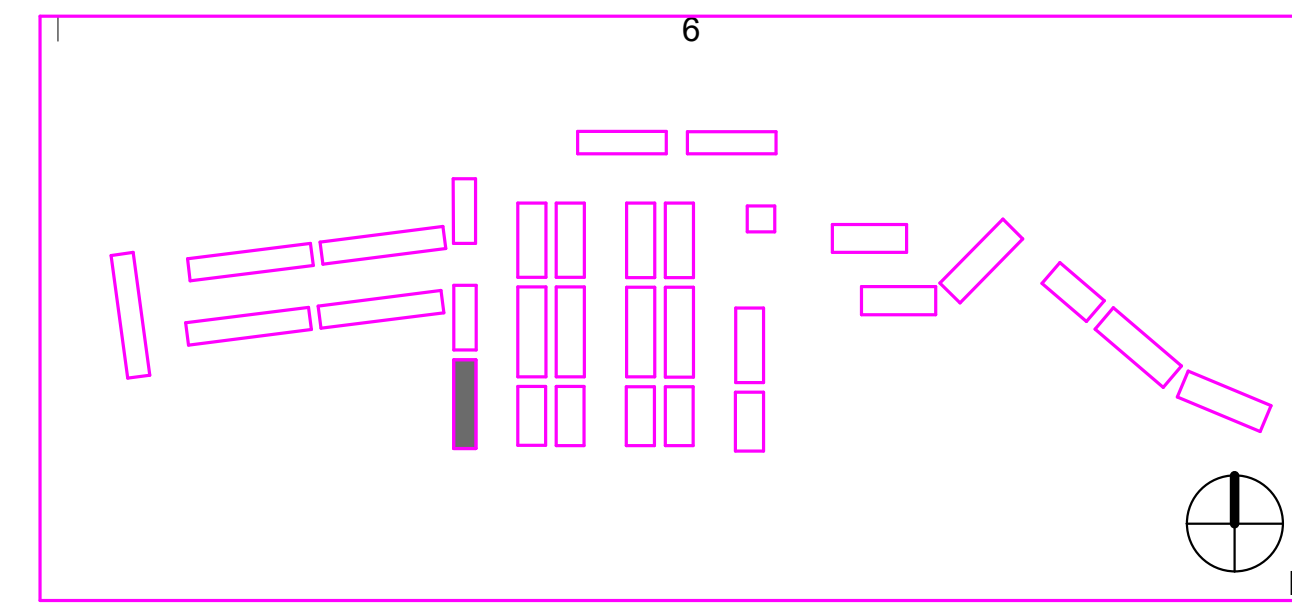
IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 07 (16158 PIPELINE)
A207

FINISH SCHEDULE

- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT



TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,700 SF (46%)

- METAL - 830 SF (10%)
- BOARD AND BATTEN SIDING - 2,870 SF (36%)

BRICK - 4,421 SF (54%)

TOTAL - 8,121 SF

NON-BRICK MATERIALS - 375 SF (47%)

- METAL - 19 SF (3%)
- BOARD AND BATTEN SIDING - 356 SF (44%)

BRICK - 429 SF (53%)

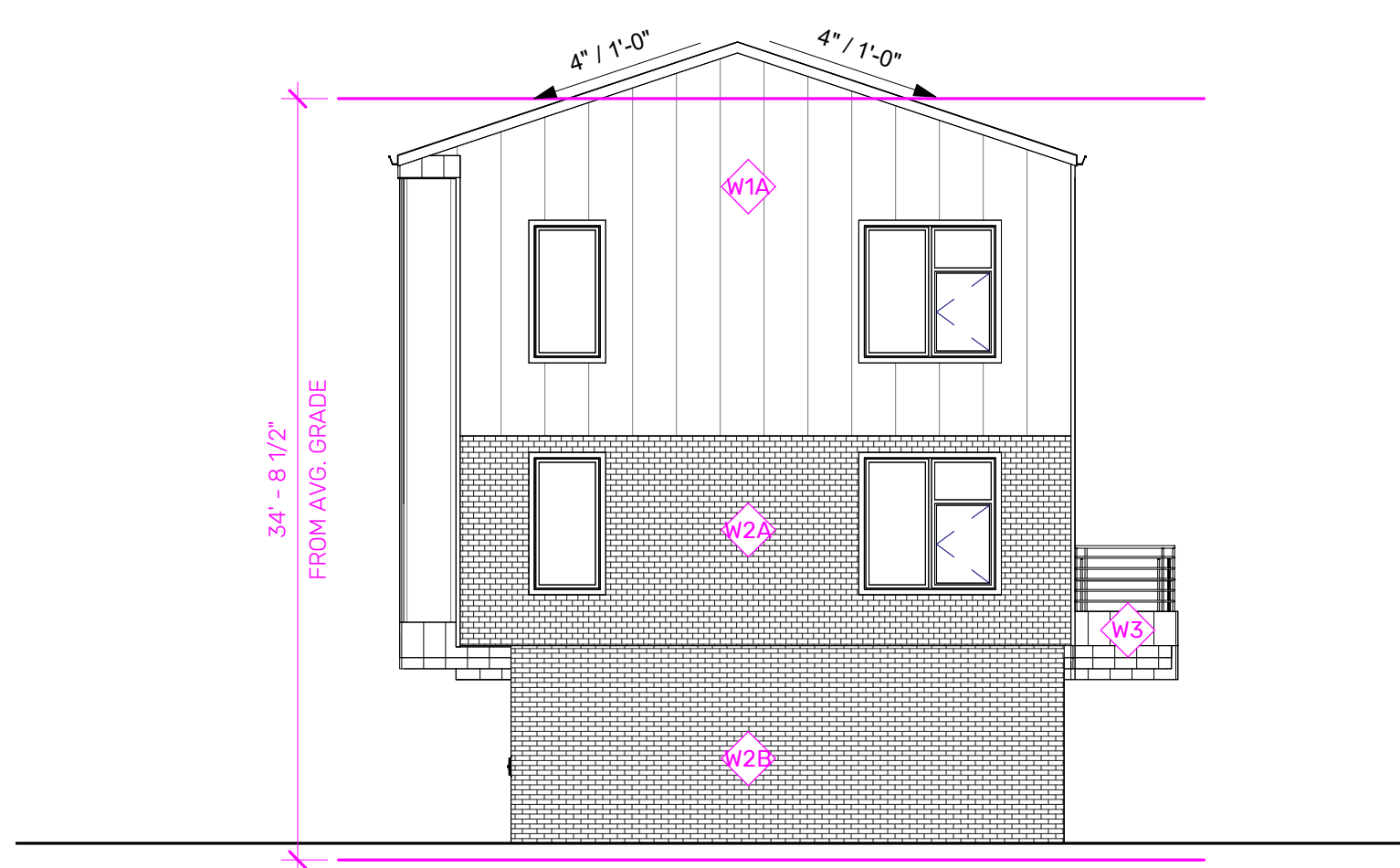
TOTAL - 804 SF

NON-BRICK MATERIALS - 1,152 SF (47%)

- METAL - 392 SF (16%)
- BOARD AND BATTEN SIDING - 760 SF (31%)

BRICK - 1,312 SF (53%)

TOTAL - 2,464 SF



B2 BUILDING 08 - N. ELEVATION
SCALE: 1/8" = 1'-0"



B5 BUILDING 08 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 408 SF (50%)

- METAL - 19 SF (2%)
- BOARD AND BATTEN SIDING - 389 SF (48%)

BRICK - 409 SF (50%)

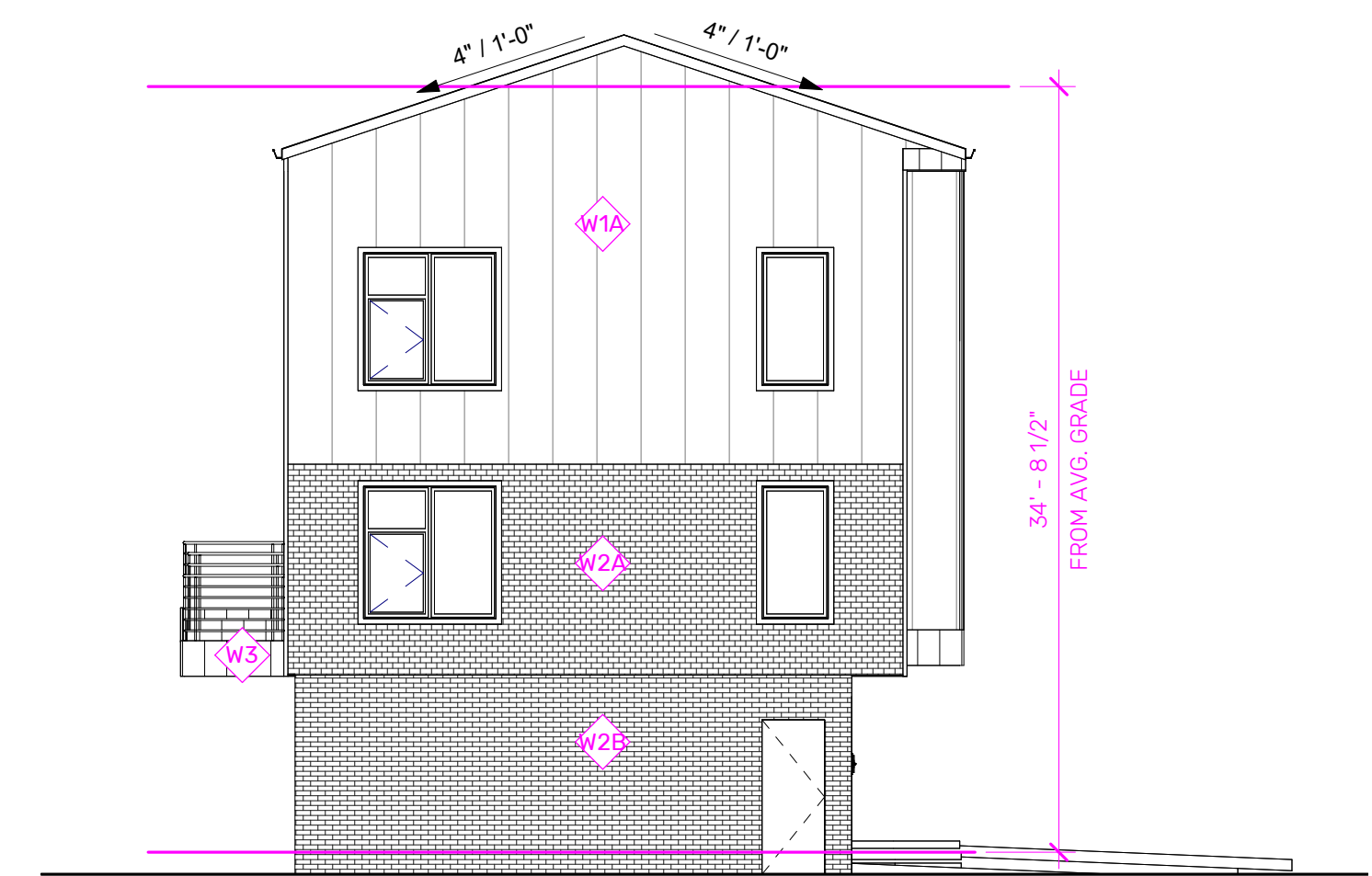
TOTAL - 817 SF

NON-BRICK MATERIALS - 1,765 SF (44%)

- METAL - 400 SF (10%)
- BOARD AND BATTEN SIDING - 1,365 SF (34%)

BRICK - 2,271 SF (56%)

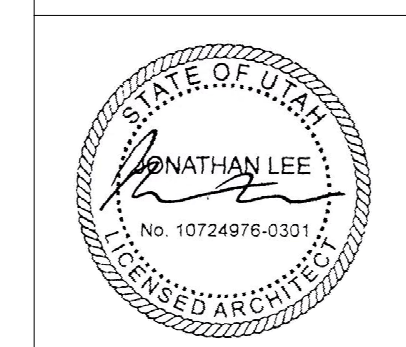
TOTAL - 4,036 SF



A2 BUILDING 08 - S. ELEVATION
SCALE: 1/8" = 1'-0"



A5 BUILDING 08 - W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:
R13 06/10/24 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 08 (16176 PIPELINE)
A208

// FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

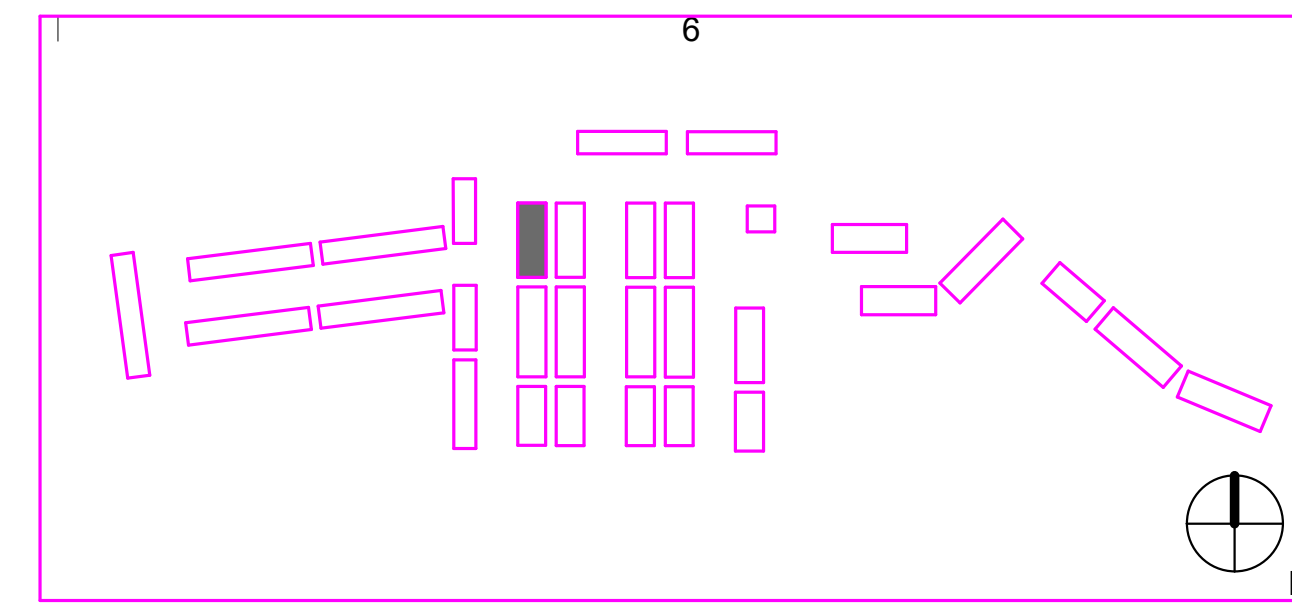
TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,354 SF (49%)

- BOARD AND BATTEN SIDING - 2,408 SF (35%)
- METAL - 946 SF (14%)

BRICK - 3,512 SF (51%)

TOTAL - 6,866 SF

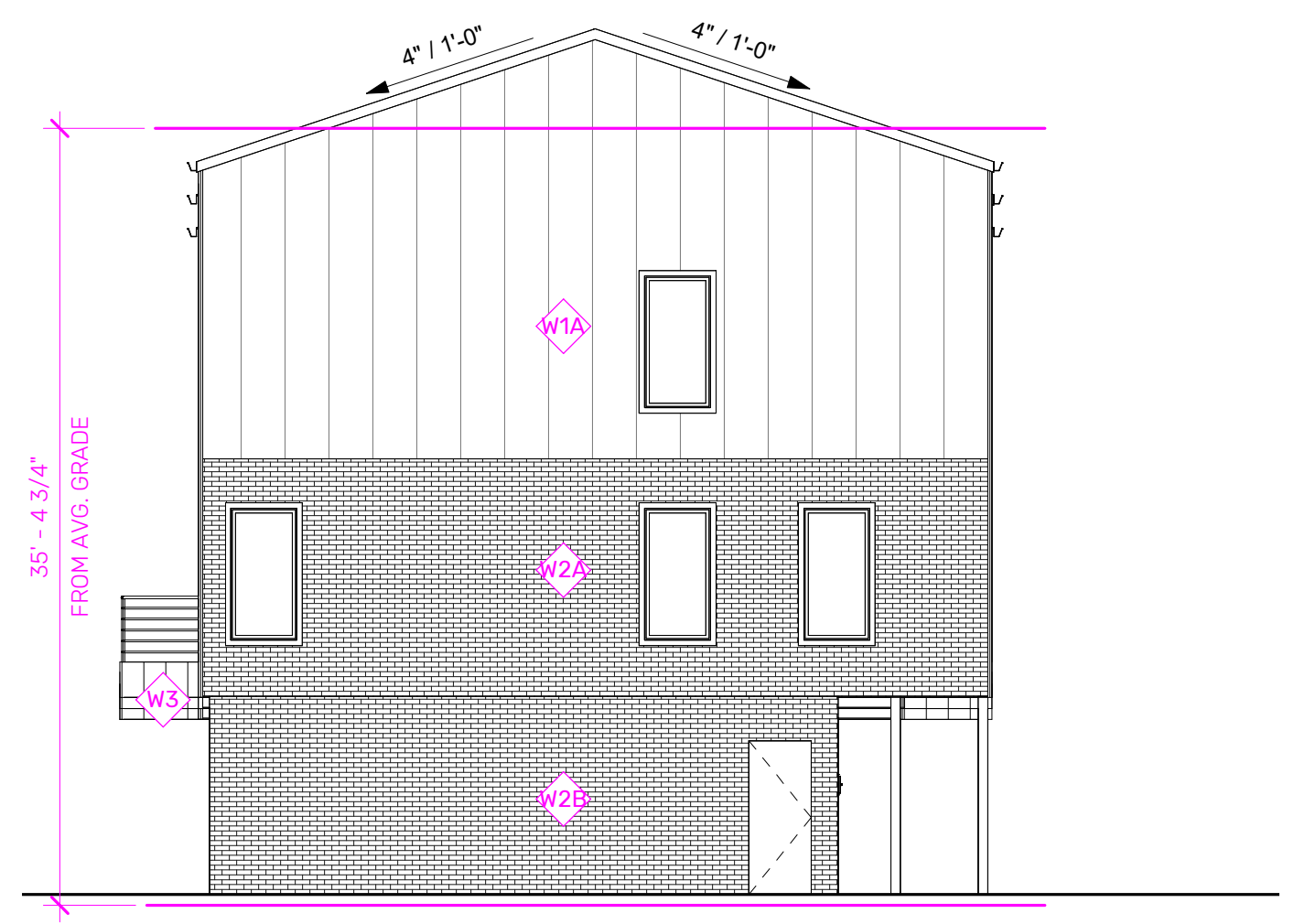


NON-BRICK MATERIALS - 562 SF (50%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 547 SF (49%)

BRICK - 564 SF (50%)

TOTAL - 1,126 SF



C2 BUILDING 09 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,238 SF (49%)

- BOARD AND BATTEN SIDING - 768 SF (30%)
- METAL - 470 SF (19%)

BRICK - 1,298 SF (51%)

TOTAL - 2,536 SF



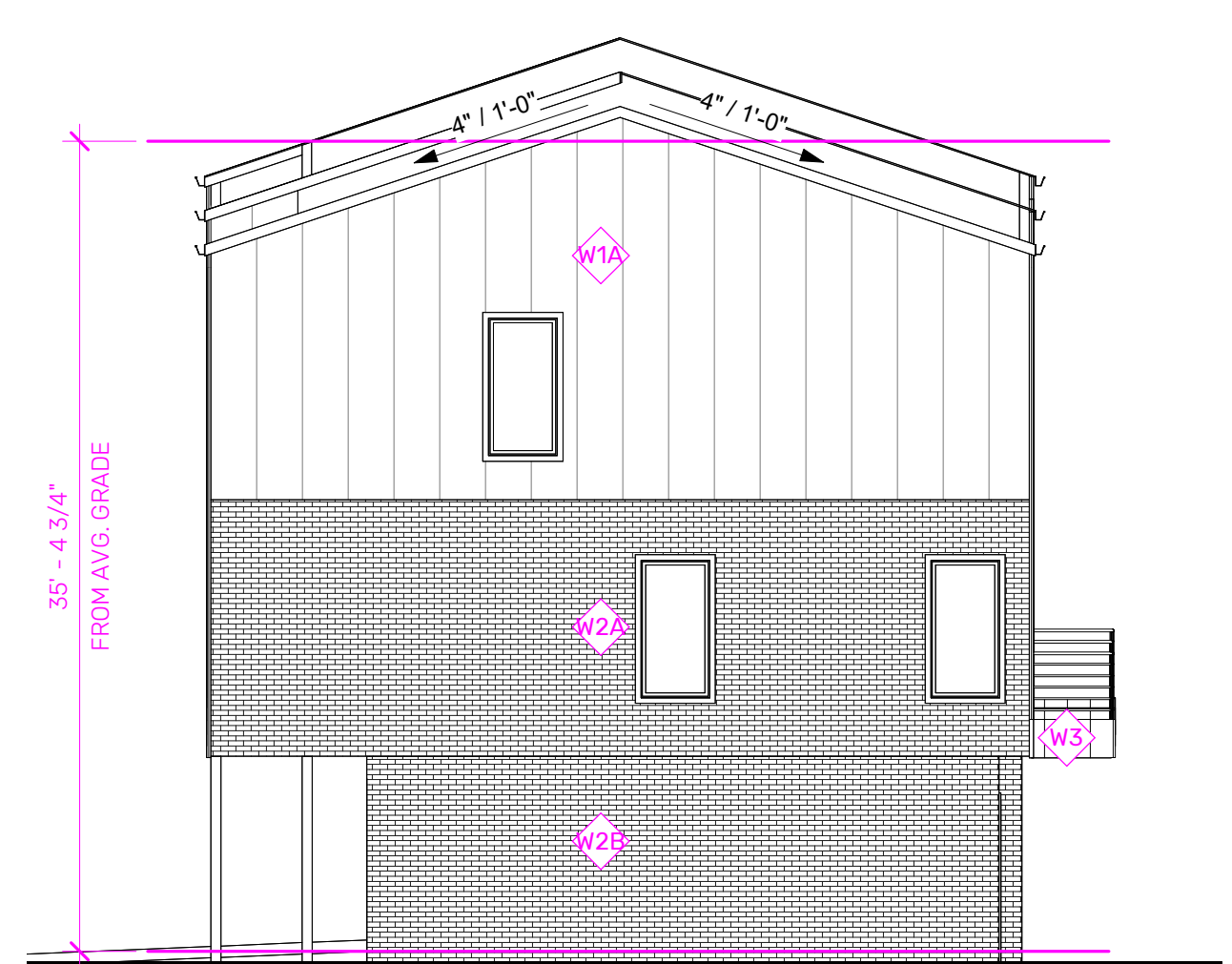
C5 BUILDING 09 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 496 SF (22%)

- METAL - 14 SF (1%)
- BOARD AND BATTEN SIDING - 482 SF (44%)

BRICK - 599 SF (55%)

TOTAL - 1,095 SF



A2 BUILDING 09 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,058 SF (50%)

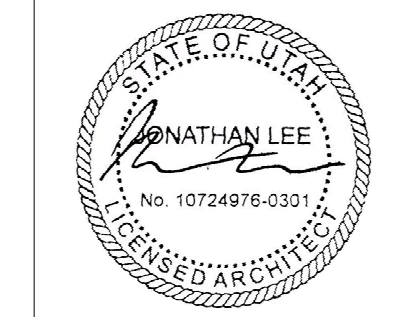
- BOARD AND BATTEN SIDING - 611 SF (29%)
- METAL - 447 SF (21%)

BRICK - 1,051 SF (50%)

TOTAL - 2,109 SF



A5 BUILDING 09 - W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:

R13: RFI 013 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES

Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS

DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 09 (16147 PIPELINE)

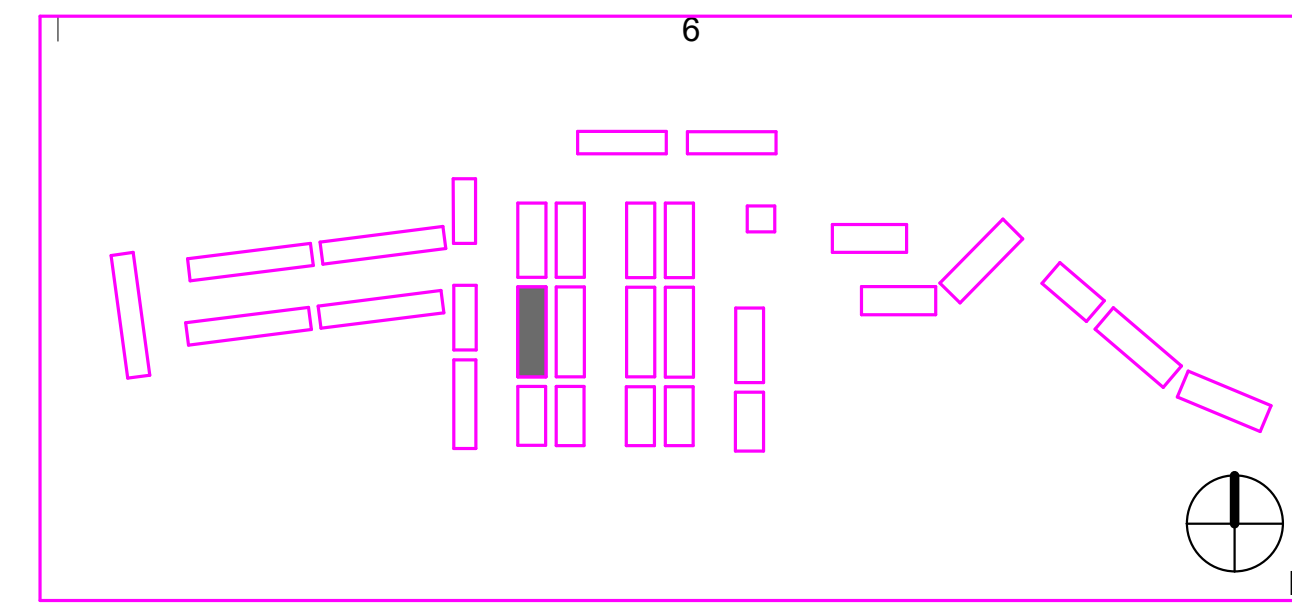
A209

// FINISH SCHEDULE

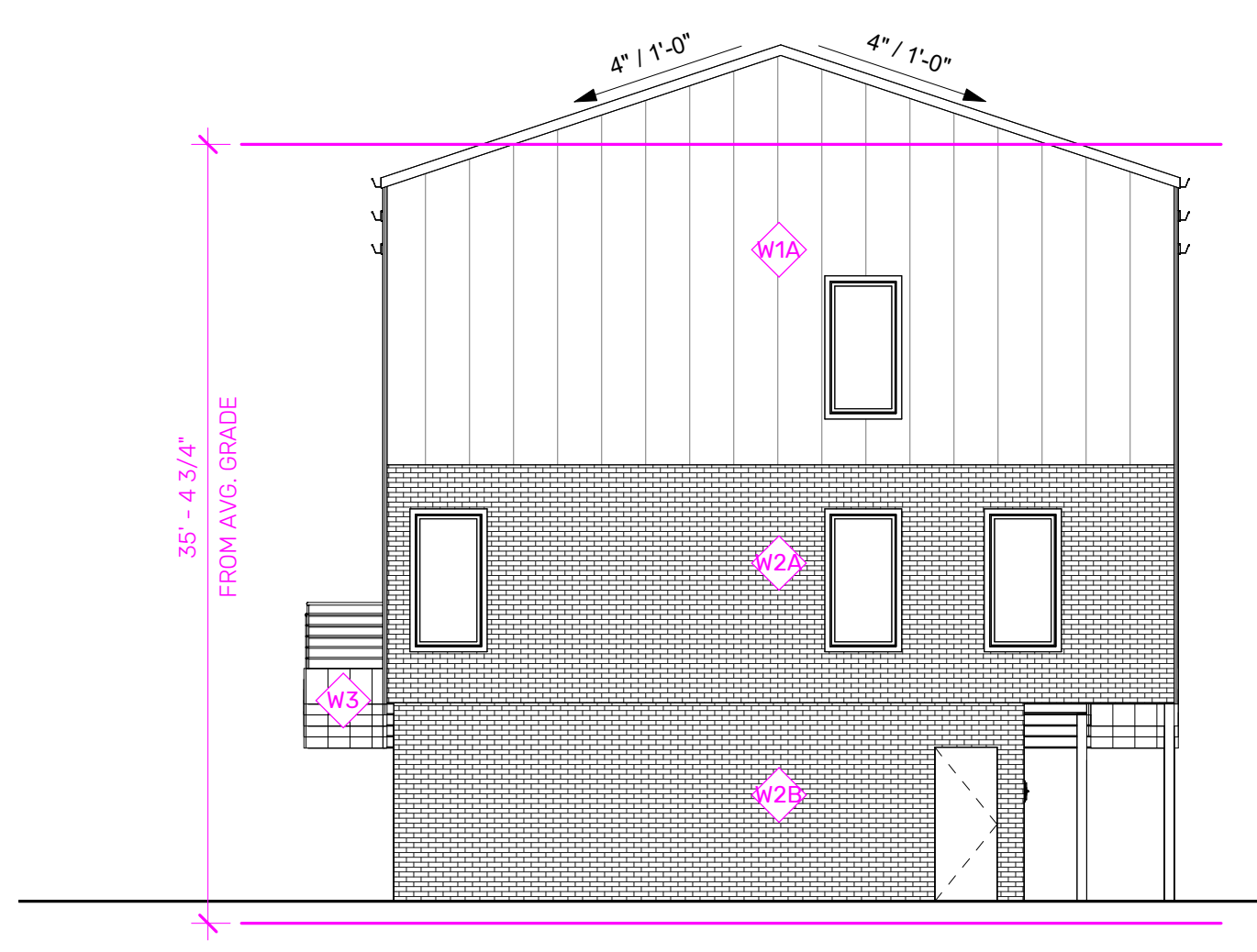
- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

- NON-BRICK MATERIALS - 3,319 SF (42%)
 - METAL - 1,140 SF (15%)
 - BOARD AND BATTEN SIDING - 2,179 SF (27%)
- BRICK - 4,547 SF (58%)
- TOTAL - 7,866 SF

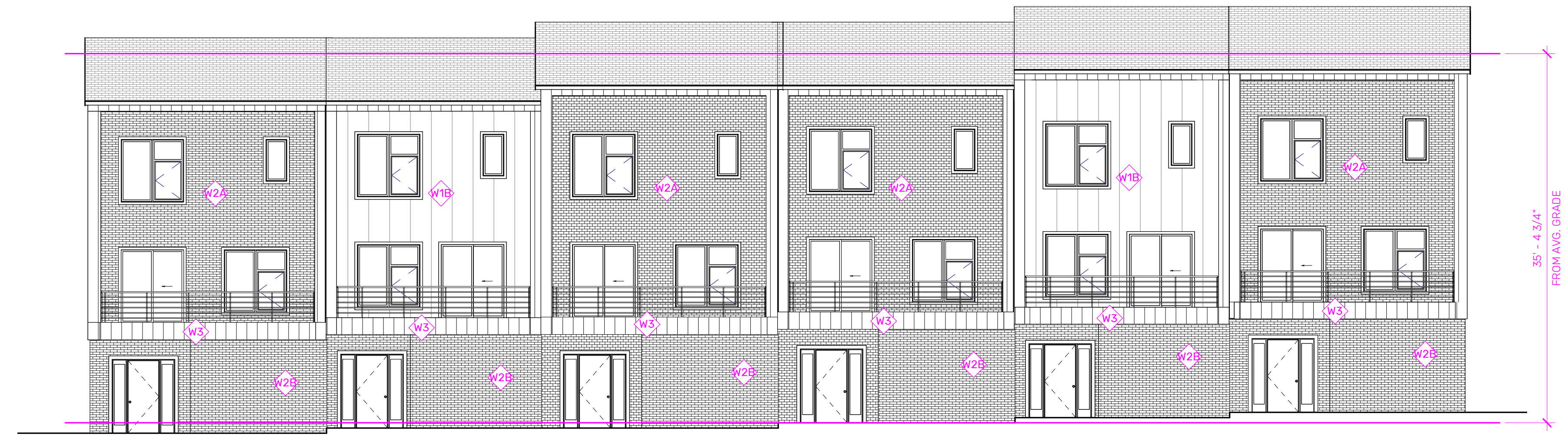


NON-BRICK MATERIALS - 551 SF (50%)
 • METAL - 15 SF (1%)
 • BOARD AND BATTEN SIDING - 536 SF (49%)
 BRICK - 557 SF (50%)
 TOTAL - 1,108 SF



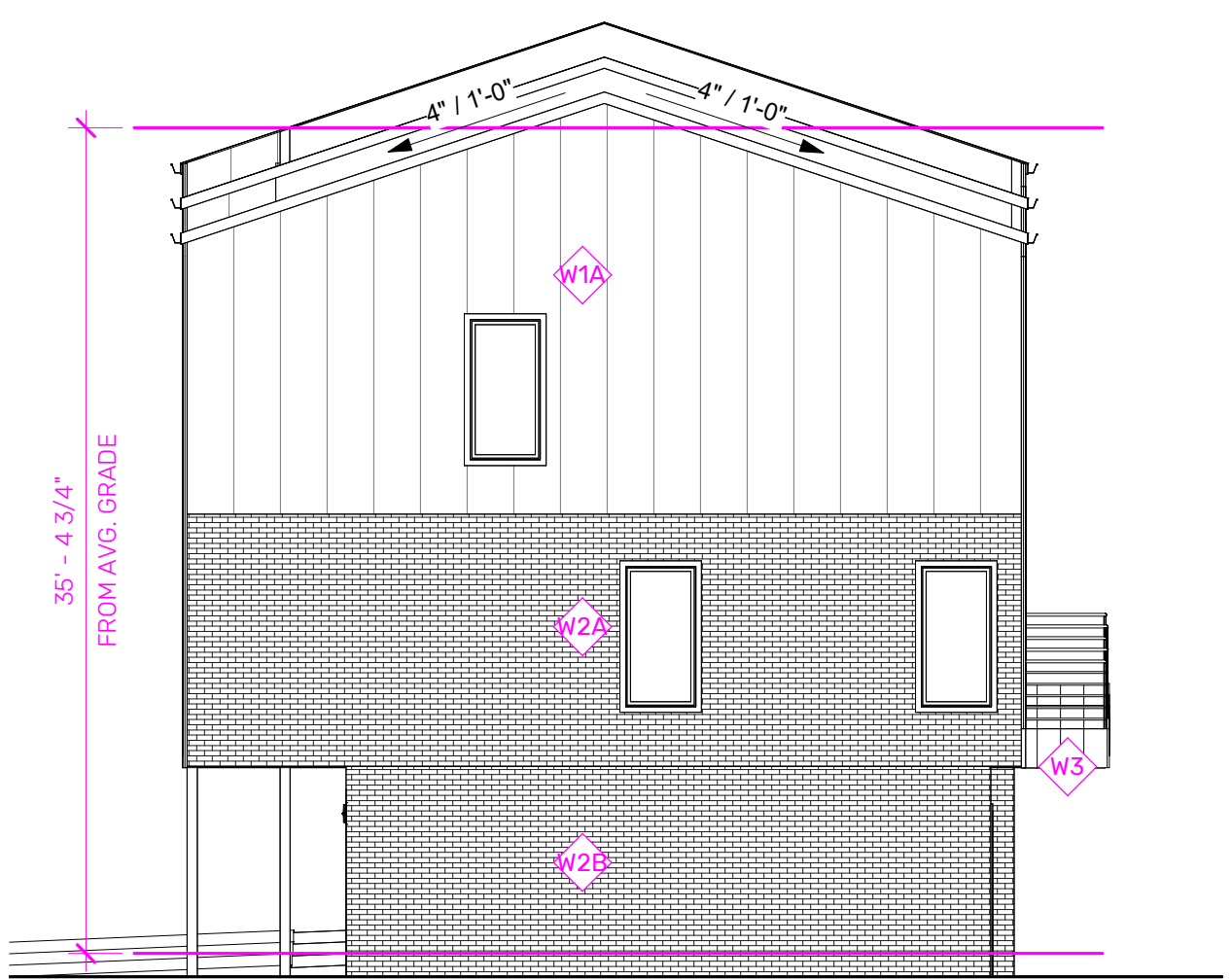
B1 BUILDING 10 - N. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,058 SF (34%)
 • METAL - 571 SF (18%)
 • BOARD AND BATTEN SIDING - 487 SF (16%)
 BRICK - 2,028 SF (66%)
 TOTAL - 3,086 SF



B5 BUILDING 10 - E. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 515 SF (46%)
 • METAL - 15 SF (1%)
 • BOARD AND BATTEN SIDING - 500 SF (45%)
 BRICK - 599 SF (54%)
 TOTAL - 1,114 SF

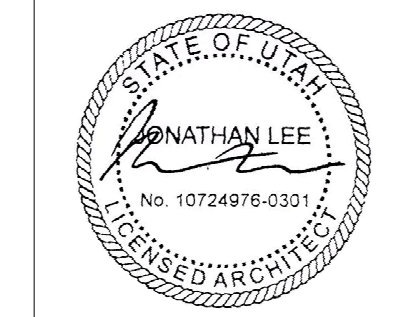


A1 BUILDING 10 - S. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,195 SF (47%)
 • METAL - 539 SF (21%)
 • BOARD AND BATTEN SIDING - 656 SF (26%)
 BRICK - 1,363 SF (53%)
 TOTAL - 2,558 SF



A5 BUILDING 10 - W. ELEVATION
 SCALE: 1/8" = 1'-0"



REVISIONS:
 #13 05/10/24 MAY 17, 2024

IKON TRAILSIDE TOWNHOMES
 Trailside Townhomes
 Draper, UT 84020

CONTRACT DOCUMENTS
 DATE: 06/04/2024
 NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 10 181519 PIPELINE
A210

FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

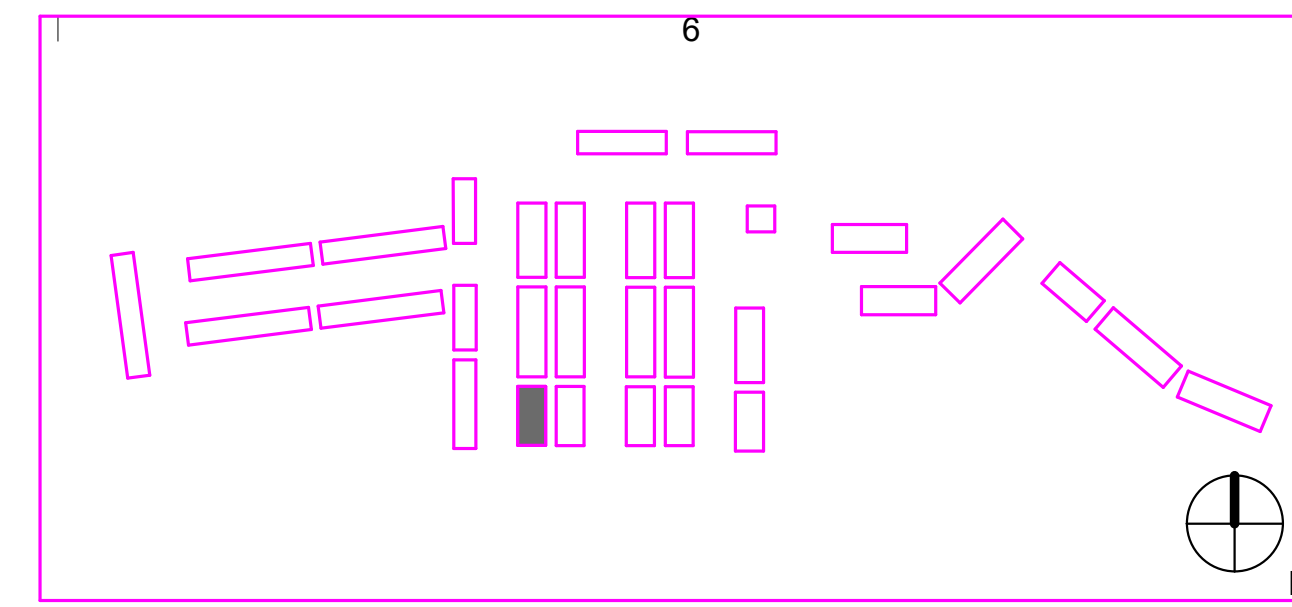
TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,564 SF (44%)

- METAL - 776 SF (13%)
- BOARD AND BATTEN SIDING - 1,788 SF (31%)

BRICK - 3,249 SF (56%)

TOTAL - 5,813 SF

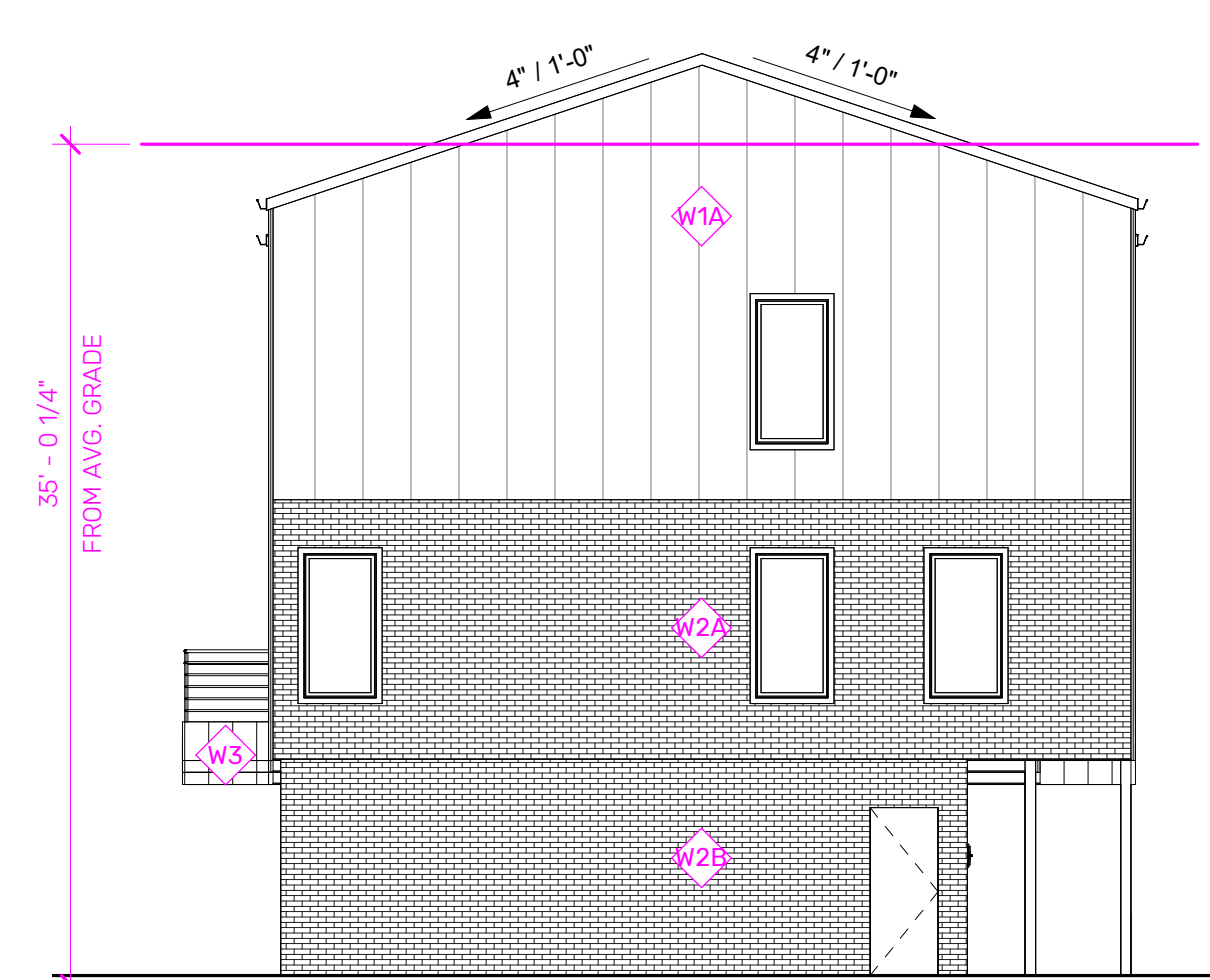


NON-BRICK MATERIALS - 533 SF (49%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 518 SF (48%)

BRICK - 557 SF (51%)

TOTAL - 1,090 SF



C3 BUILDING 11 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 839 SF (43%)

- METAL - 373 SF (19%)
- BOARD AND BATTEN SIDING - 466 SF (24%)

BRICK - 1,130 SF (57%)

TOTAL - 1,969 SF



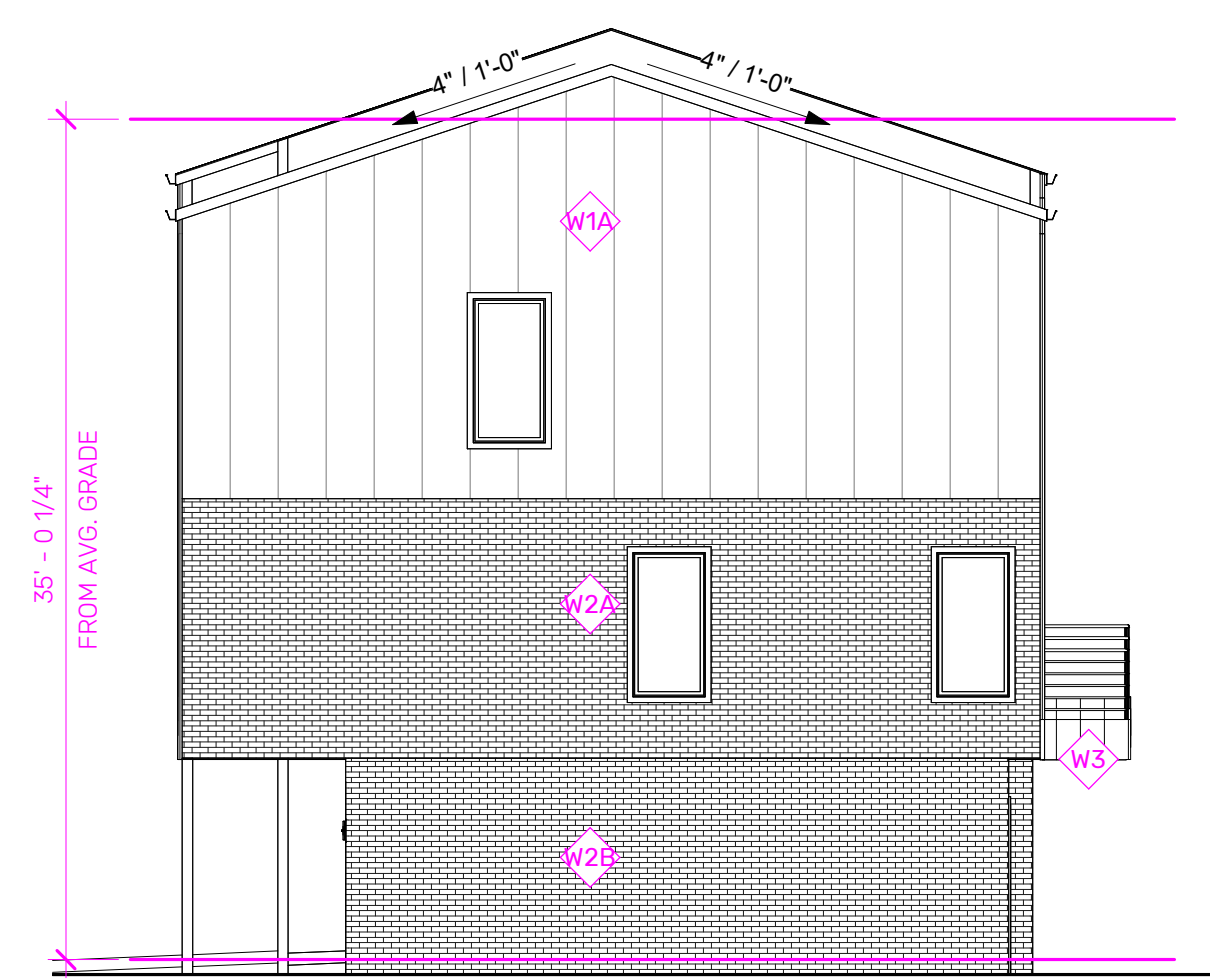
B5 BUILDING 11 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 515 SF (46%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 500 SF (45%)

BRICK - 599 SF (54%)

TOTAL - 1,114 SF



A3 BUILDING 11 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 677 SF (41%)

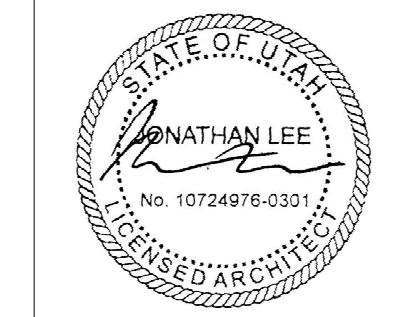
- METAL - 373 SF (23%)
- BOARD AND BATTEN SIDING - 304 SF (18%)

BRICK - 963 SF (59%)

TOTAL - 1,640 SF



A5 BUILDING 11 - W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:

R13 05/13/24 MAY 13, 2024

IKON TRAILSIDE TOWNHOMES

Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS

DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 11 (16177 PIPELINE)

A211

// FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,354 SF (49%)

- BOARD AND BATTEN SIDING - 2,408 SF (35%)
- METAL - 946 SF (14%)

BRICK - 3,512 SF (51%)

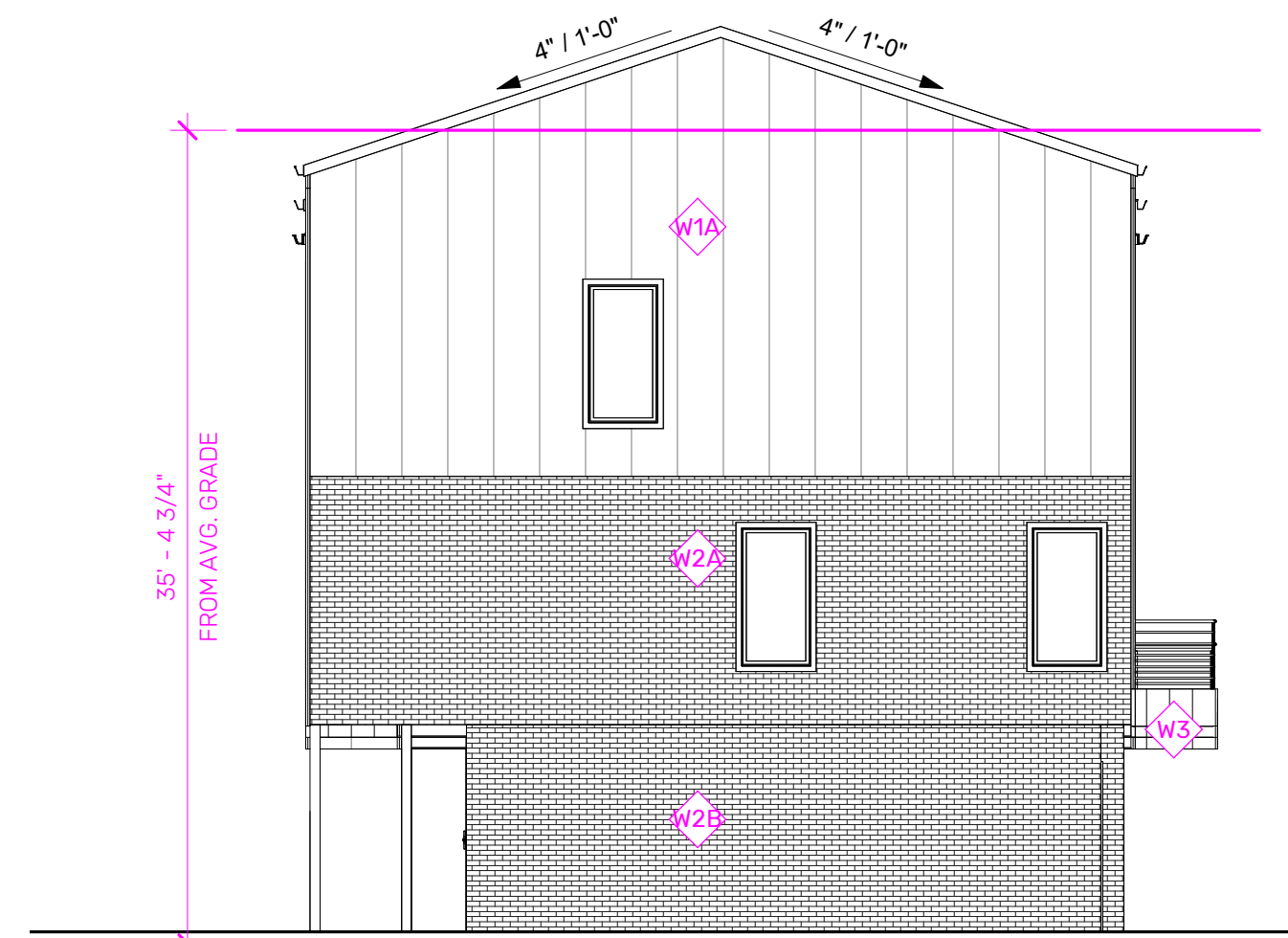
TOTAL - 6,866 SF

NON-BRICK MATERIALS - 562 SF (50%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 547 SF (49%)

BRICK - 564 SF (50%)

TOTAL - 1,126 SF



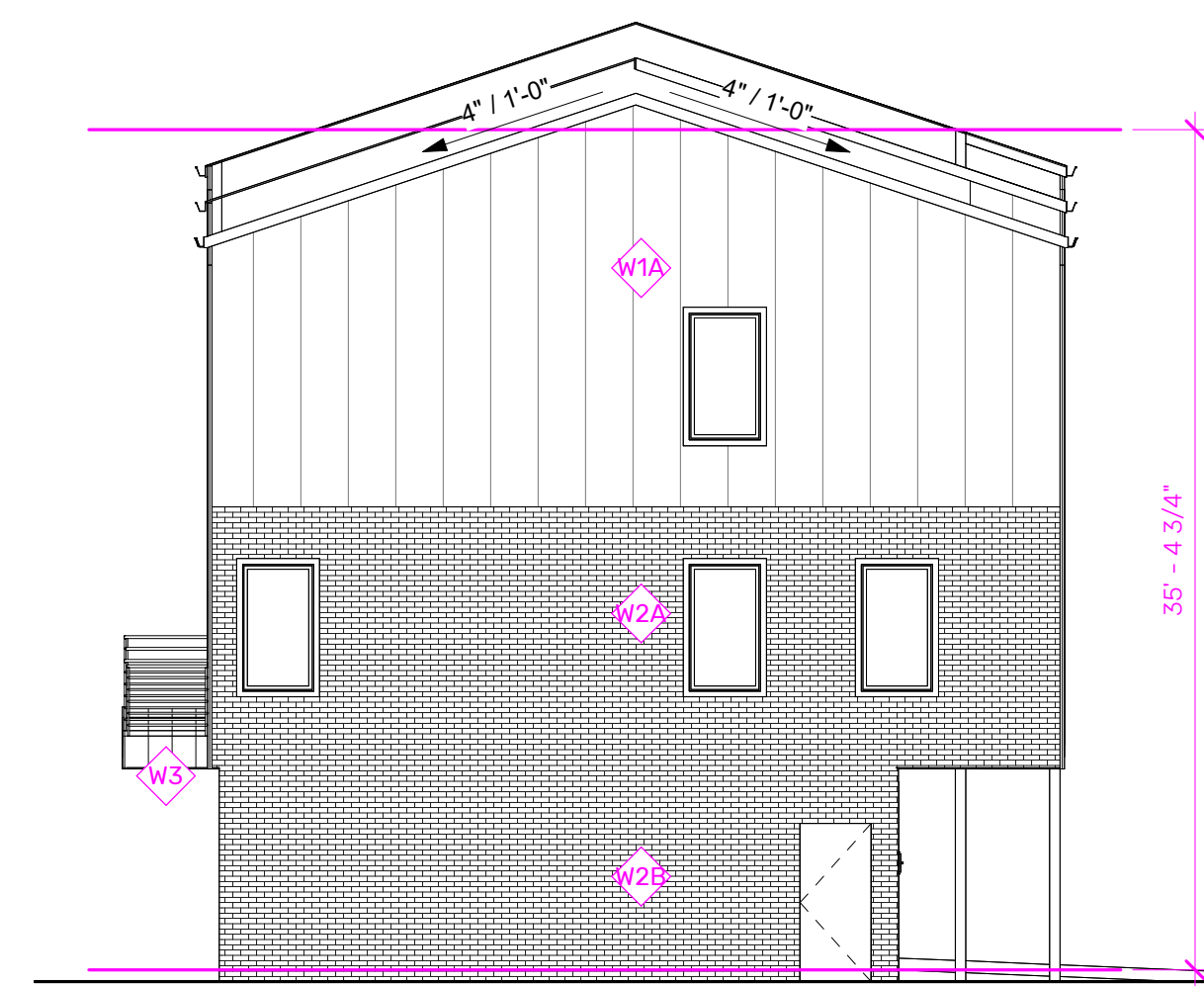
B2 BUILDING 12 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 496 SF (22%)

- METAL - 14 SF (1%)
- BOARD AND BATTEN SIDING - 482 SF (44%)

BRICK - 599 SF (55%)

TOTAL - 1,095 SF



A2 BUILDING 12 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,058 SF (50%)

- BOARD AND BATTEN SIDING - 611 SF (29%)
- METAL - 447 SF (21%)

BRICK - 1,051 SF (50%)

TOTAL - 2,109 SF



B5 BUILDING 12 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,238 SF (49%)

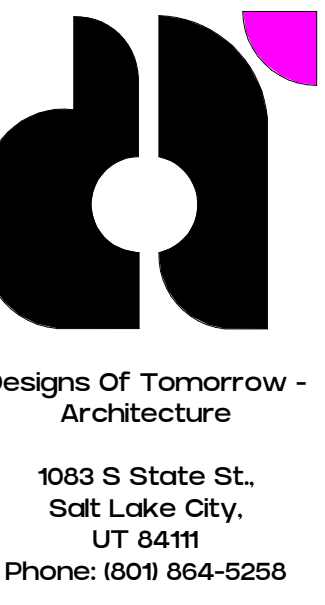
- BOARD AND BATTEN SIDING - 768 SF (30%)
- METAL - 470 SF (19%)

BRICK - 1,298 SF (51%)

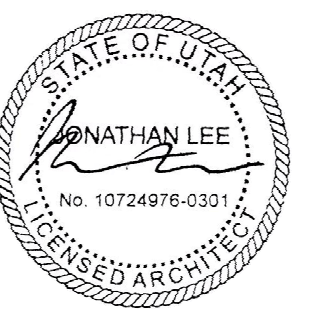
TOTAL - 2,536 SF



A5 BUILDING 12 - W. ELEVATION
SCALE: 1/8" = 1'-0"



Designs Of Tomorrow -
Architecture
1063 S State St.,
Salt Lake City,
UT 84111
Phone: (801) 864-5258



REVISIONS:
R13 05/10/24 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020
EXTERIOR ELEVATIONS -
BLDG 12 18132 LEVITATE
LANE

// FINISH SCHEDULE

- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,319 SF (42%)

- METAL - 1,140 SF (15%)
- BOARD AND BATTEN SIDING - 2,179 SF (27%)

BRICK - 4,547 SF (58%)

TOTAL - 7,866 SF

NON-BRICK MATERIALS - 551 SF (50%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 536 SF (49%)

BRICK - 557 SF (50%)

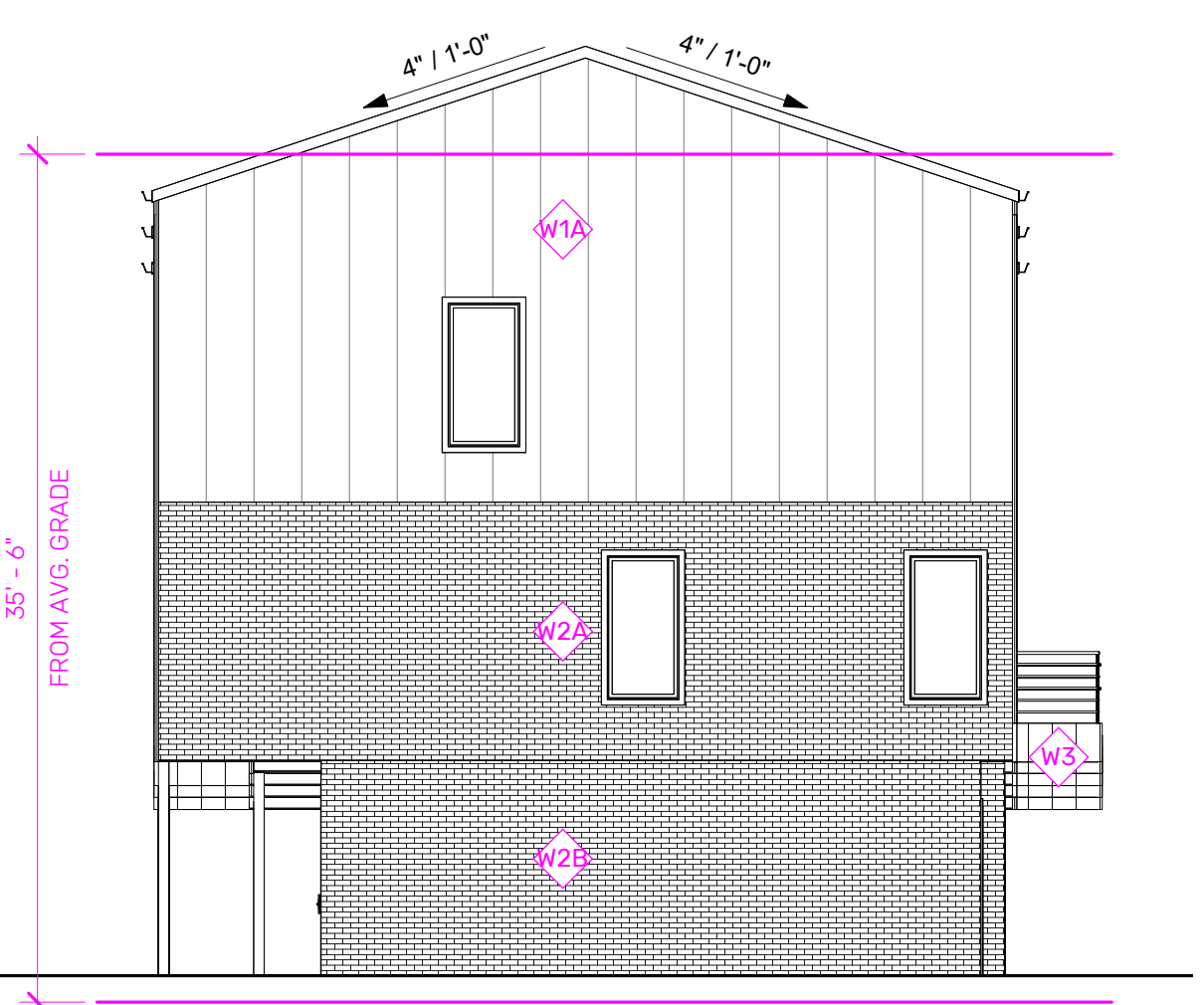
TOTAL - 1,108 SF

NON-BRICK MATERIALS - 1,058 SF (34%)

- METAL - 571 SF (18%)
- BOARD AND BATTEN SIDING - 487 SF (16%)

BRICK - 2,028 SF (66%)

TOTAL - 3,086 SF



B2 BUILDING 13 - N. ELEVATION
SCALE: 1/8" = 1'-0"



B5 BUILDING 13 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 515 SF (46%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 500 SF (45%)

BRICK - 599 SF (54%)

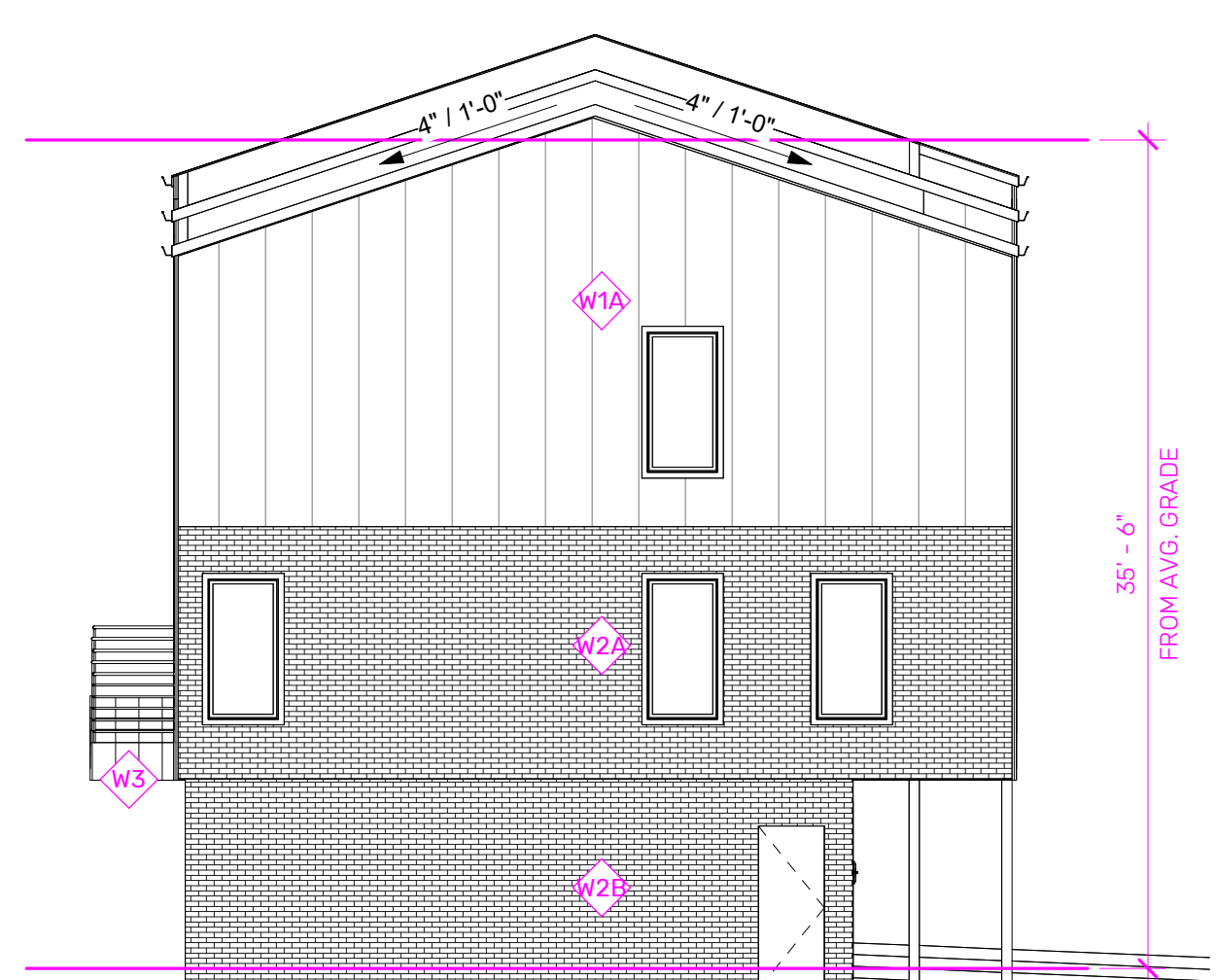
TOTAL - 1,114 SF

NON-BRICK MATERIALS - 1,195 SF (47%)

- METAL - 539 SF (21%)
- BOARD AND BATTEN SIDING - 656 SF (26%)

BRICK - 1,363 SF (53%)

TOTAL - 2,558 SF



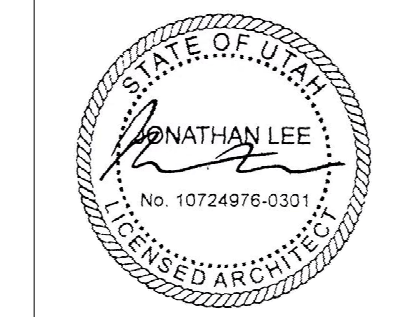
A2 BUILDING 13 - S. ELEVATION
SCALE: 1/8" = 1'-0"



A5 BUILDING 13 - W. ELEVATION
SCALE: 1/8" = 1'-0"



1063 S State St.
Salt Lake City,
UT 84111
Phone: (801) 864-5250



REVISIONS:
R13 R01/03 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020
EXTERIOR ELEVATIONS - BLDG 13 18154 LEVITATE LANE

A213

FINISH SCHEDULE

- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,564 SF (44%)

- METAL - 776 SF (13%)
- BOARD AND BATTEN SIDING - 1,788 SF (31%)

BRICK - 3,249 SF (56%)

TOTAL - 5,813 SF

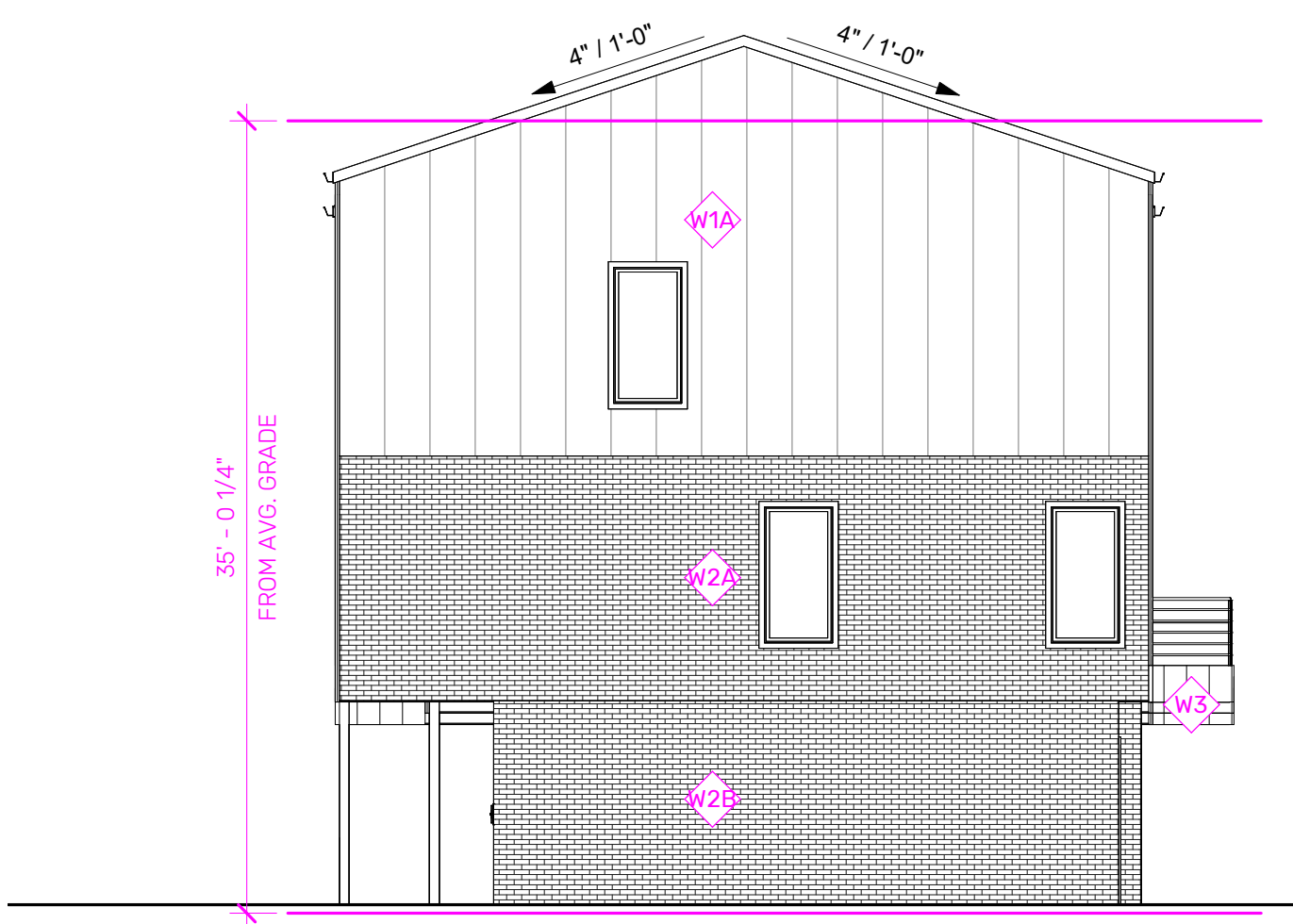


NON-BRICK MATERIALS - 533 SF (49%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 518 SF (48%)

BRICK - 557 SF (51%)

TOTAL - 1,090 SF



B2 BUILDING 14 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 839 SF (43%)

- METAL - 373 SF (19%)
- BOARD AND BATTEN SIDING - 466 SF (24%)

BRICK - 1,130 SF (57%)

TOTAL - 1,969 SF



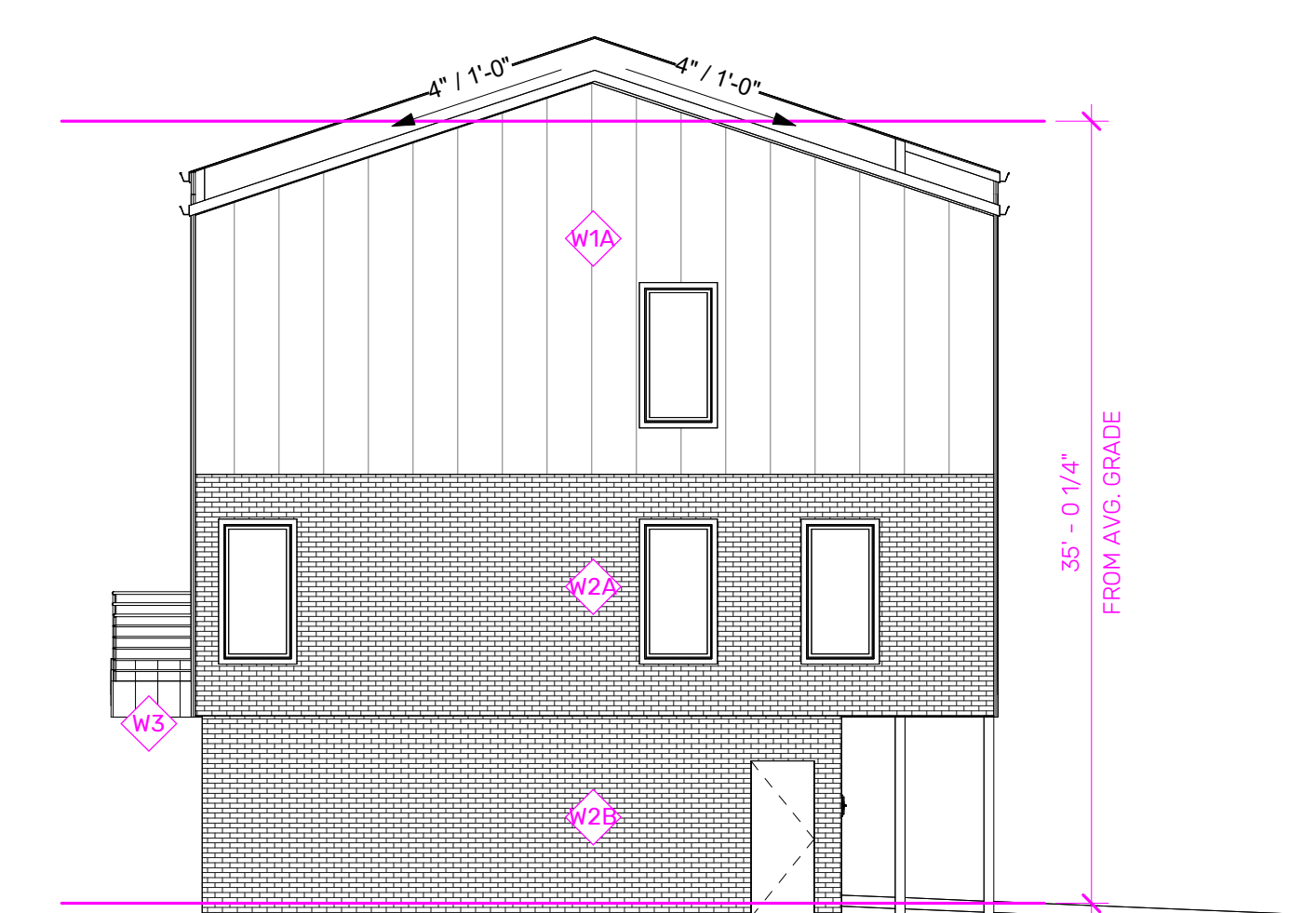
B5 BUILDING 14 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 515 SF (46%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 500 SF (45%)

BRICK - 599 SF (54%)

TOTAL - 1,114 SF



A2 BUILDING 14 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 677 SF (41%)

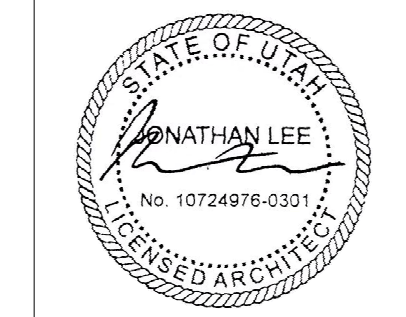
- METAL - 373 SF (23%)
- BOARD AND BATTEN SIDING - 304 SF (18%)

BRICK - 963 SF (59%)

TOTAL - 1,640 SF



A5 BUILDING 14 - W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:
R13 06/10/24 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020
EXTERIOR ELEVATIONS - BLDG 14 (18)168 LEVITATE LANE

FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

- NON-BRICK MATERIALS - 3,488 SF (47%)
- METAL - 807 SF (11%)
 - BOARD AND BATTEN SIDING - 2,681 SF (36%)
- BRICK - 3,885 SF (53%)
- TOTAL - 7,373 SF

NON-BRICK MATERIALS - 339 SF (46%)

- METAL - 15 SF (2%)
- BOARD AND BATTEN SIDING - 324 SF (44%)

BRICK - 394 SF (54%)

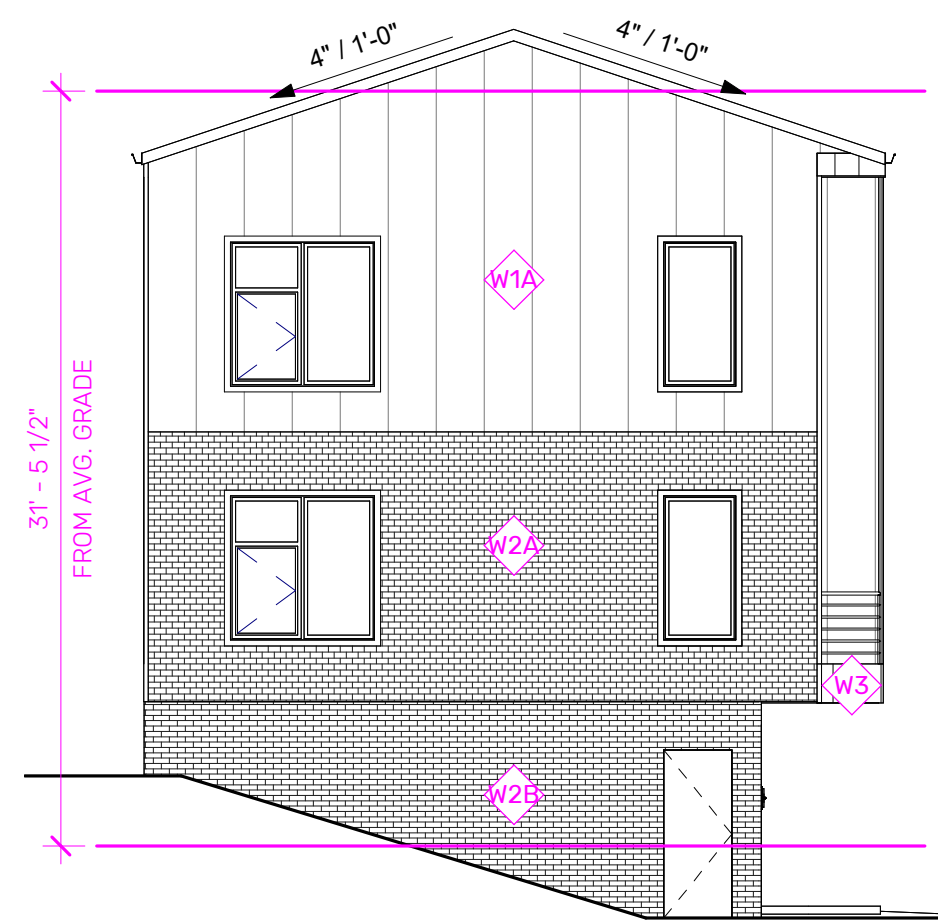
TOTAL - 733 SF

NON-BRICK MATERIALS - 1,721 SF (50%)

- METAL - 387 SF (11%)
- BOARD AND BATTEN SIDING - 1,334 SF (39%)

BRICK - 1,736 SF (50%)

TOTAL - 3,457 SF



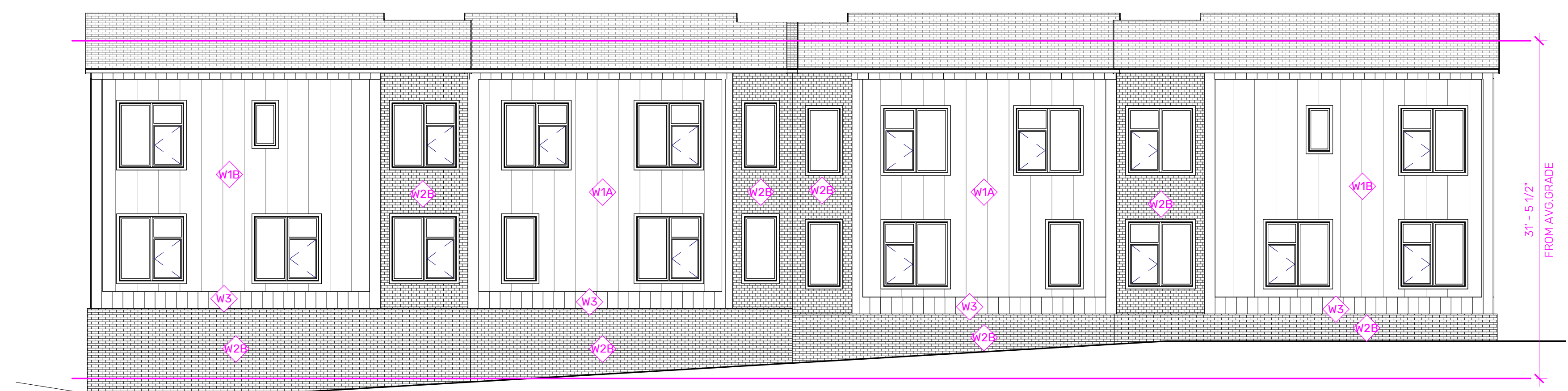
B2 BUILDING 15 - W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 325 SF (41%)

- METAL - 15 SF (2%)
- BOARD AND BATTEN SIDING - 310 SF (39%)

BRICK - 467 SF (59%)

TOTAL - 792 SF



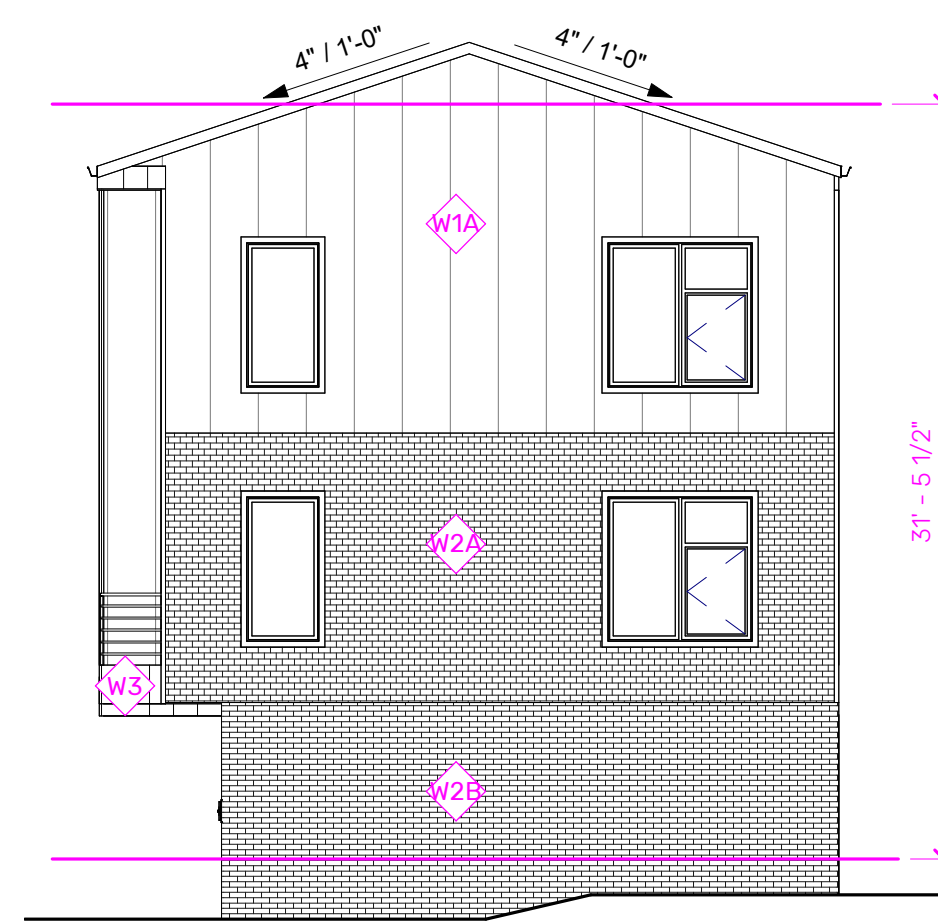
B5 BUILDING 15 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,103 SF (46%)

- METAL - 390 SF (16%)
- BOARD AND BATTEN SIDING - 713 SF (30%)

BRICK - 1,288 SF (54%)

TOTAL - 2,391 SF



A2 BUILDING 15 - E. ELEVATION
SCALE: 1/8" = 1'-0"



A5 BUILDING 15 - S. ELEVATION
SCALE: 1/8" = 1'-0"

FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,354 SF (49%)

- BOARD AND BATTEN SIDING - 2,408 SF (35%)
- METAL - 946 SF (14%)

BRICK - 3,512 SF (51%)

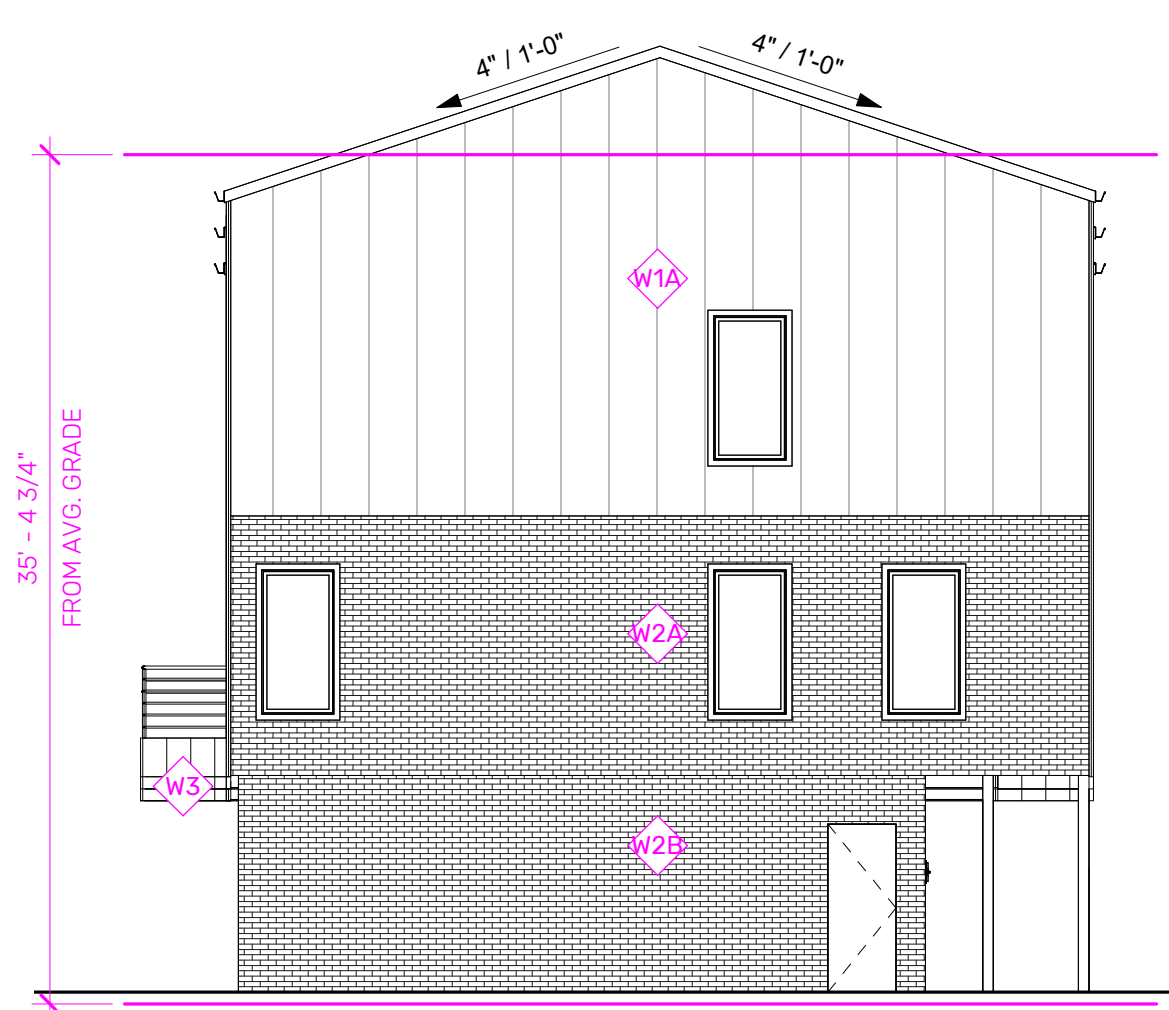
TOTAL - 6,866 SF

NON-BRICK MATERIALS - 562 SF (50%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 547 SF (49%)

BRICK - 564 SF (50%)

TOTAL - 1,126 SF



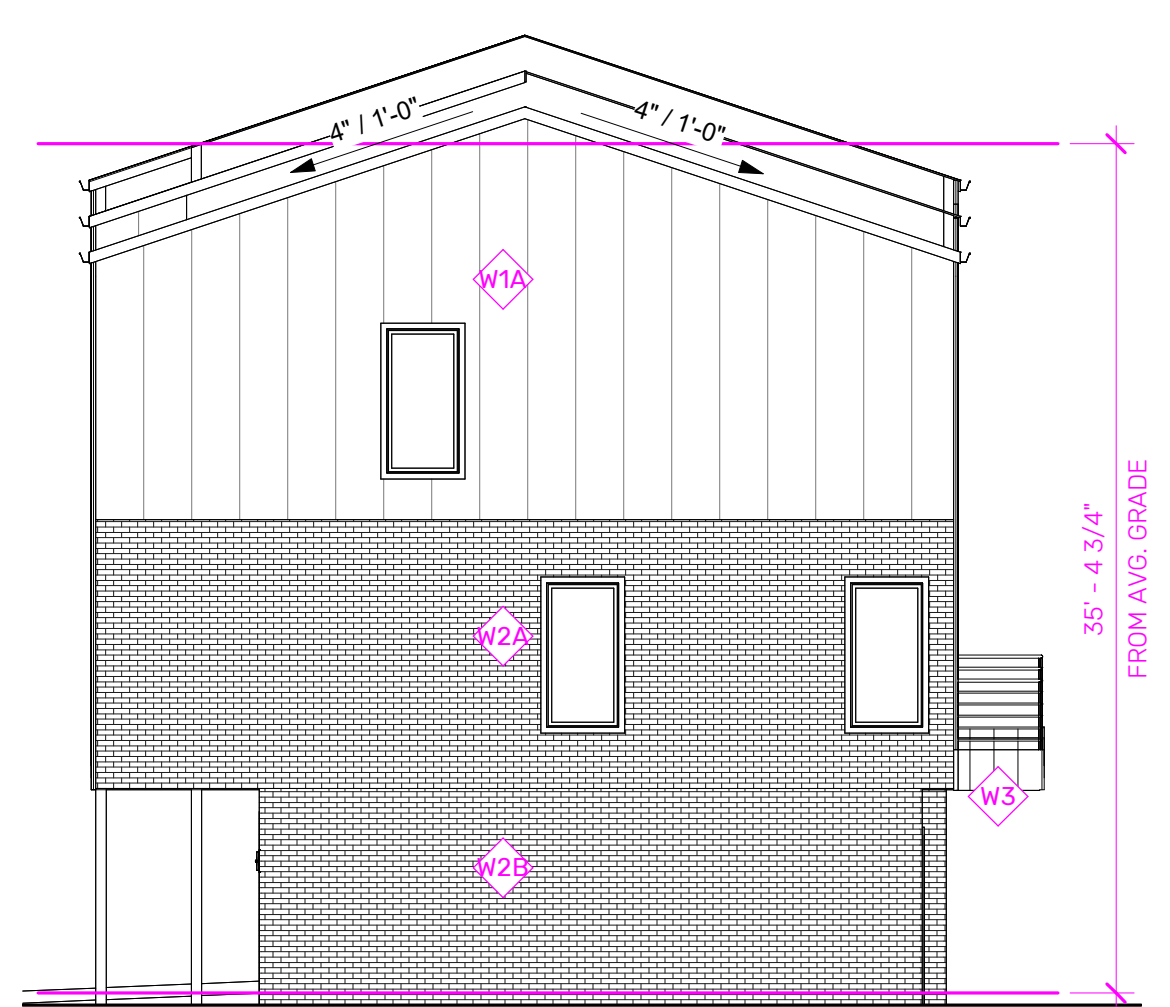
B2 BUILDING 16 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 496 SF (22%)

- METAL - 14 SF (1%)
- BOARD AND BATTEN SIDING - 482 SF (44%)

BRICK - 599 SF (55%)

TOTAL - 1,095 SF



A2 BUILDING 16 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,238 SF (49%)

- BOARD AND BATTEN SIDING - 768 SF (30%)
- METAL - 470 SF (19%)

BRICK - 1,298 SF (51%)

TOTAL - 2,536 SF



B5 BUILDING 16 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,058 SF (50%)

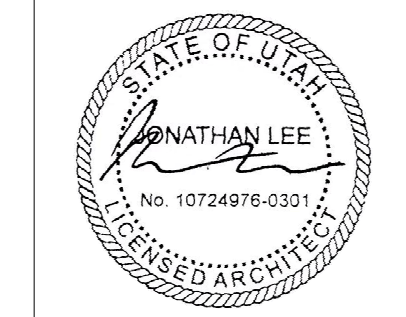
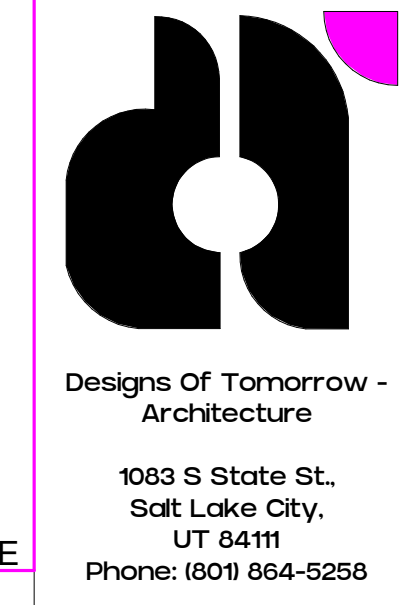
- BOARD AND BATTEN SIDING - 611 SF (29%)
- METAL - 447 SF (21%)

BRICK - 1,051 SF (50%)

TOTAL - 2,109 SF



A5 BUILDING 16 - W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:
R13 05/10/24 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020
EXTERIOR ELEVATIONS - BLDG 16 (16133 LEVITATE LANE)

// FINISH SCHEDULE

- W1A: WALL FINISH 1A: - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: - BREAK METAL
- R1: ROOF FINISH: - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,319 SF (42%)

- METAL - 1,140 SF (15%)
- BOARD AND BATTEN SIDING - 2,179 SF (27%)

BRICK - 4,547 SF (58%)

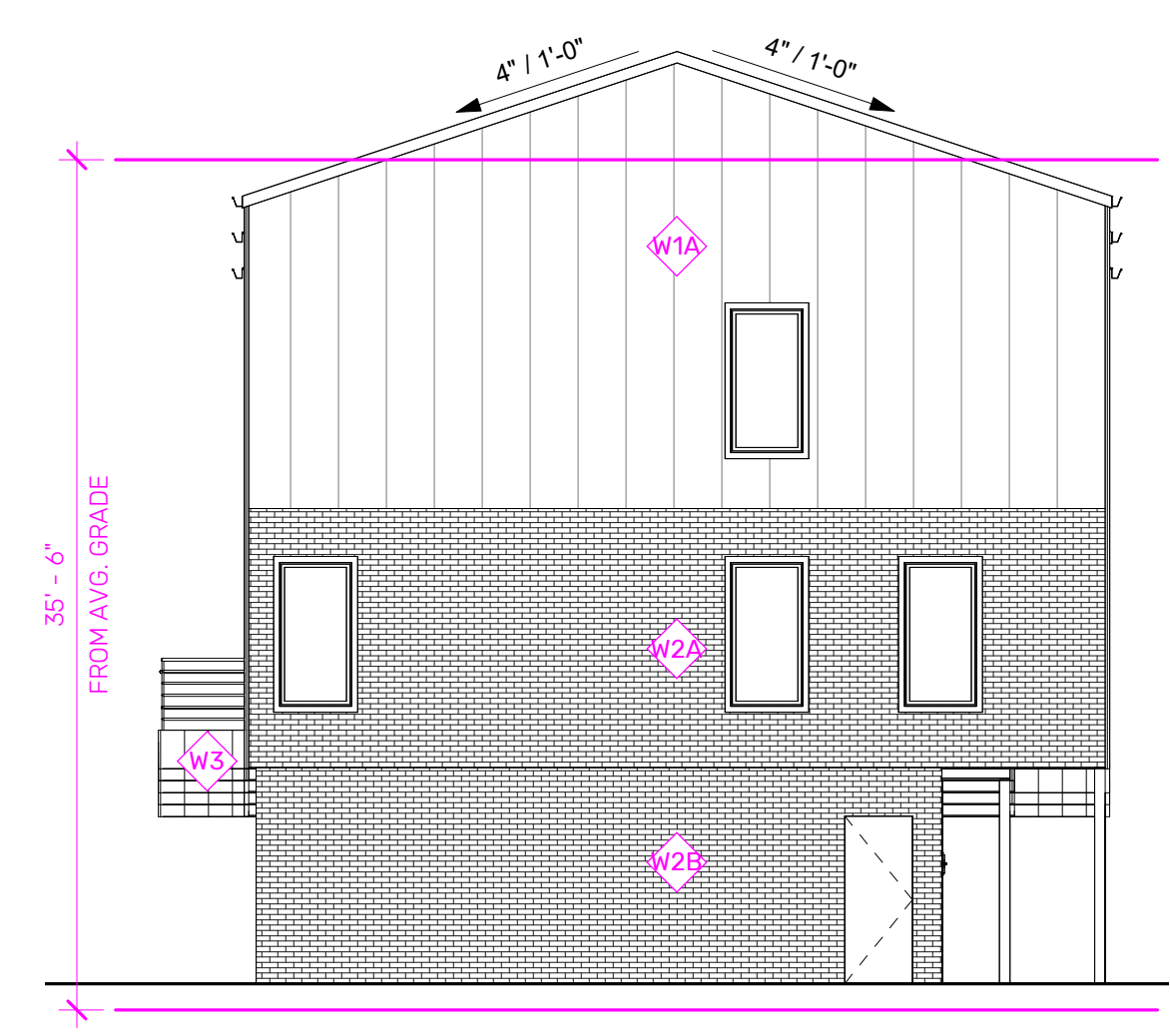
TOTAL - 7,866 SF

NON-BRICK MATERIALS - 551 SF (50%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 536 SF (49%)

BRICK - 557 SF (50%)

TOTAL - 1,108 SF



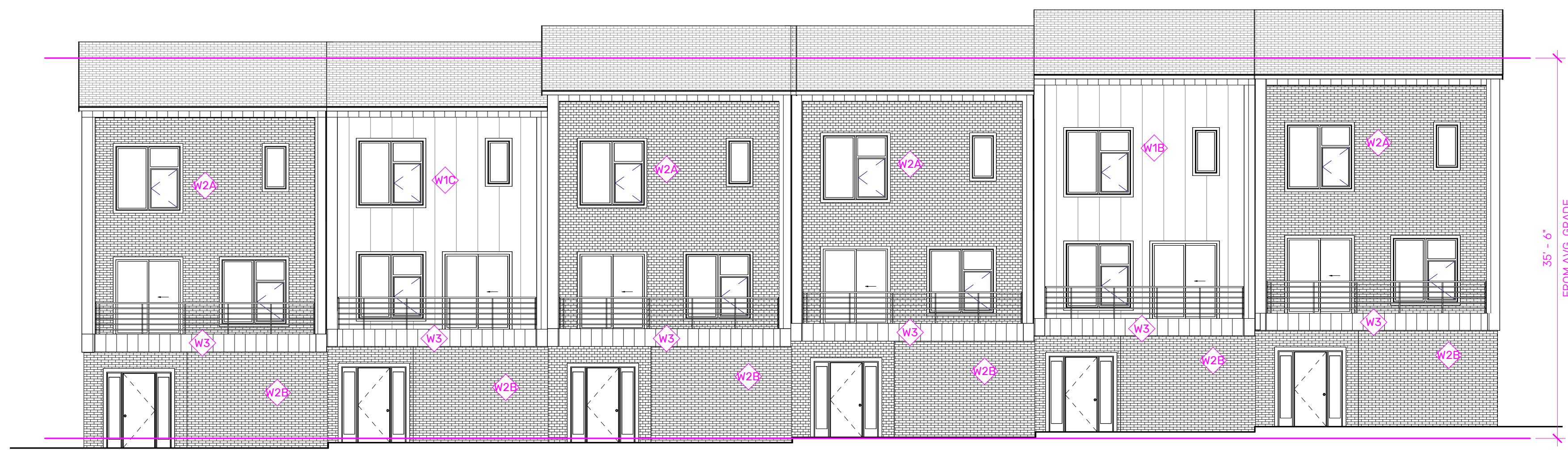
B2 BUILDING 17 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,058 SF (34%)

- METAL - 571 SF (18%)
- BOARD AND BATTEN SIDING - 487 SF (16%)

BRICK - 2,028 SF (66%)

TOTAL - 3,086 SF



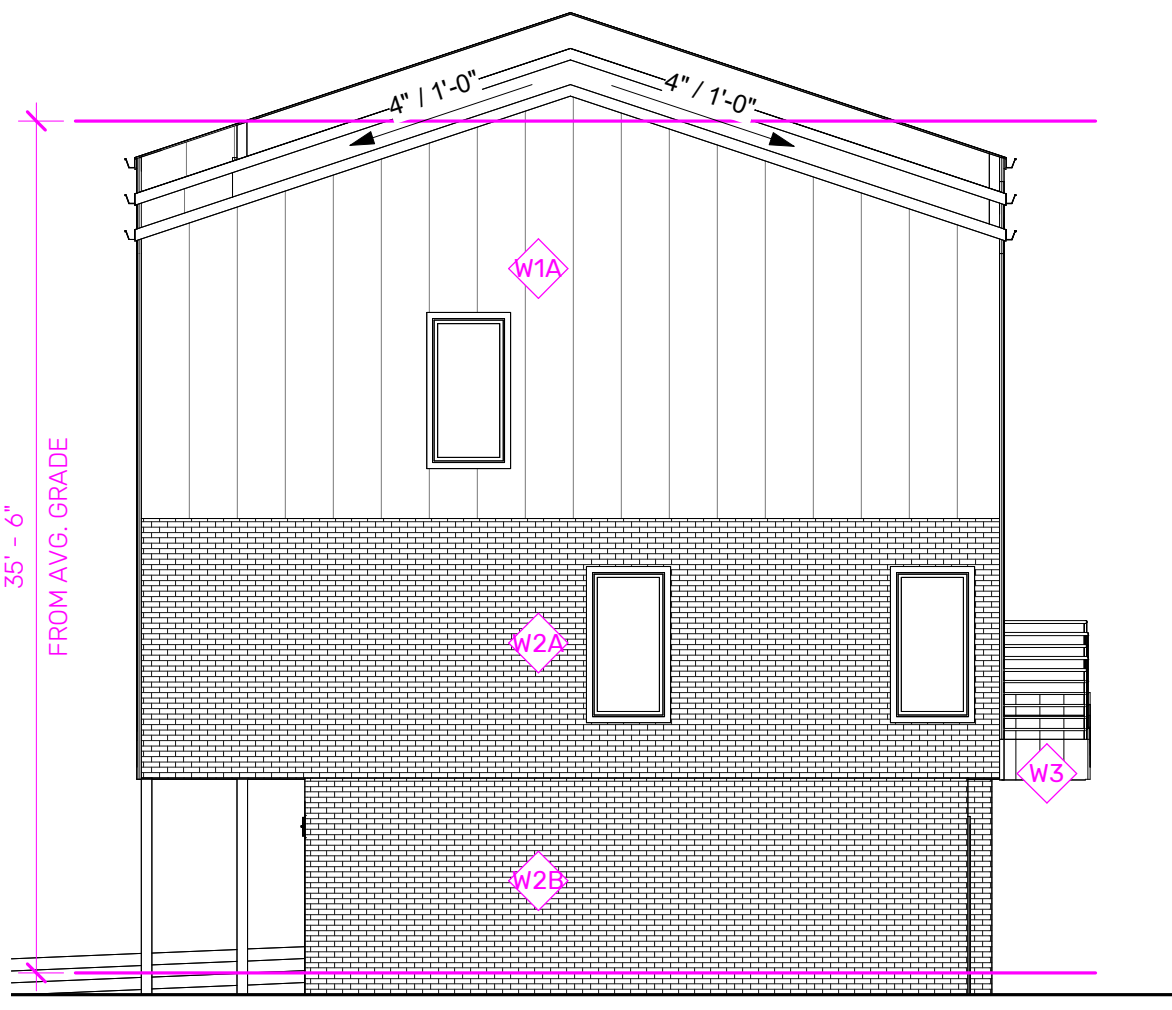
B5 BUILDING 17 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 515 SF (46%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 500 SF (45%)

BRICK - 599 SF (54%)

TOTAL - 1,114 SF



A2 BUILDING 17 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,195 SF (47%)

- METAL - 539 SF (21%)
- BOARD AND BATTEN SIDING - 656 SF (26%)

BRICK - 1,363 SF (53%)

TOTAL - 2,558 SF



A5 BUILDING 17 - W. ELEVATION
SCALE: 1/8" = 1'-0"



Designs Of Tomorrow - Architecture
1063 S State St.
Salt Lake City, UT 84111
Phone: (801) 864-5258



REVISIONS:
R13 RFI/13 MAY 17, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020
EXTERIOR ELEVATIONS - BLDG 17 (16)57 LEVITATE LANE

FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

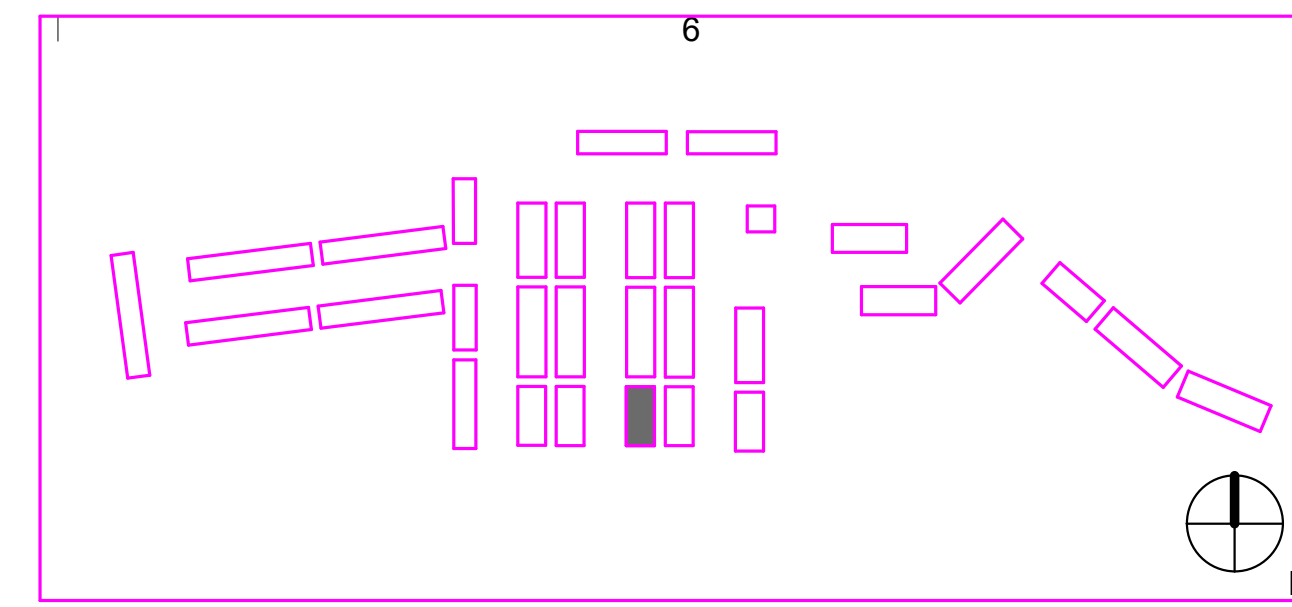
TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,564 SF (44%)

- METAL - 776 SF (13%)
- BOARD AND BATTEN SIDING - 1,788 SF (31%)

BRICK - 3,249 SF (56%)

TOTAL - 5,813 SF



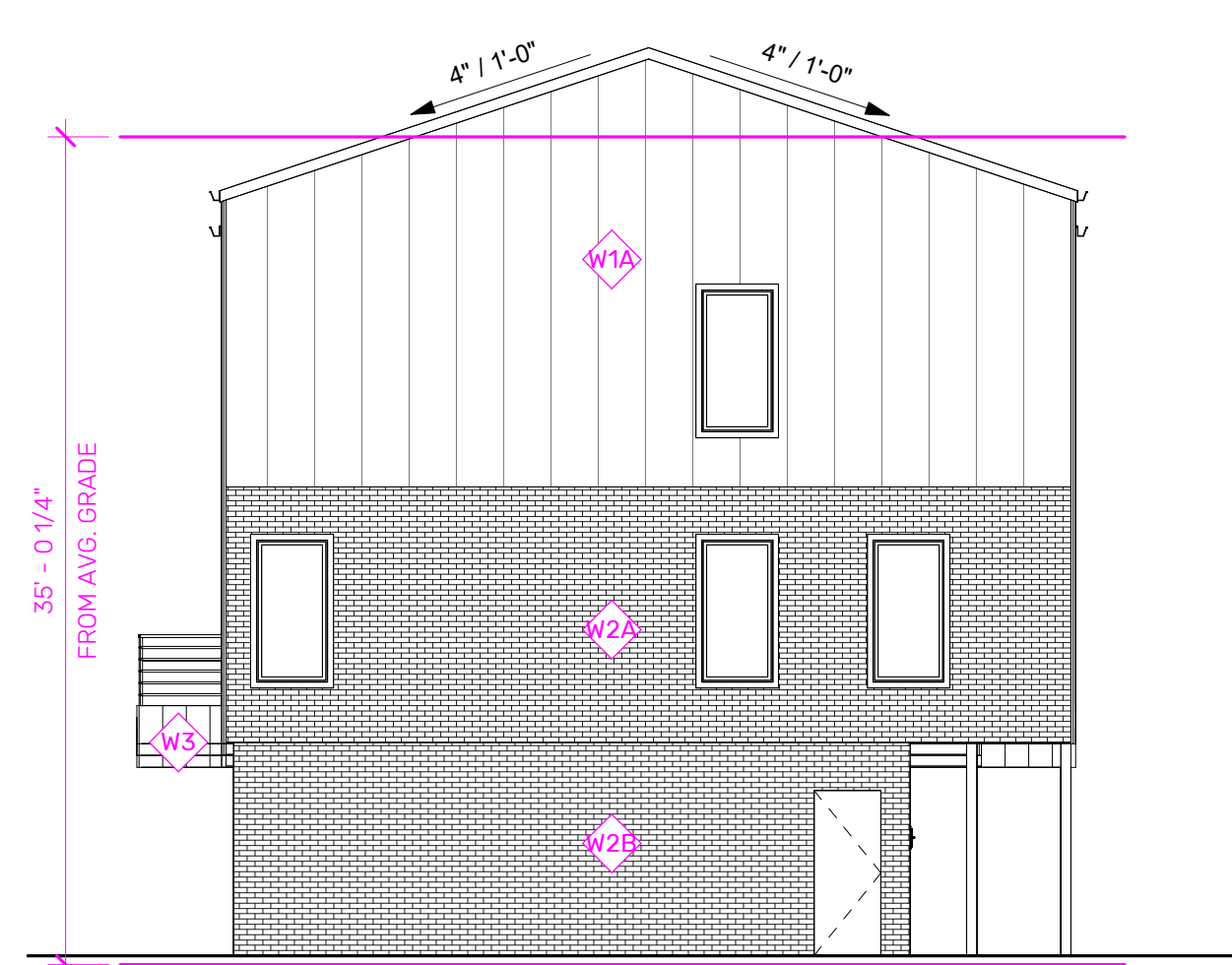
Designs Of Tomorrow - Architecture
 1063 S State St.
 Salt Lake City, UT 84111
 Phone: (801) 864-5250

NON-BRICK MATERIALS - 533 SF (49%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 518 SF (48%)

BRICK - 557 SF (51%)

TOTAL - 1,090 SF



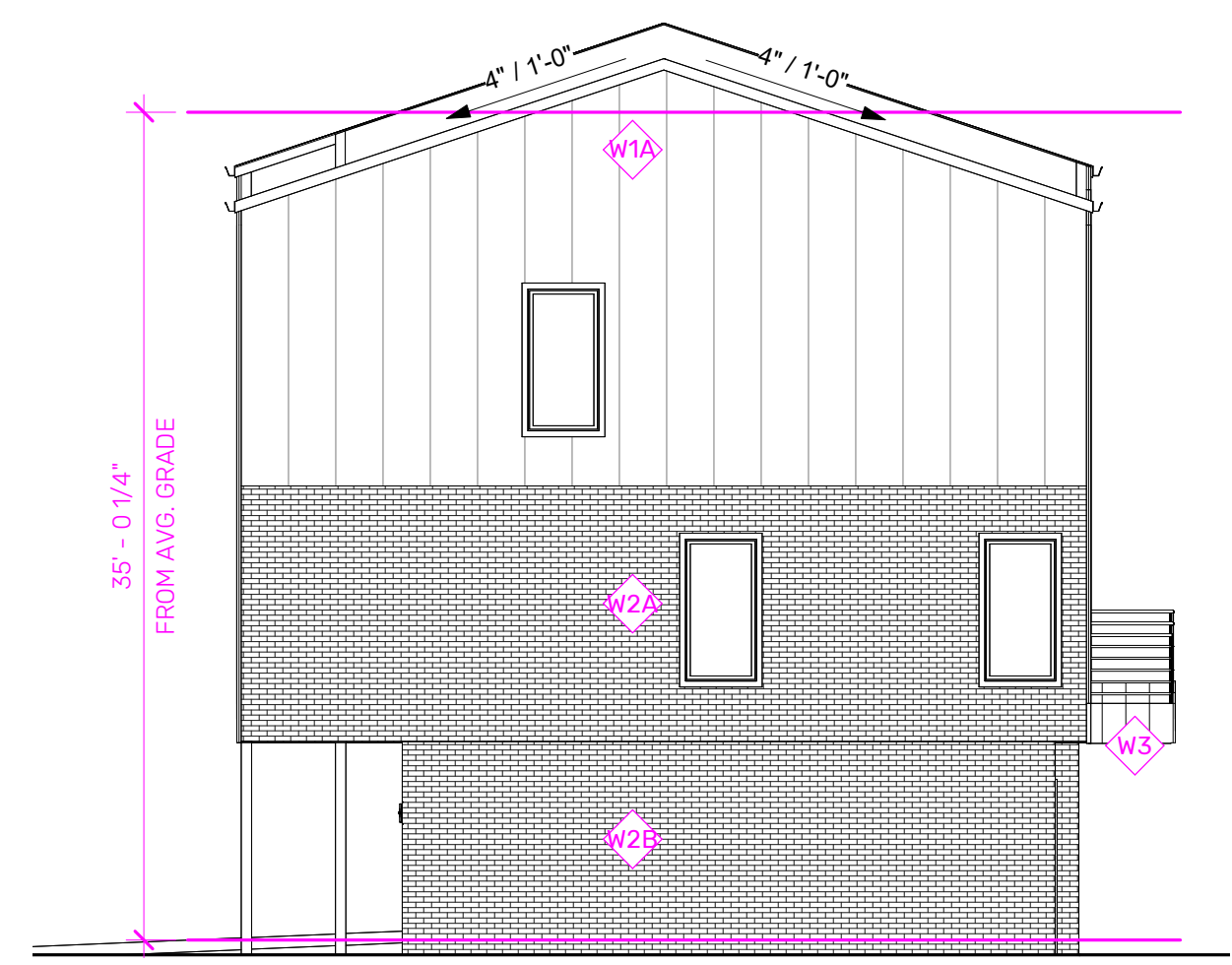
B3 BUILDING 18 - N. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 515 SF (46%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 500 SF (45%)

BRICK - 599 SF (54%)

TOTAL - 1,114 SF



A3 BUILDING 18 - S. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 839 SF (43%)

- METAL - 373 SF (19%)
- BOARD AND BATTEN SIDING - 466 SF (24%)

BRICK - 1,130 SF (57%)

TOTAL - 1,969 SF



B5 BUILDING 18 - E. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 677 SF (41%)

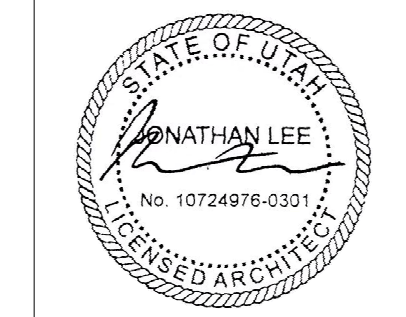
- METAL - 373 SF (23%)
- BOARD AND BATTEN SIDING - 304 SF (18%)

BRICK - 963 SF (59%)

TOTAL - 1,640 SF



A5 BUILDING 18 - W. ELEVATION
 SCALE: 1/8" = 1'-0"



REVISIONS:

R13 R01/03 MAY 17, 2024

IKON TRAILSIDE TOWNHOMES
 Trailside Townhomes
 Draper, UT 84020

CONTRACT DOCUMENTS
 DATE: 06/04/2024
 NUMBER: 21020
 EXTERIOR ELEVATIONS - BLDG 18 181919 LEVITATE LANE

// FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

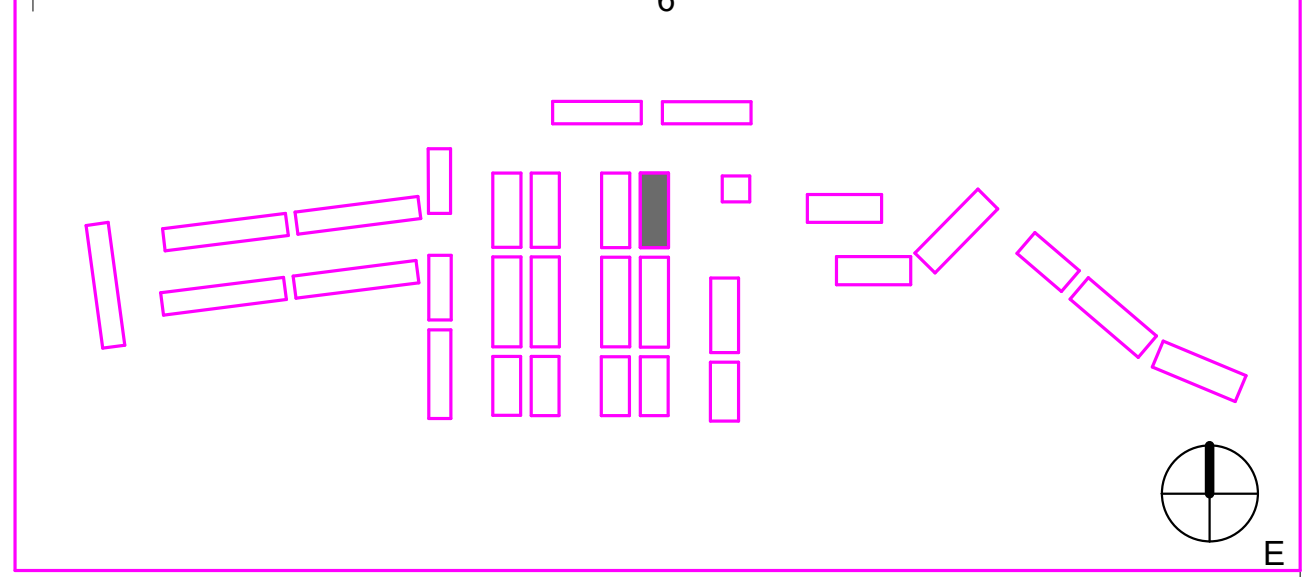
TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,354 SF (49%)

- BOARD AND BATTEN SIDING - 2,408 SF (35%)
- METAL - 946 SF (14%)

BRICK - 3,512 SF (51%)

TOTAL - 6,866 SF

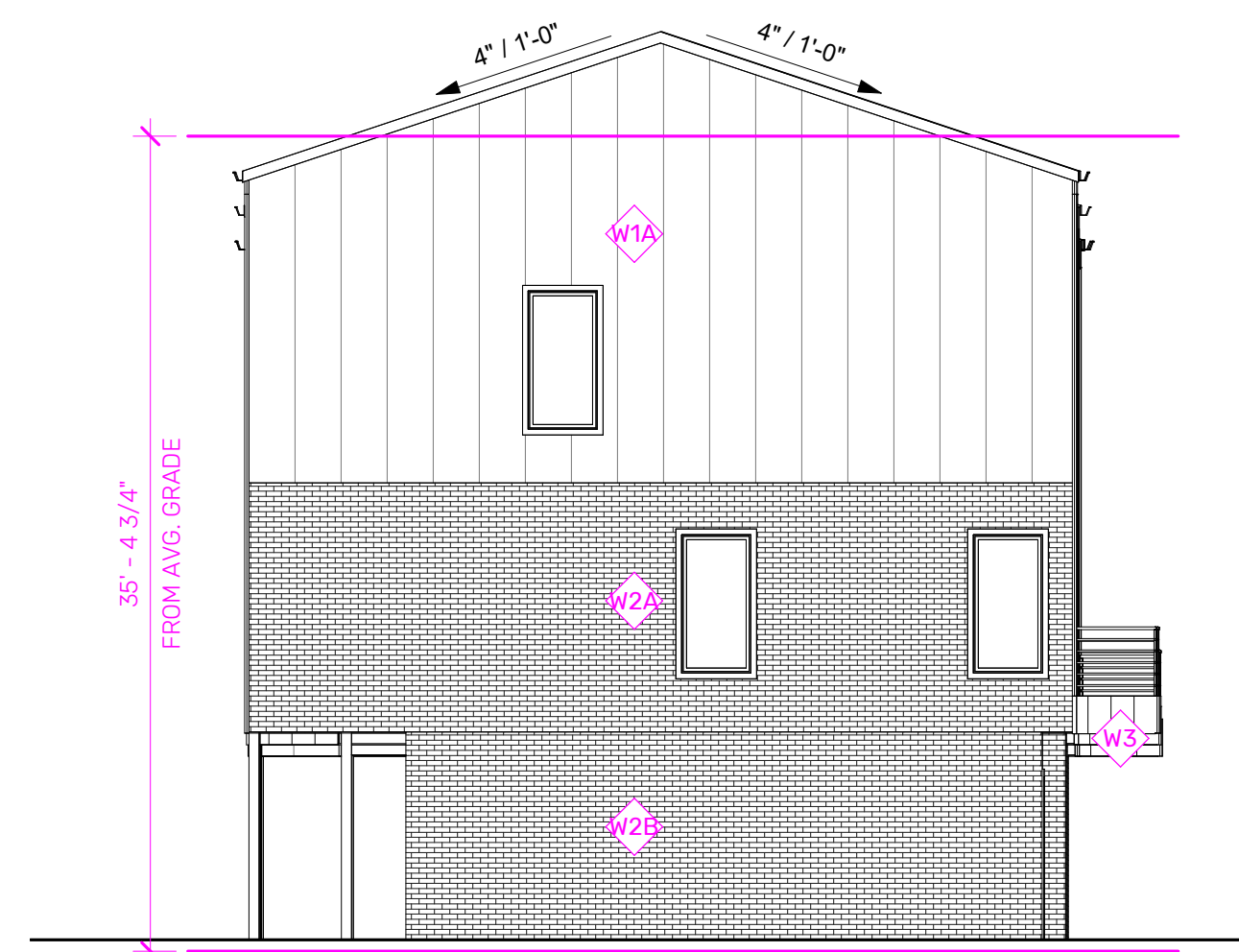


NON-BRICK MATERIALS - 562 SF (50%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 547 SF (49%)

BRICK - 564 SF (50%)

TOTAL - 1,126 SF



B2 BUILDING 19 - N. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,058 SF (50%)

- BOARD AND BATTEN SIDING - 611 SF (29%)
- METAL - 447 SF (21%)

BRICK - 1,051 SF (50%)

TOTAL - 2,109 SF



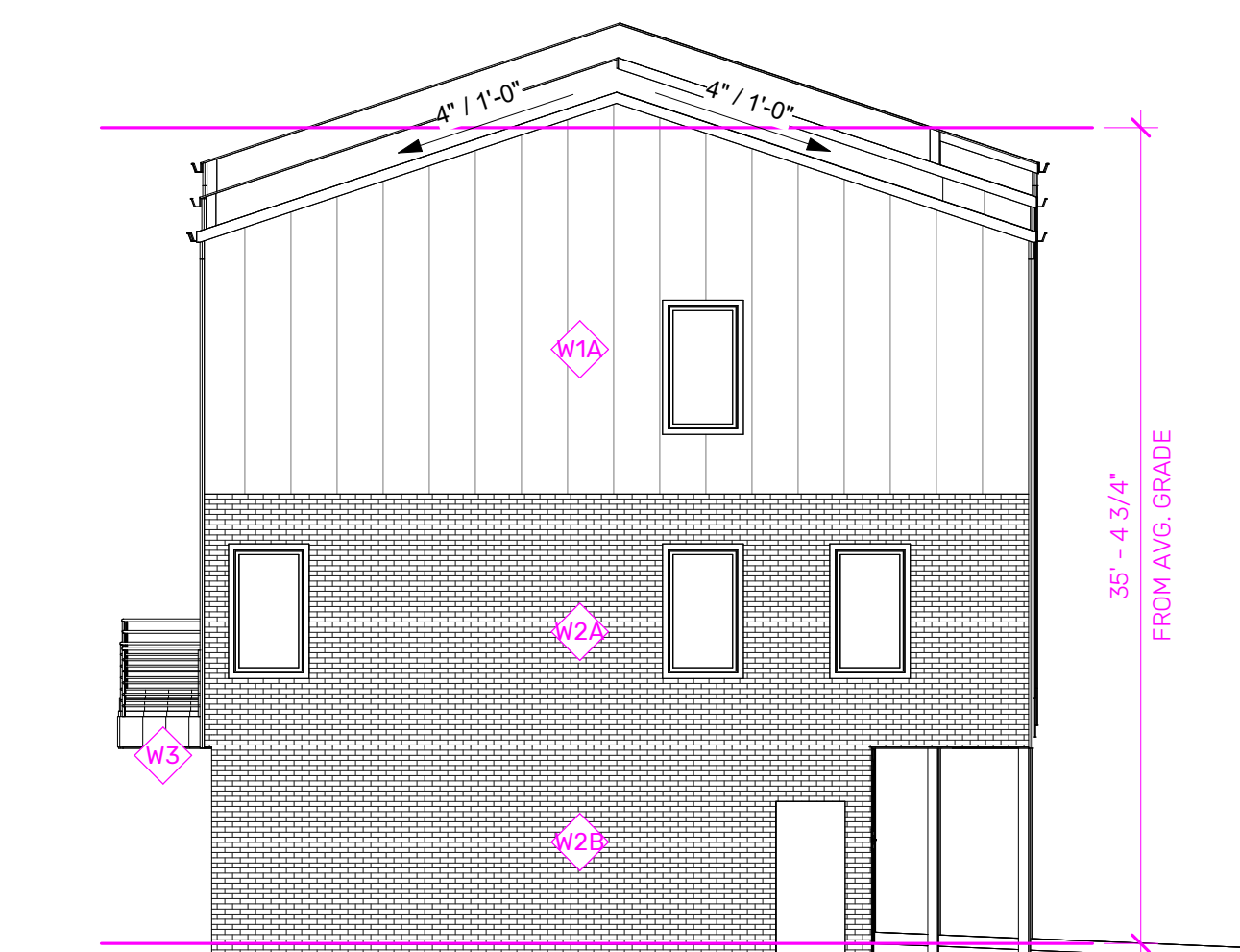
B5 BUILDING 19 - E. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 496 SF (22%)

- METAL - 14 SF (1%)
- BOARD AND BATTEN SIDING - 482 SF (44%)

BRICK - 599 SF (55%)

TOTAL - 1,095 SF



A1 BUILDING 19 - S. ELEVATION
 SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,238 SF (49%)

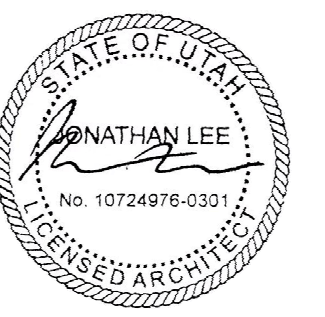
- BOARD AND BATTEN SIDING - 768 SF (30%)
- METAL - 470 SF (19%)

BRICK - 1,298 SF (51%)

TOTAL - 2,536 SF



A5 BUILDING 19 - W. ELEVATION
 SCALE: 1/8" = 1'-0"



REVISIONS:
 #13 05/10/24 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
 Trailside Townhomes
 Draper, UT 84020

CONTRACT DOCUMENTS
 DATE: 06/04/2024
 NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 19 (18124 RUSH RD)

A219

FINISH SCHEDULE

- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,300 SF (42%)

- METAL - 1,139 SF (14%)
- BOARD AND BATTEN SIDING - 2,161 SF (28%)

BRICK - 4,547 SF (58%)

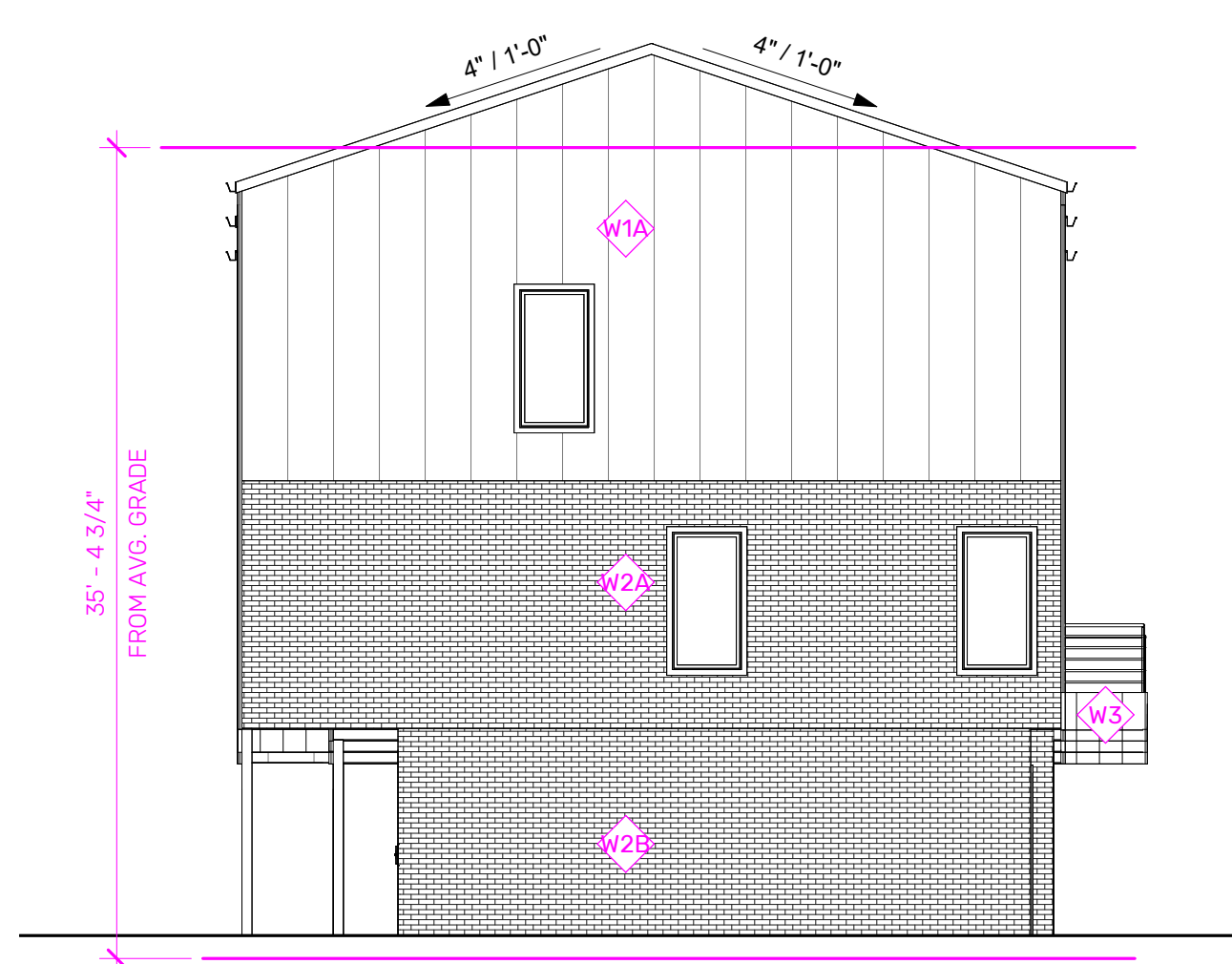
TOTAL - 7,847 SF

NON-BRICK MATERIALS - 551 SF (48%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 536 SF (47%)

BRICK - 599 SF (52%)

TOTAL - 1,150 SF



B1 BUILDING 20 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,195 SF (47%)

- METAL - 539 SF (21%)
- BOARD AND BATTEN SIDING - 656 SF (26%)

BRICK - 1,363 SF (53%)

TOTAL - 2,558 SF



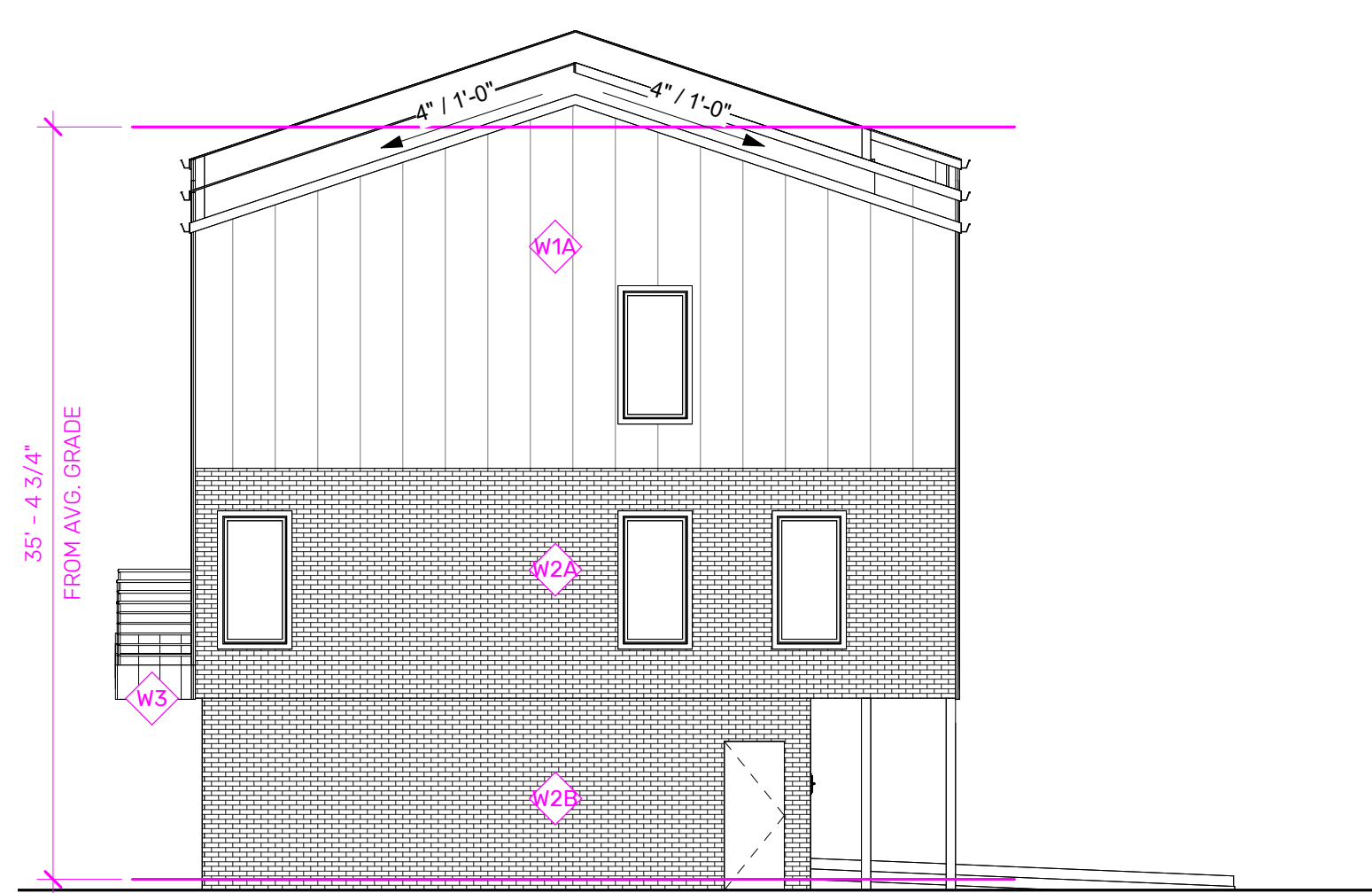
B5 BUILDING 20 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 496 SF (47%)

- METAL - 14 SF (1%)
- BOARD AND BATTEN SIDING - 482 SF (46%)

BRICK - 557 SF (53%)

TOTAL - 1,053 SF



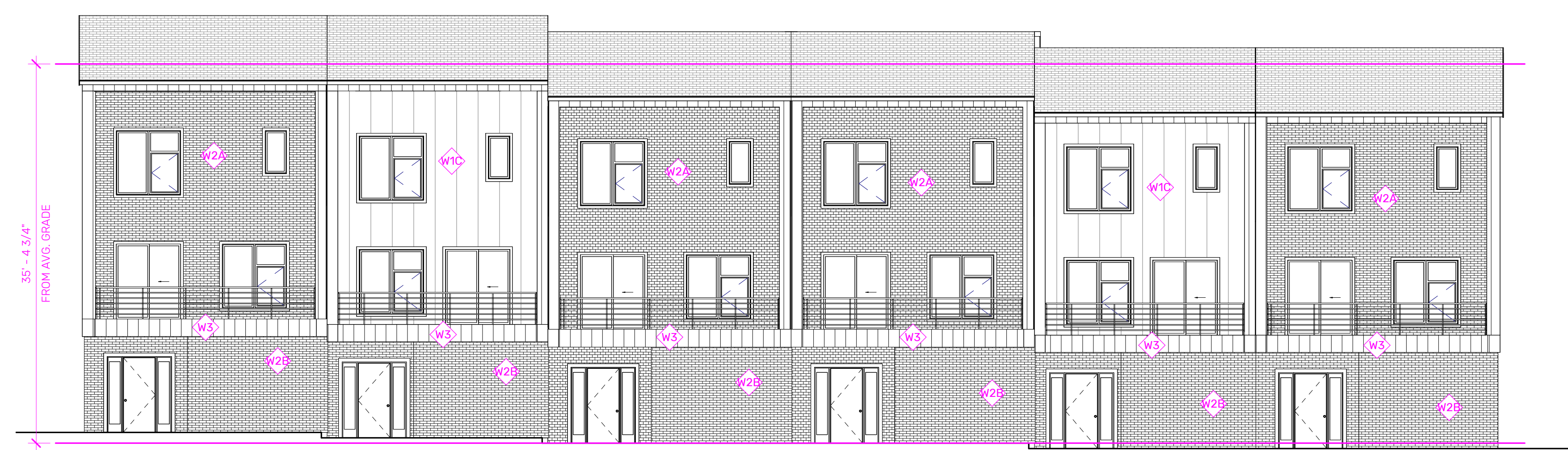
A1 BUILDING 20 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,058 SF (34%)

- METAL - 571 SF (18%)
- BOARD AND BATTEN SIDING - 487 SF (16%)

BRICK - 2,028 SF (66%)

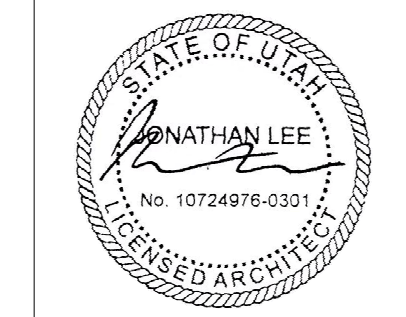
TOTAL - 3,086 SF



A5 BUILDING 20 - W. ELEVATION
SCALE: 1/8" = 1'-0"



Designs Of Tomorrow - Architecture
1063 S State St.
Salt Lake City,
UT 84111
Phone: (801) 864-5258



REVISIONS:
R13 R01/13 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 20 (16142 RUSH RD)

A220

FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

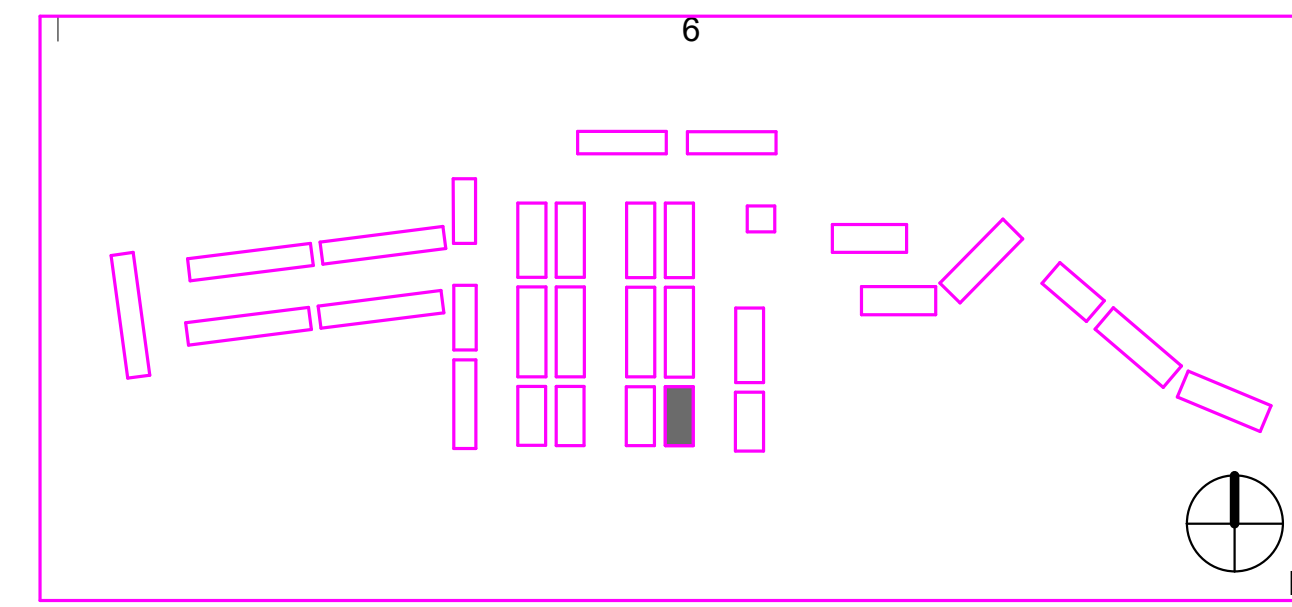
TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,564 SF (44%)

- METAL - 776 SF (13%)
- BOARD AND BATTEN SIDING - 1,788 SF (31%)

BRICK - 3,249 SF (56%)

TOTAL - 5,813 SF

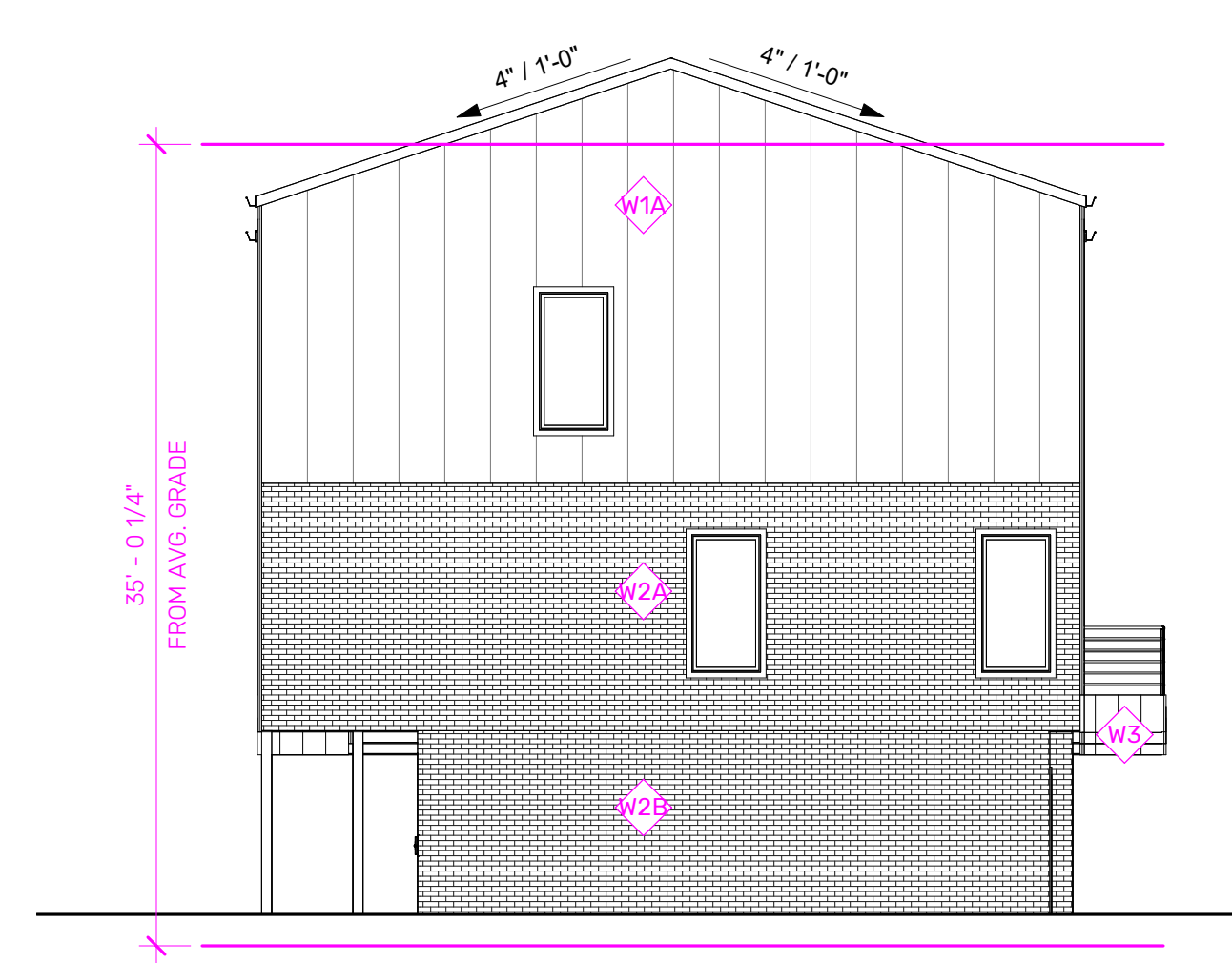


NON-BRICK MATERIALS - 533 SF (49%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 518 SF (48%)

BRICK - 557 SF (51%)

TOTAL - 1,090 SF



B3 BUILDING 21 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 839 SF (43%)

- METAL - 373 SF (19%)
- BOARD AND BATTEN SIDING - 466 SF (24%)

BRICK - 1,130 SF (57%)

TOTAL - 1,969 SF



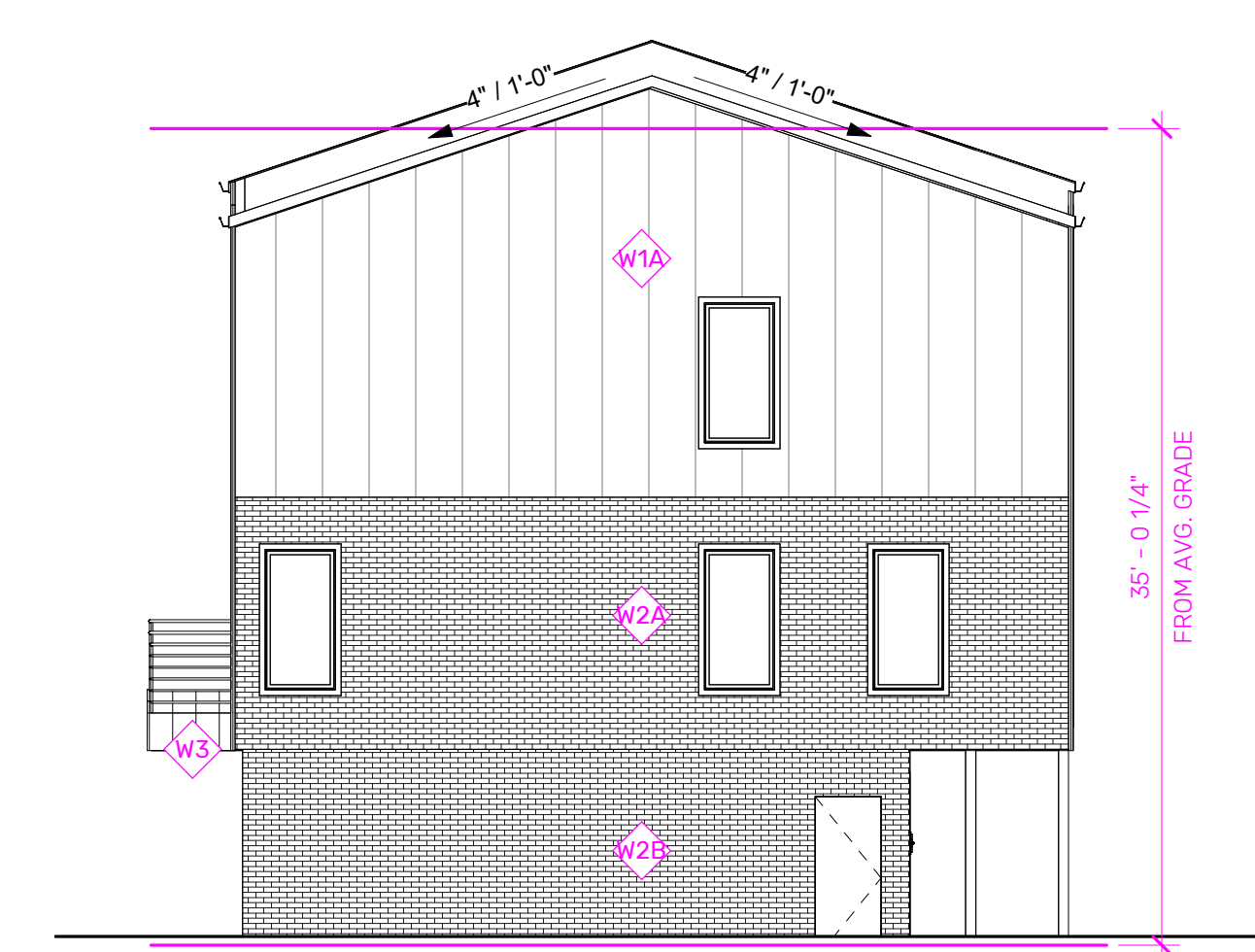
B5 BUILDING 21 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 515 SF (46%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 500 SF (45%)

BRICK - 599 SF (54%)

TOTAL - 1,114 SF



A3 BUILDING 21 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 677 SF (41%)

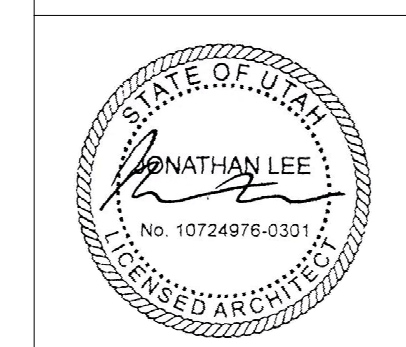
- METAL - 373 SF (23%)
- BOARD AND BATTEN SIDING - 304 SF (18%)

BRICK - 963 SF (59%)

TOTAL - 1,640 SF



A5 BUILDING 21 - W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:

R13: 05/13/24 MAY 13, 2024

IKON TRAILSIDE TOWNHOMES

Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS

DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 21 (18164 RUSH RD)

A221

// FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,877 SF (46%)

- METAL - 805 SF (13%)
- BOARD AND BATTEN SIDING - 2,072 SF (33%)

BRICK - 3,365 SF (54%)

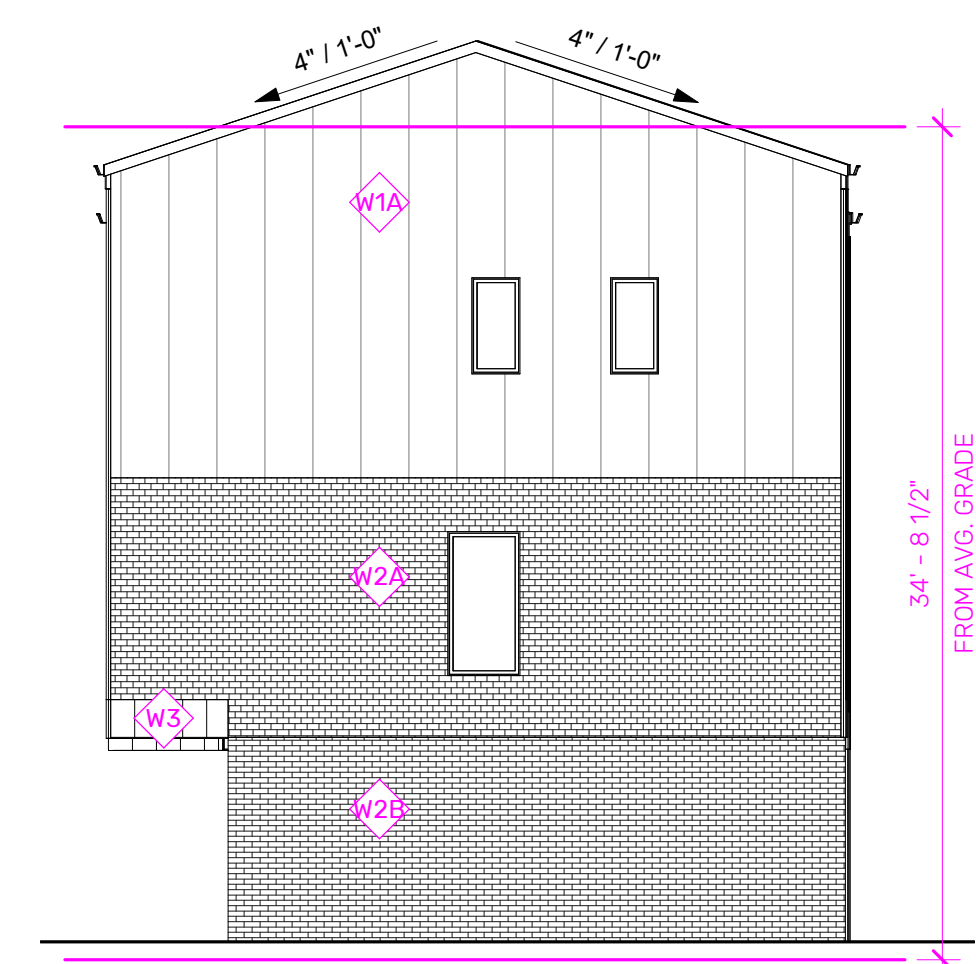
TOTAL - 6,242 SF

NON-BRICK MATERIALS - 463 SF (47%)

- METAL - 17 SF (2%)
- BOARD AND BATTEN SIDING - 446 SF (45%)

BRICK - 523 SF (53%)

TOTAL - 986 SF



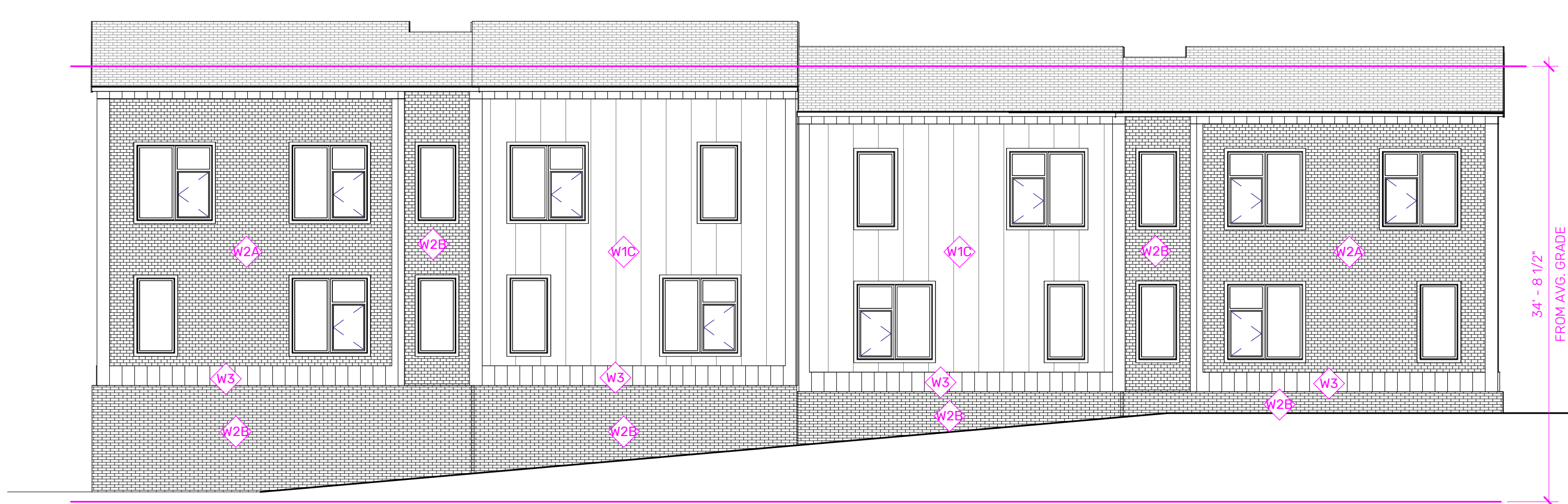
B2 BUILDING 22 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,114 SF (47%)

- METAL - 382 SF (16%)
- BOARD AND BATTEN SIDING - 732 SF (31%)

BRICK - 1,303 SF (53%)

TOTAL - 2,455 SF



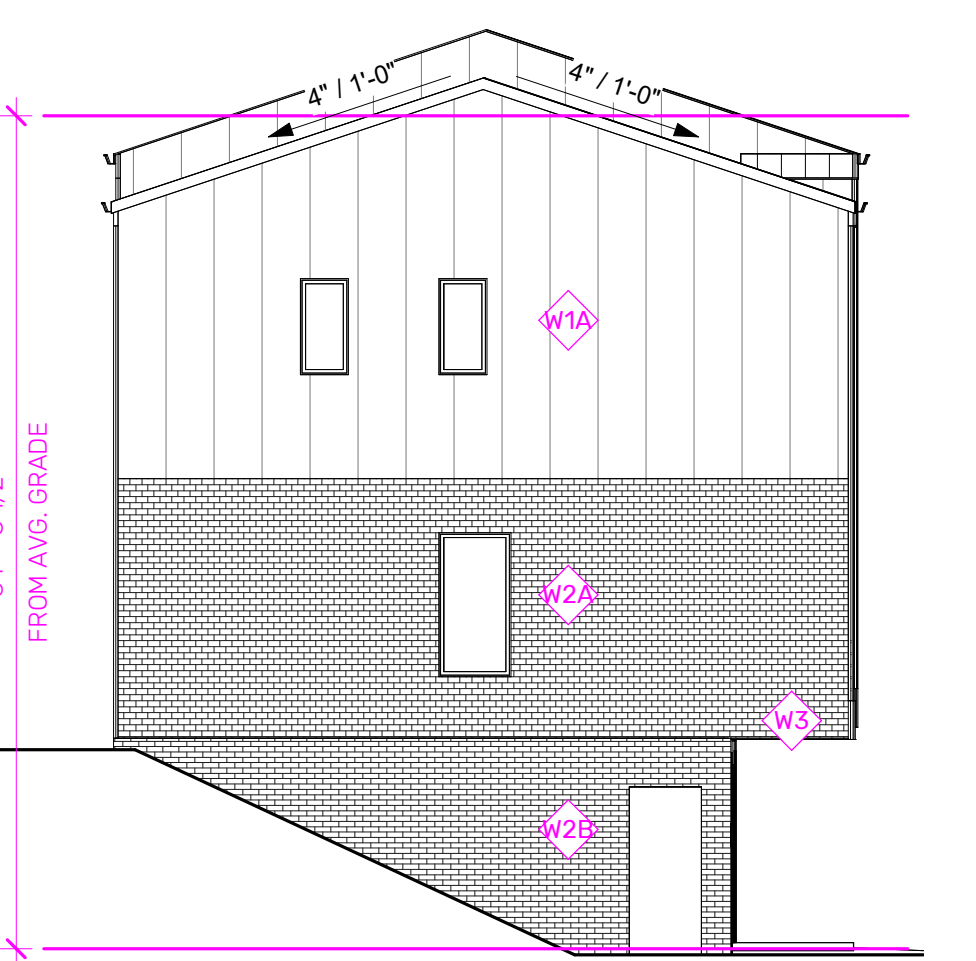
B5 BUILDING 22 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 416 SF (49%)

- METAL - 16 SF (2%)
- BOARD AND BATTEN SIDING - 400 SF (47%)

BRICK - 429 SF (51%)

TOTAL - 845 SF



A2 BUILDING 22 - W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 884 SF (44%)

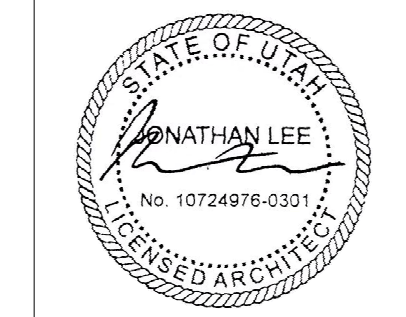
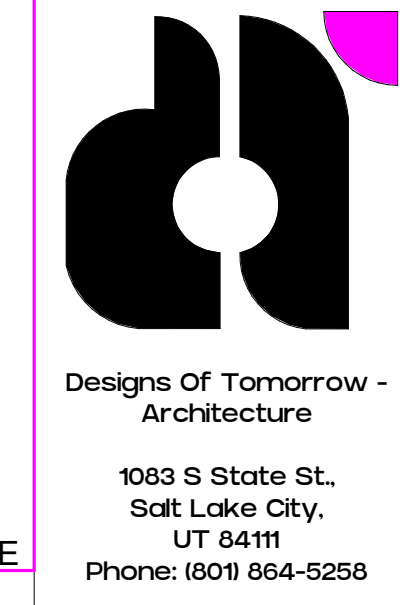
- METAL - 390 SF (19%)
- BOARD AND BATTEN SIDING - 494 SF (25%)

BRICK - 1,110 SF (56%)

TOTAL - 1,994 SF



A5 BUILDING 22 - S. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:

R13	05/10/24	MAY 13, 2024
-----	----------	--------------

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 22 (2233 WURL WAY)
A222

// FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

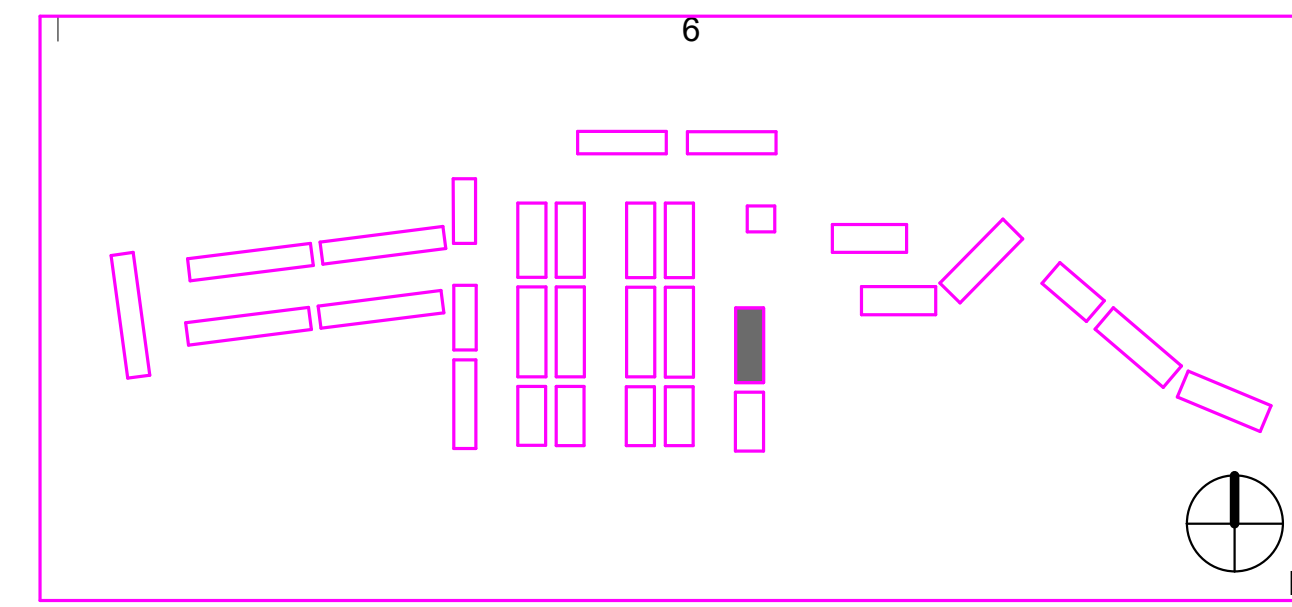
TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,354 SF (49%)

- BOARD AND BATTEN SIDING - 2,408 SF (35%)
- METAL - 946 SF (14%)

BRICK - 3,512 SF (51%)

TOTAL - 6,866 SF

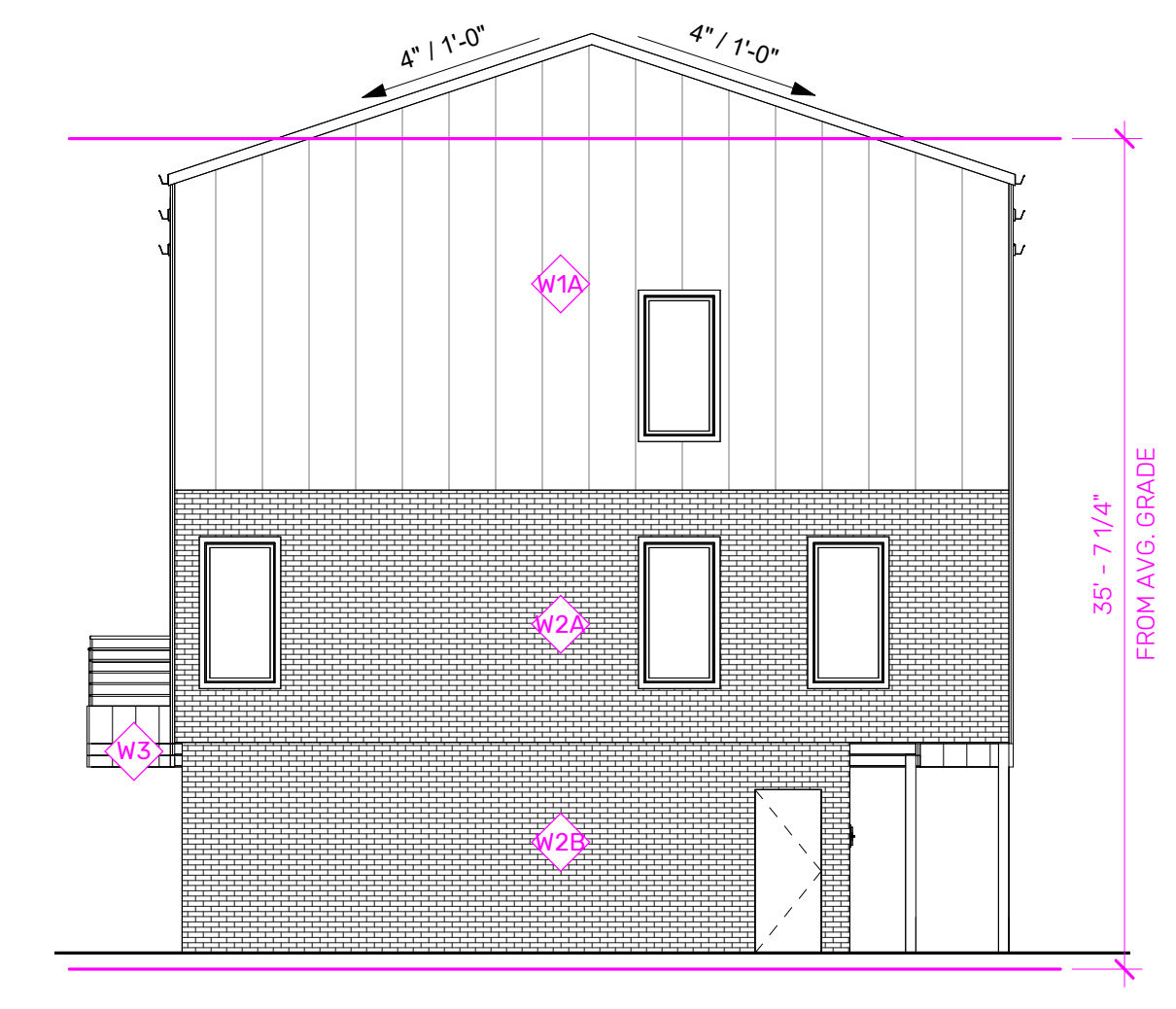


NON-BRICK MATERIALS - 562 SF (50%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 547 SF (49%)

BRICK - 564 SF (50%)

TOTAL - 1,126 SF



B2 BUILDING 23 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,238 SF (49%)

- BOARD AND BATTEN SIDING - 768 SF (30%)
- METAL - 470 SF (19%)

BRICK - 1,298 SF (51%)

TOTAL - 2,536 SF



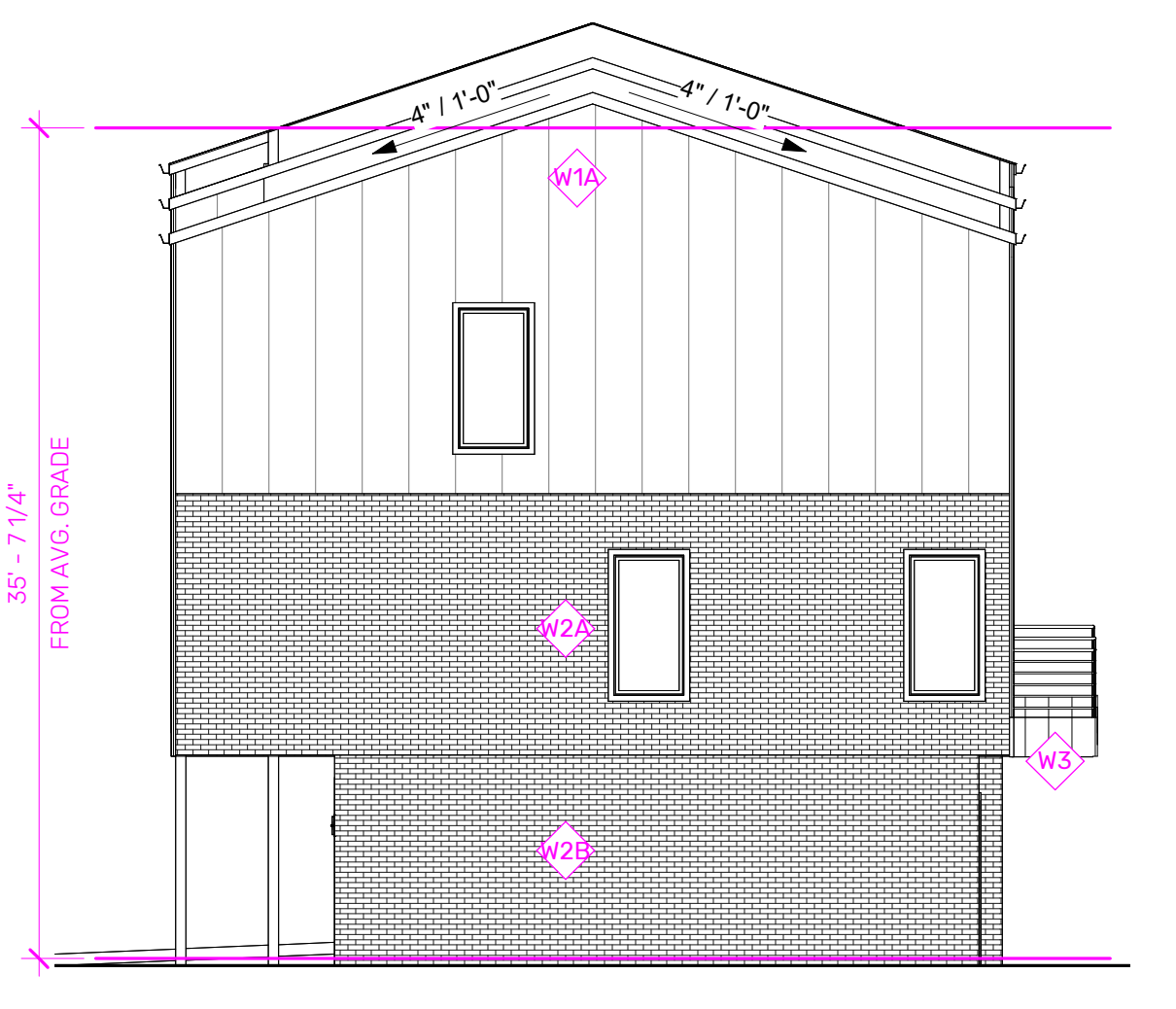
B5 BUILDING 23 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 496 SF (22%)

- METAL - 14 SF (1%)
- BOARD AND BATTEN SIDING - 482 SF (44%)

BRICK - 599 SF (55%)

TOTAL - 1,095 SF



A2 BUILDING 23 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,058 SF (50%)

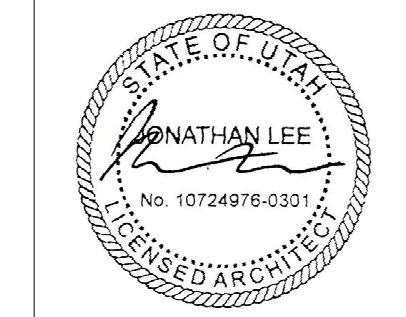
- BOARD AND BATTEN SIDING - 611 SF (29%)
- METAL - 447 SF (21%)

BRICK - 1,051 SF (50%)

TOTAL - 2,109 SF



A5 BUILDING 23 - W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:

R13: RPT/03 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES

Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS

DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 23 (16143 RUSH RD)

A223

FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,563 SF (45%)

- METAL - 758 SF (13%)
- BOARD AND BATTEN SIDING - 1,805 SF (32%)

BRICK - 3,147 SF (55%)

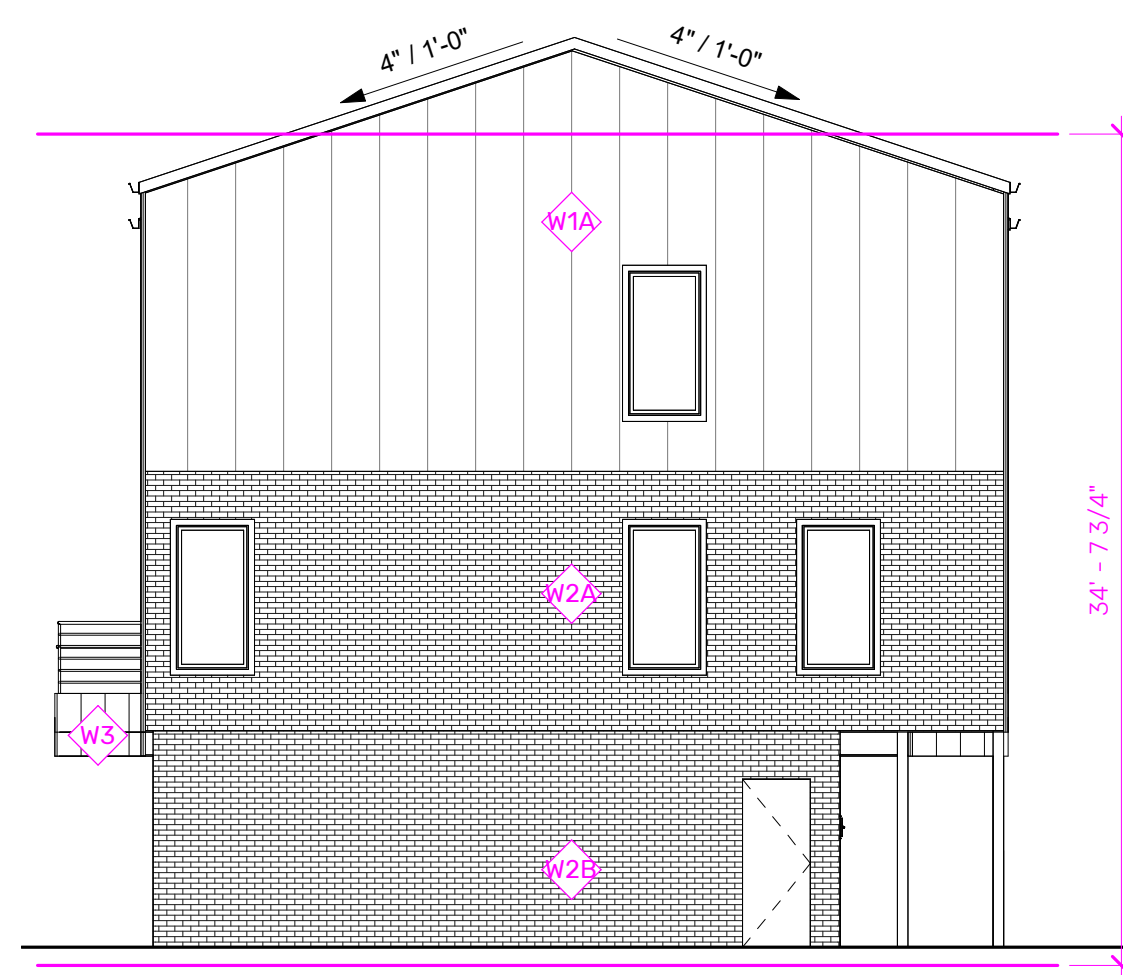
TOTAL - 5,710 SF

NON-BRICK MATERIALS - 514 SF (48%)

- METAL - 14 SF (1%)
- BOARD AND BATTEN SIDING - 500 SF (47%)

BRICK - 557 SF (52%)

TOTAL - 1,071 SF



B3 BUILDING 24 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 902 SF (47%)

- METAL - 365 SF (19%)
- BOARD AND BATTEN SIDING - 537 SF (28%)

BRICK - 1,035 SF (53%)

TOTAL - 1,937 SF



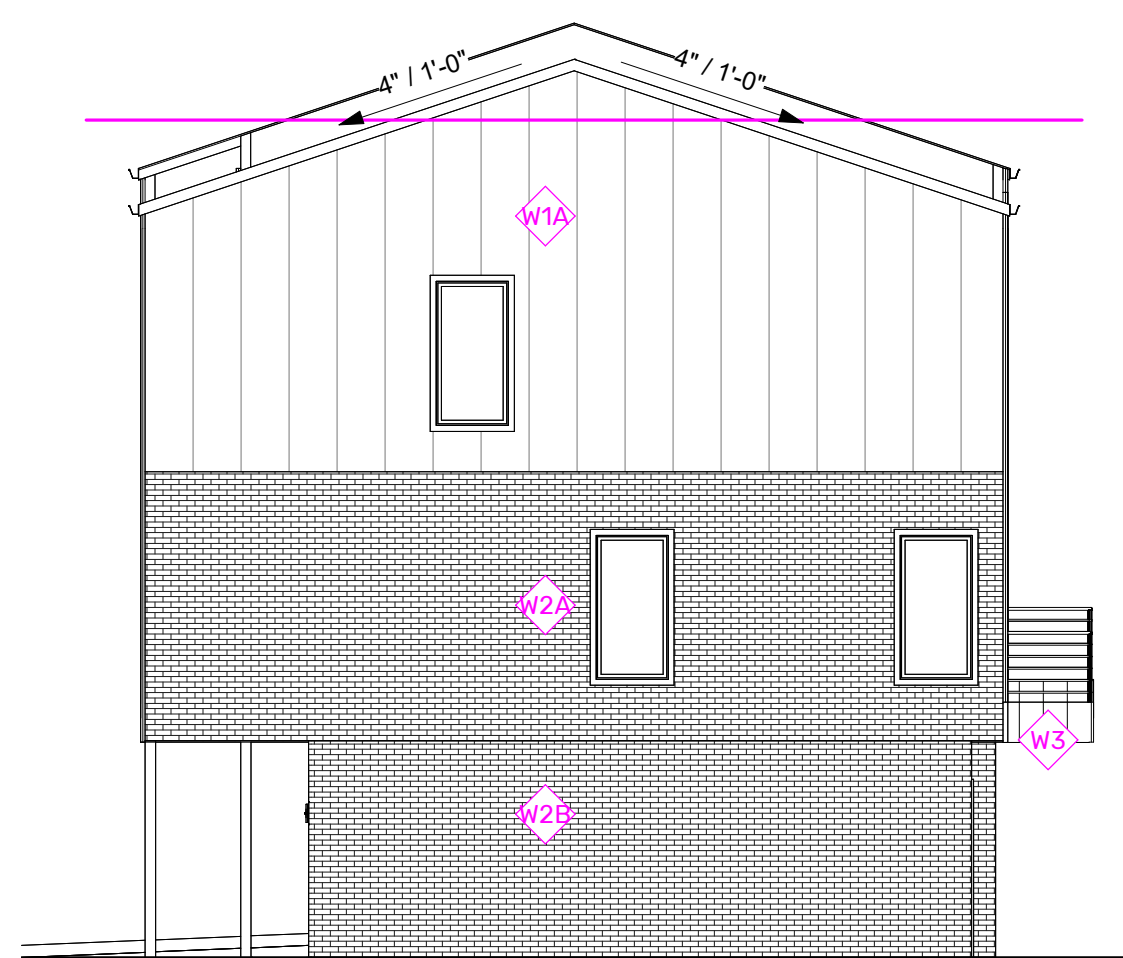
B5 BUILDING 24 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 496 SF (45%)

- METAL - 14 SF (1%)
- BOARD AND BATTEN SIDING - 482 SF (44%)

BRICK - 599 SF (55%)

TOTAL - 1,095 SF



A3 BUILDING 24 - S. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 651 SF (41%)

- METAL - 365 SF (23%)
- BOARD AND BATTEN SIDING - 286 SF (18%)

BRICK - 956 SF (59%)

TOTAL - 1,607 SF



A5 BUILDING 24 - W. ELEVATION
SCALE: 1/8" = 1'-0"



Designs Of Tomorrow -
Architecture
1063 S State St.,
Salt Lake City,
UT 84111
Phone: (801) 864-5258



REVISIONS:
R13 05/10/24 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS -
BLDG 24 (16167 RUSH RD)
A224

FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

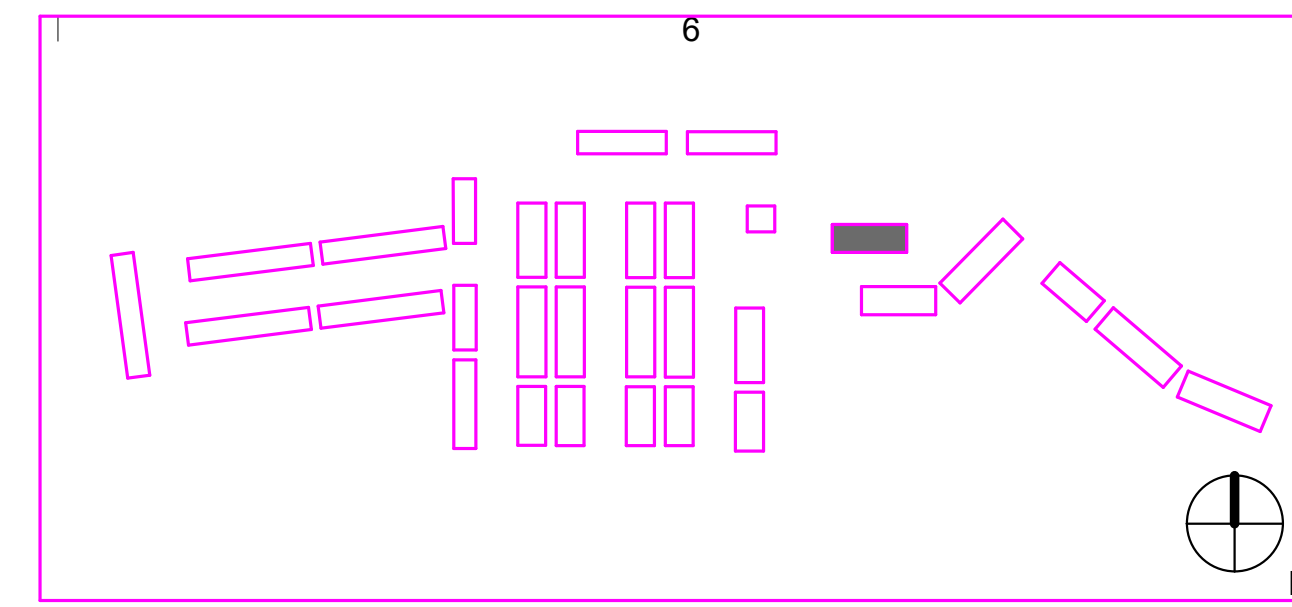
TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,294 SF (49%)

- BOARD AND BATTEN SIDING - 2,351 SF (35%)
- METAL - 943 SF (14%)

BRICK - 3,489 SF (51%)

TOTAL - 6,783 SF

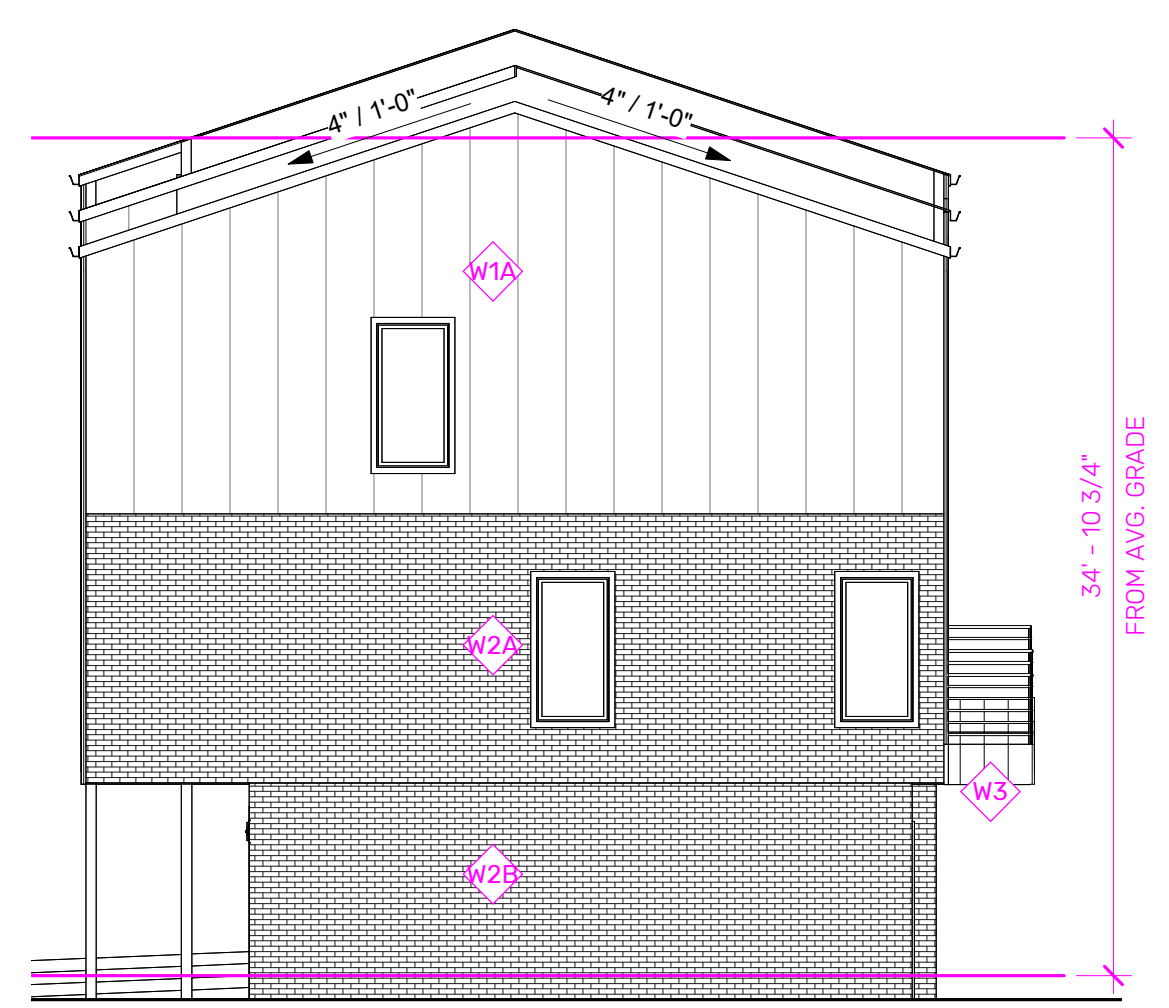


NON-BRICK MATERIALS - 496 SF (22%)

- METAL - 14 SF (1%)
- BOARD AND BATTEN SIDING - 482 SF (44%)

BRICK - 599 SF (55%)

TOTAL - 1,095 SF



B2 BUILDING 25 - E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,236 SF (49%)

- BOARD AND BATTEN SIDING - 768 SF (30%)
- METAL - 468 SF (19%)

BRICK - 1,275 SF (51%)

TOTAL - 2,511 SF



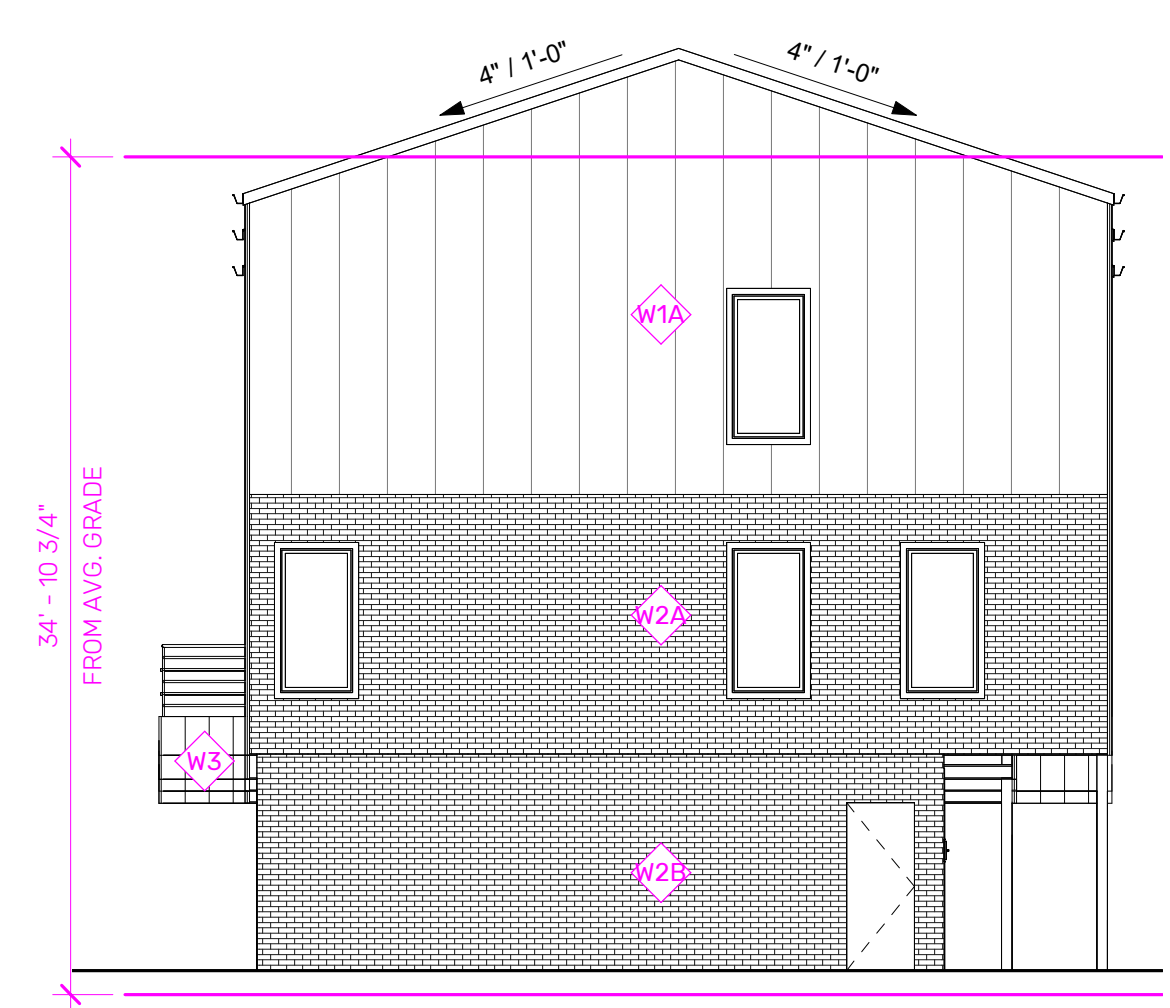
B5 BUILDING 25 - N. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 526 SF (48%)

- METAL - 15 SF (1%)
- BOARD AND BATTEN SIDING - 511 SF (47%)

BRICK - 564 SF (52%)

TOTAL - 1,090 SF



A2 BUILDING 25 - W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,036 SF (50%)

- BOARD AND BATTEN SIDING - 590 SF (29%)
- METAL - 446 SF (21%)

BRICK - 1,051 SF (50%)

TOTAL - 2,087 SF



A5 BUILDING 25 - S. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:

R13 RPT/03 MAY 17, 2024

IKON TRAILSIDE TOWNHOMES

Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS

DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 25 12255 IKON DRI

A225

FINISH SCHEDULE

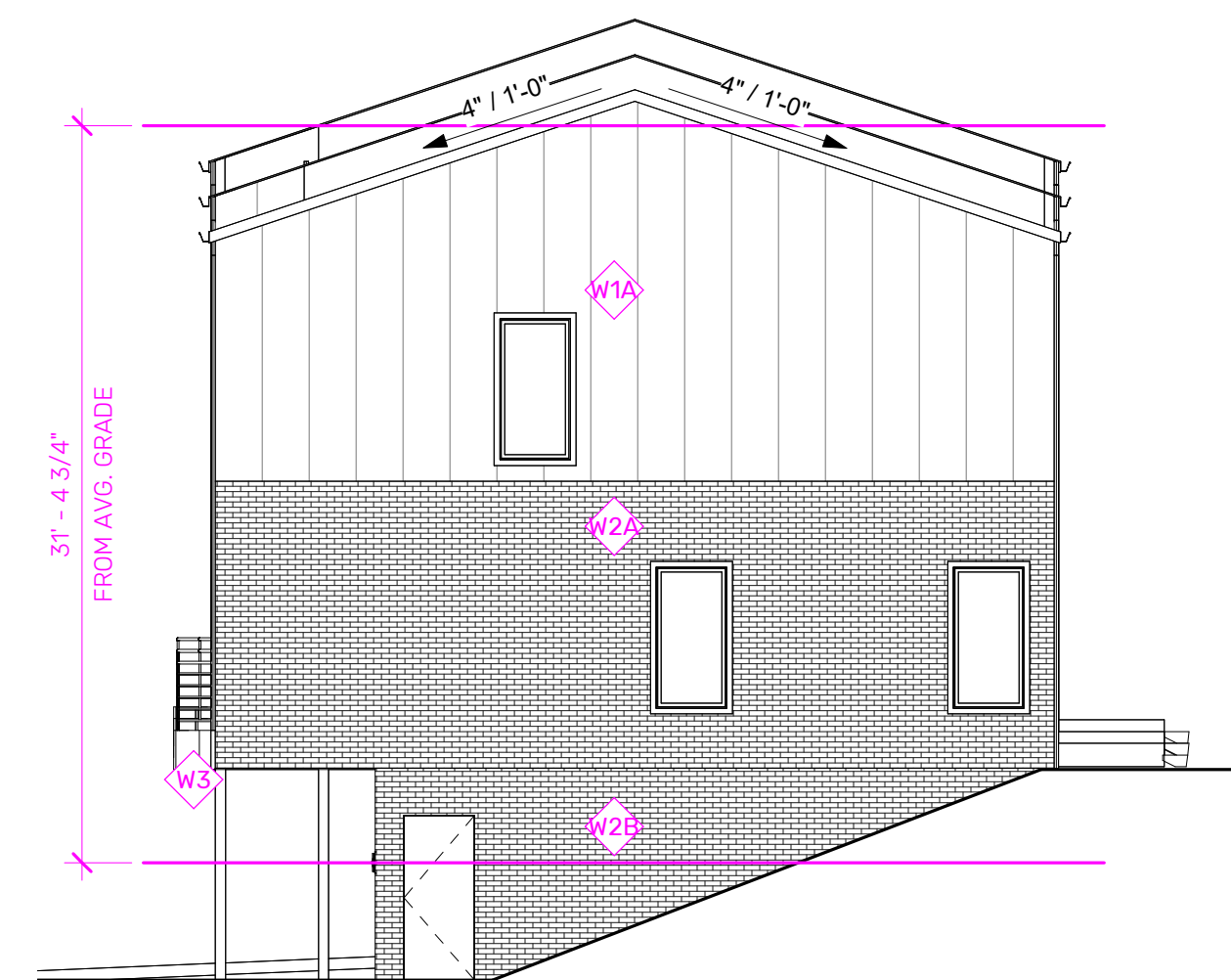
- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

- NON-BRICK MATERIALS - 2,850 SF (48%)
- METAL - 768 SF (13%)
 - BOARD AND BATTEN SIDING - 2,082 SF (35%)
- BRICK - 3,028 SF (52%)
- TOTAL - 5,878 SF

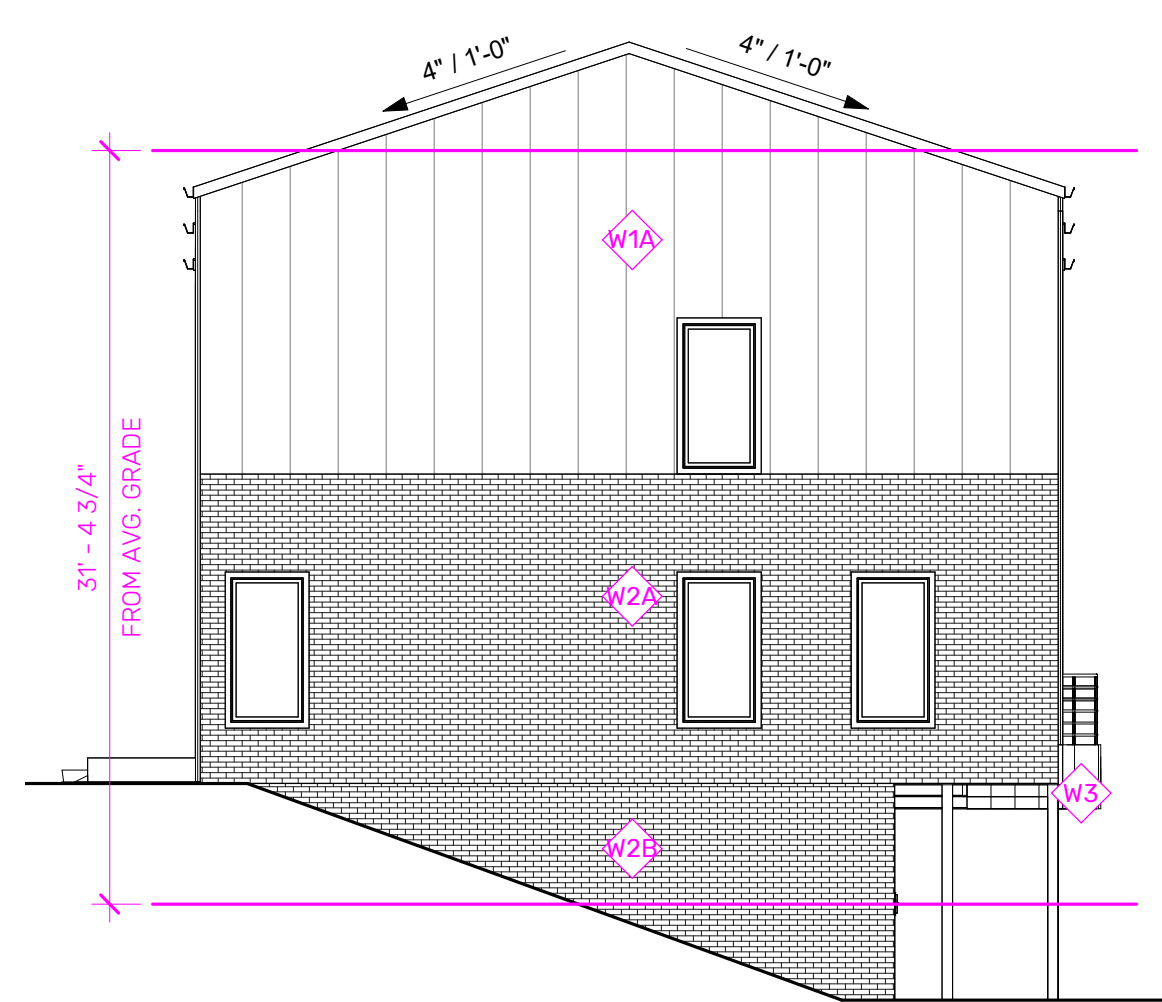
- NON-BRICK MATERIALS - 460 SF (47%)
- METAL - 11 SF (1%)
 - BOARD AND BATTEN SIDING - 449 SF (46%)
- BRICK - 522 SF (53%)
- TOTAL - 982 SF

- NON-BRICK MATERIALS - 811 SF (47%)
- METAL - 295 SF (17%)
 - BOARD AND BATTEN SIDING - 516 SF (30%)
- BRICK - 931 SF (53%)
- TOTAL - 1,742 SF



B2 BUILDING 26 - E. ELEVATION
SCALE: 1/8" = 1'-0"

- NON-BRICK MATERIALS - 509 SF (49%)
- METAL - 12 SF (1%)
 - BOARD AND BATTEN SIDING - 497 SF (48%)
- BRICK - 525 SF (51%)
- TOTAL - 1,034 SF



A2 BUILDING 26 - W. ELEVATION
SCALE: 1/8" = 1'-0"

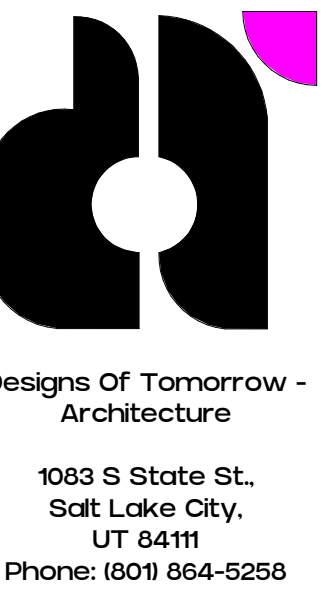


B5 BUILDING 26 - N. ELEVATION
SCALE: 1/8" = 1'-0"

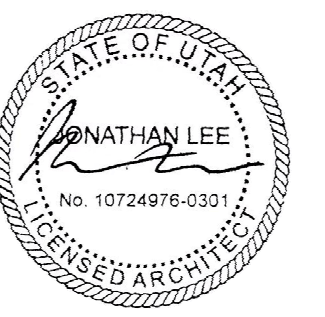
- NON-BRICK MATERIALS - 1,070 SF (50%)
- METAL - 450 SF (21%)
 - BOARD AND BATTEN SIDING - 620 SF (29%)
- BRICK - 1,050 SF (50%)
- TOTAL - 2,120 SF



A5 BUILDING 26 - S. ELEVATION
SCALE: 1/8" = 1'-0"



Designs Of Tomorrow -
Architecture
1063 S State St.,
Salt Lake City,
UT 84111
Phone: (801) 864-5250



REVISIONS:
R13 RPT/03 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS -
BLDG 26 (2264 HORSETAIL)
A226

FINISH SCHEDULE

- W1A: WALL FINISH 1A: - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: - BREAK METAL
- R1: ROOF FINISH: - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,977 SF (46%)

- METAL - 943 SF (15%)
- BOARD AND BATTEN SIDING - 2,034 SF (31%)

BRICK - 3,529 SF (54%)

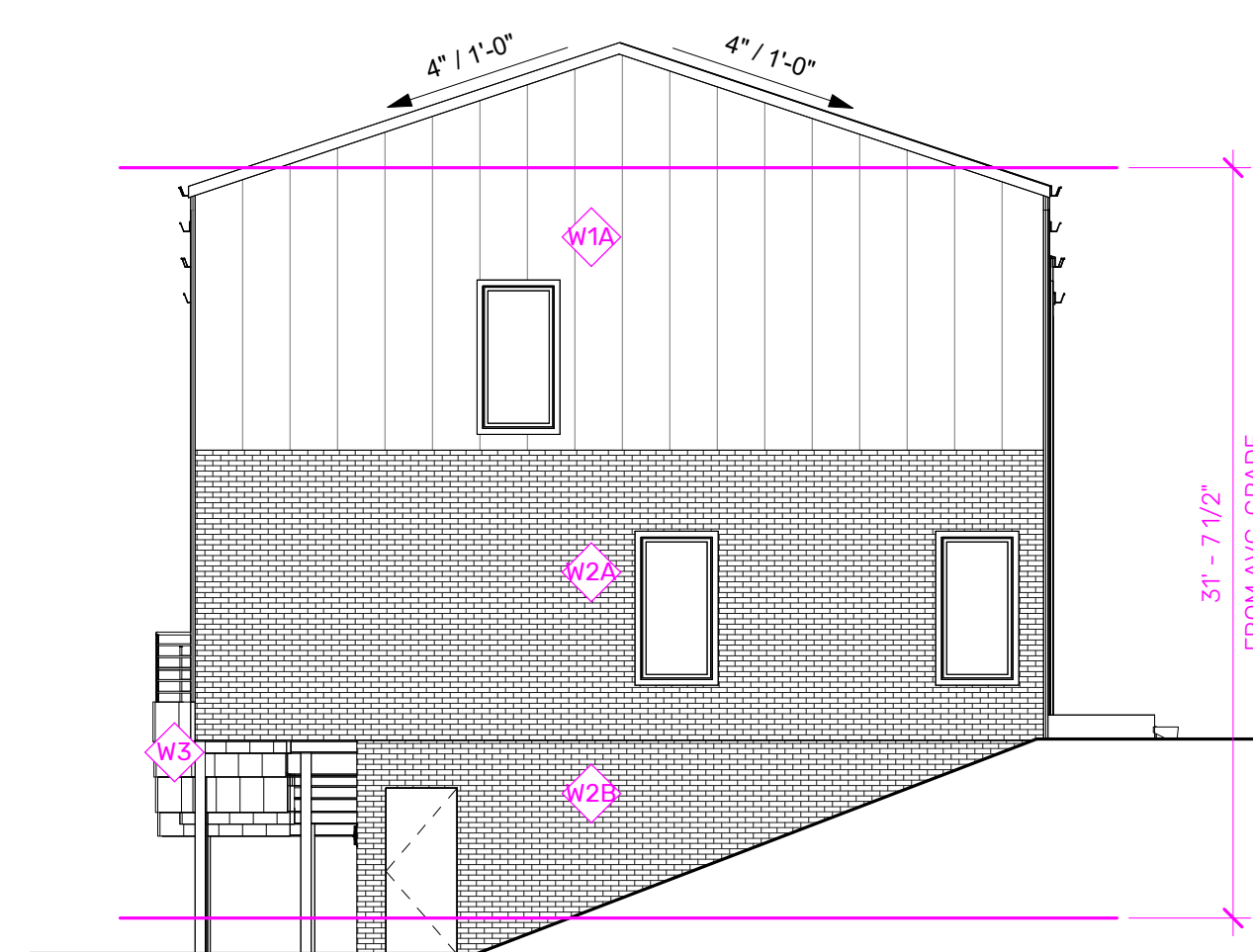
TOTAL - 6,506 SF

NON-BRICK MATERIALS - 478 SF (48%)

- METAL - 11 SF (1%)
- BOARD AND BATTEN SIDING - 467 SF (47%)

BRICK - 522 SF (52%)

TOTAL - 1,000 SF



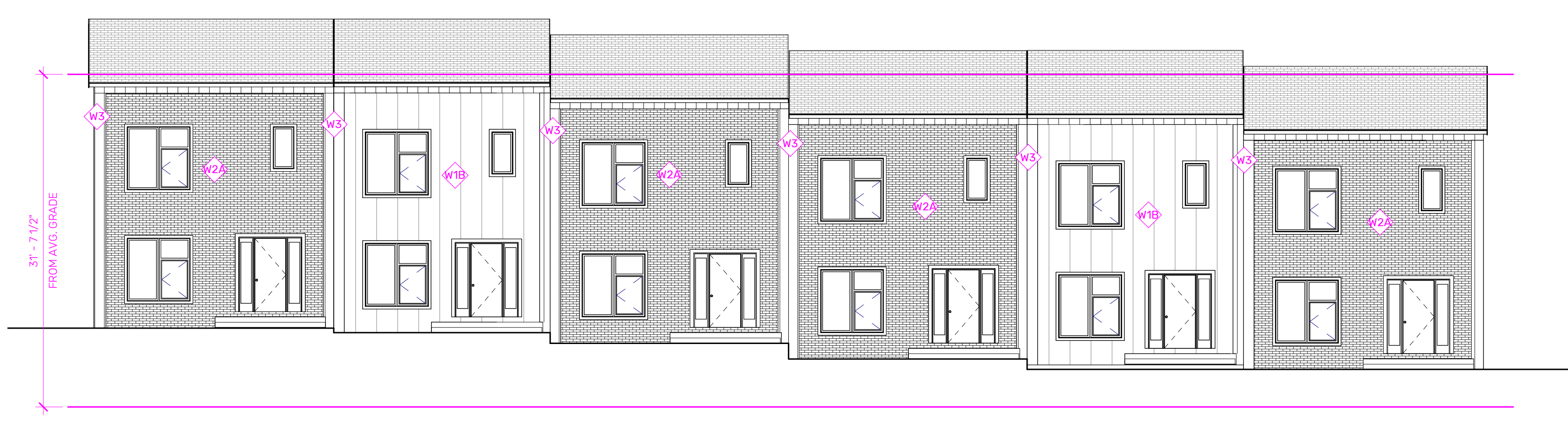
B1 BUILDING 27 - N.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 857 SF (42%)

- METAL - 361 SF (18%)
- BOARD AND BATTEN SIDING - 496 SF (24%)

BRICK - 1,183 SF (58%)

TOTAL - 2,040 SF



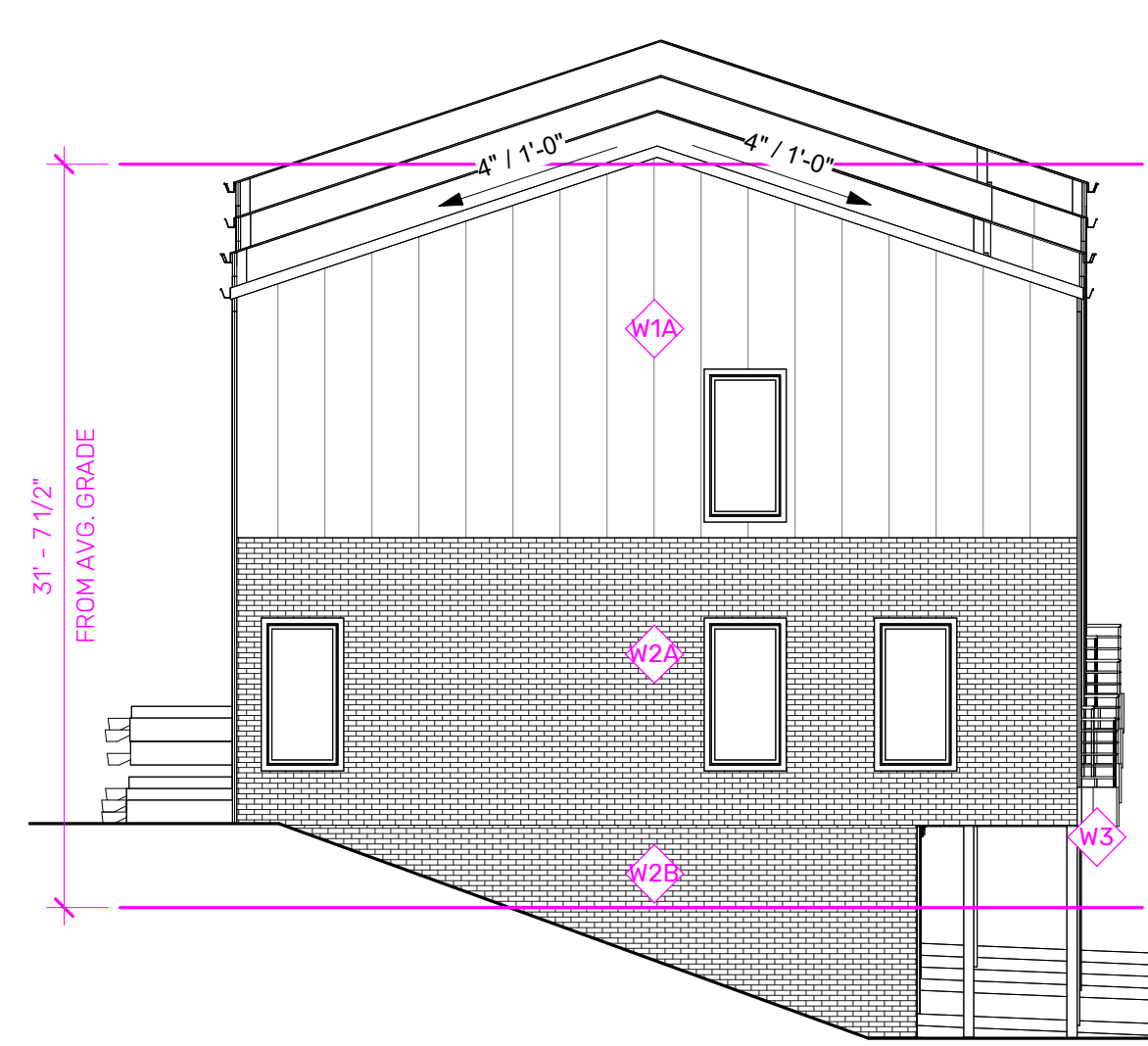
B5 BUILDING 27 - N.W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 460 SF (48%)

- METAL - 11 SF (1%)
- BOARD AND BATTEN SIDING - 449 SF (47%)

BRICK - 501 SF (52%)

TOTAL - 961 SF



A1 BUILDING 27 - S.W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,182 SF (47%)

- METAL - 560 SF (22%)
- BOARD AND BATTEN SIDING - 622 SF (25%)

BRICK - 1,323 SF (53%)

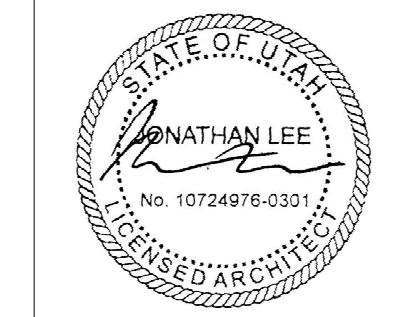
TOTAL - 2,505 SF



A5 BUILDING 27 - S.E. ELEVATION
SCALE: 1/8" = 1'-0"



1063 S State St.
Salt Lake City,
UT 84111
Phone: (801) 864-5258



REVISIONS:
R13 RPT/03 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 27 (2276 HORSETAIL)
A227

// FINISH SCHEDULE

- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKD CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT

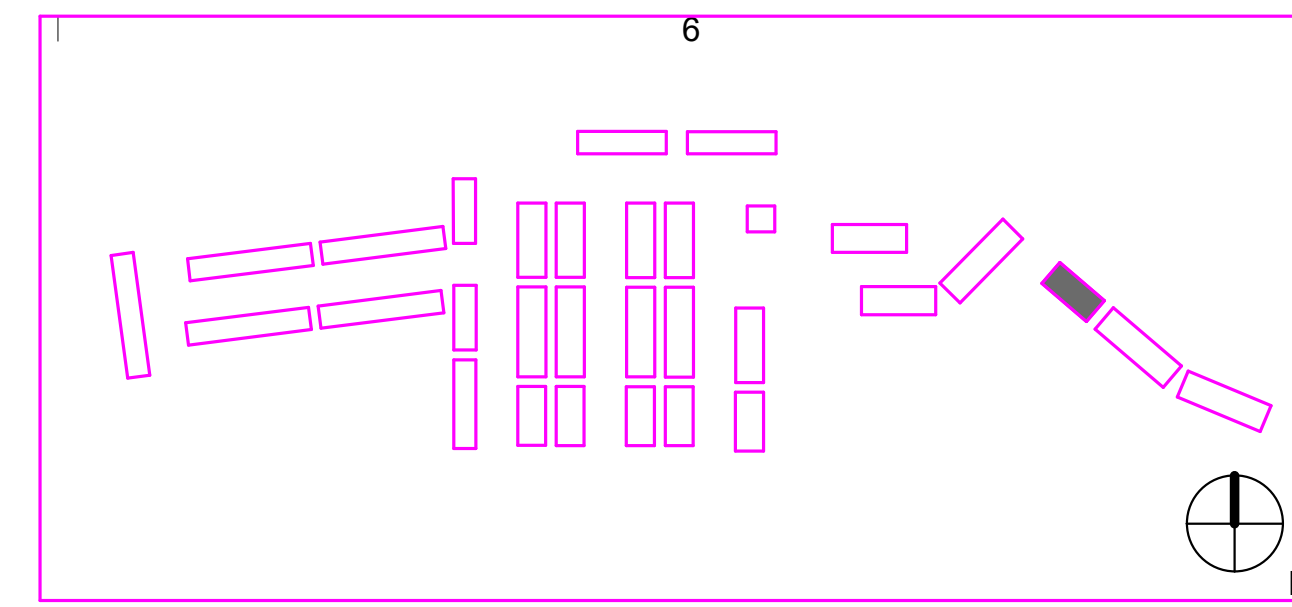
TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,132 SF (43%)

- METAL - 641 SF (13%)
- BOARD AND BATTEN SIDING - 1,491 SF (30%)

BRICK - 2,791 SF (57%)

TOTAL - 4,923 SF

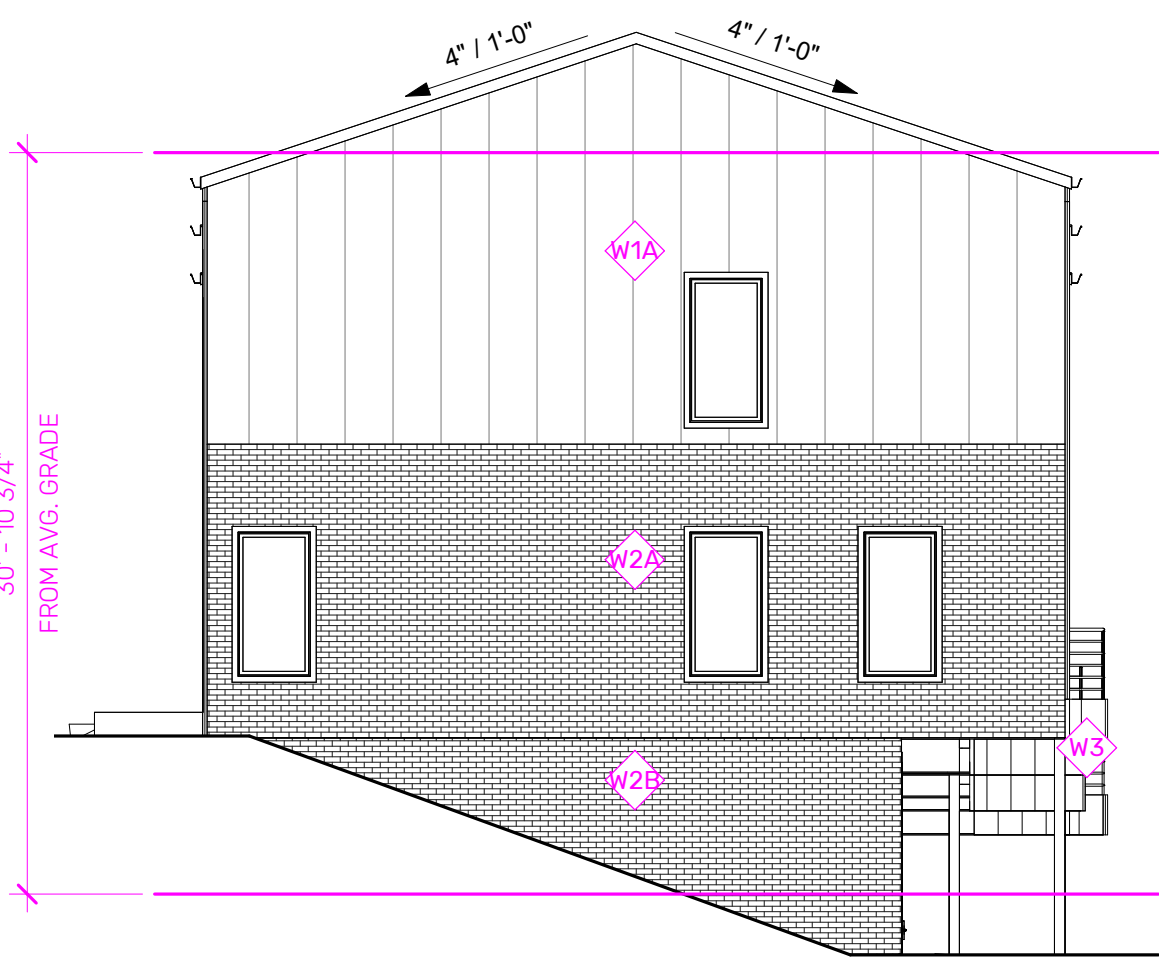


NON-BRICK MATERIALS - 239 SF (49%)

- METAL - 11 SF (1%)
- BOARD AND BATTEN SIDING - 467 SF (48%)

BRICK - 501 SF (51%)

TOTAL - 979 SF



B2 BUILDING 28 - N.W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 487 SF (37%)

- METAL - 244 SF (19%)
- BOARD AND BATTEN SIDING - 243 SF (18%)

BRICK - 825 SF (63%)

TOTAL - 1,312 SF



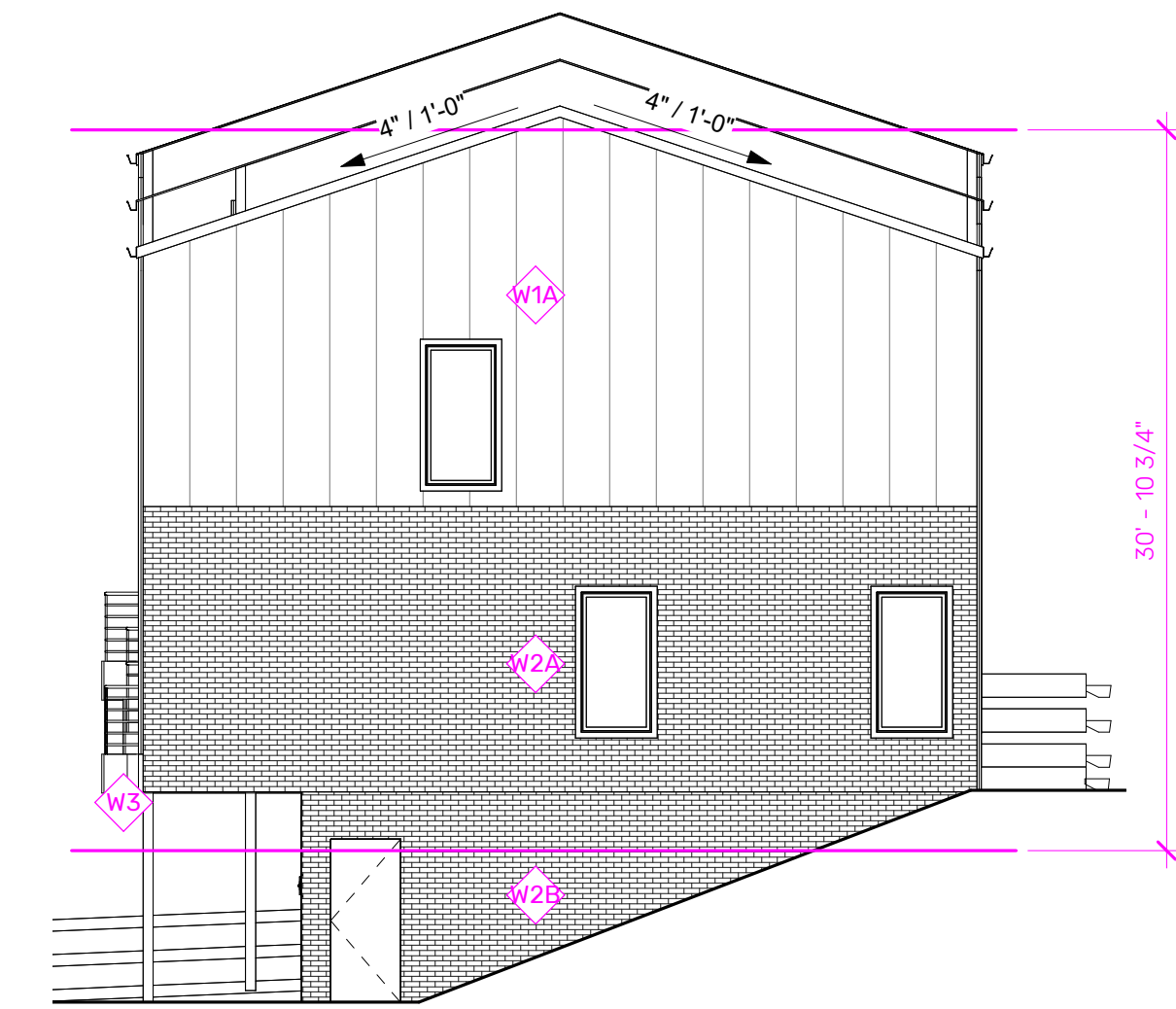
B5 BUILDING 28 - N.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 478 SF (48%)

- METAL - 11 SF (1%)
- BOARD AND BATTEN SIDING - 467 SF (47%)

BRICK - 522 SF (52%)

TOTAL - 1,000 SF



A2 BUILDING 28 - S.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 689 SF (42%)

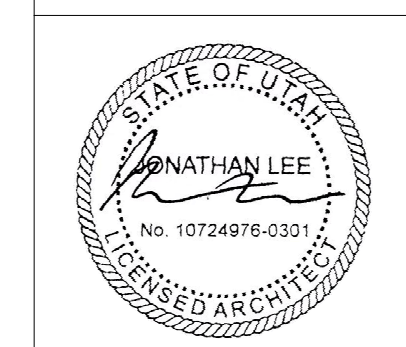
- METAL - 375 SF (23%)
- BOARD AND BATTEN SIDING - 314 SF (19%)

BRICK - 943 SF (58%)

TOTAL - 1,632 SF



A5 BUILDING 28 - S.W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:

R13: 05/11/24 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES

Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS

DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 28 (2288 HORSETAIL)

A228

FINISH SCHEDULE

- W1A: WALL FINISH 1A: HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B: HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C: HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A: MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B: MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3: BREAK METAL
- R1: ROOF FINISH: IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1: DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2: DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1: DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2: DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 3,041 SF (46%)

- METAL - 934 SF (14%)
- BOARD AND BATTEN SIDING - 2,107 SF (32%)

BRICK - 3,547 SF (54%)

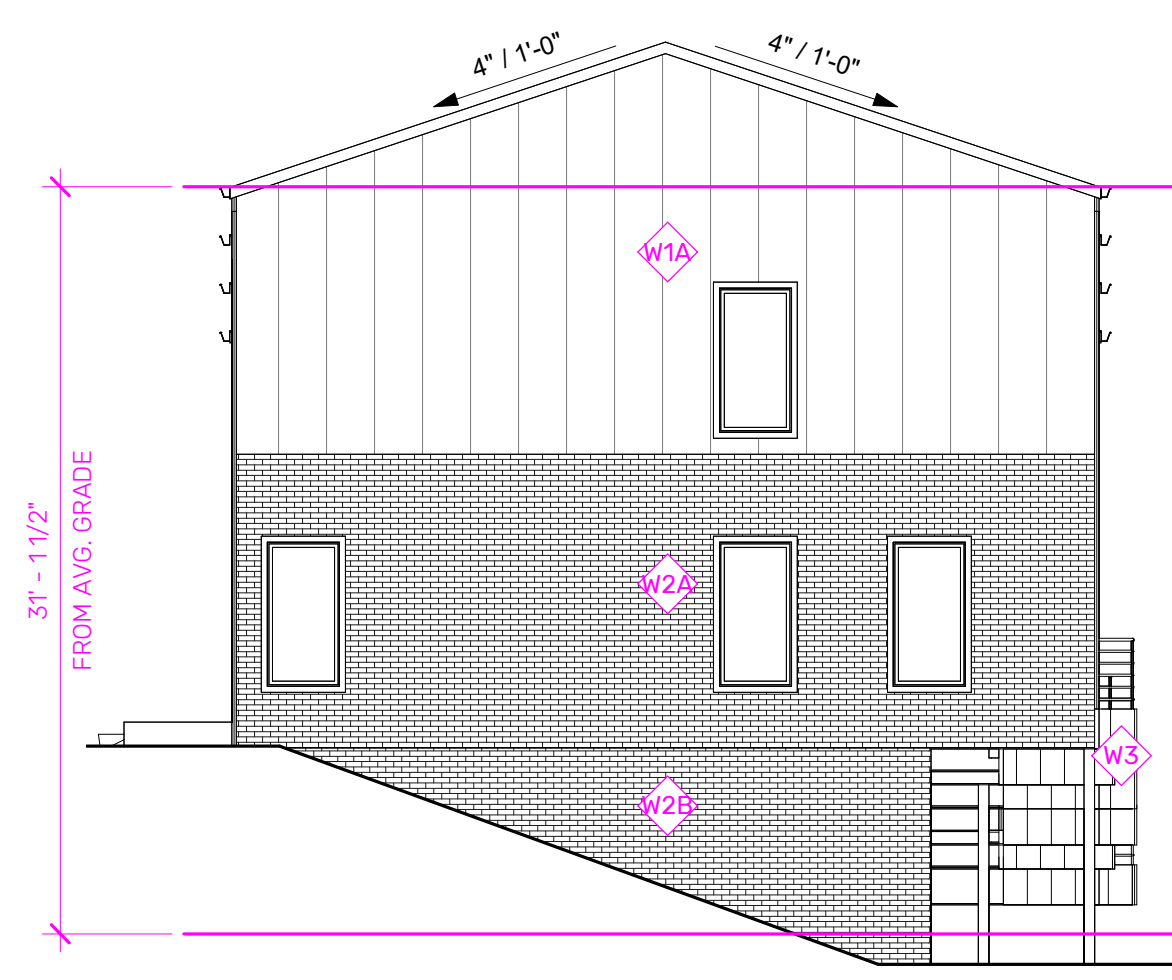
TOTAL - 6,588 SF

NON-BRICK MATERIALS - 478 SF (49%)

- METAL - 11 SF (1%)
- BOARD AND BATTEN SIDING - 467 SF (48%)

BRICK - 501 SF (51%)

TOTAL - 979 SF



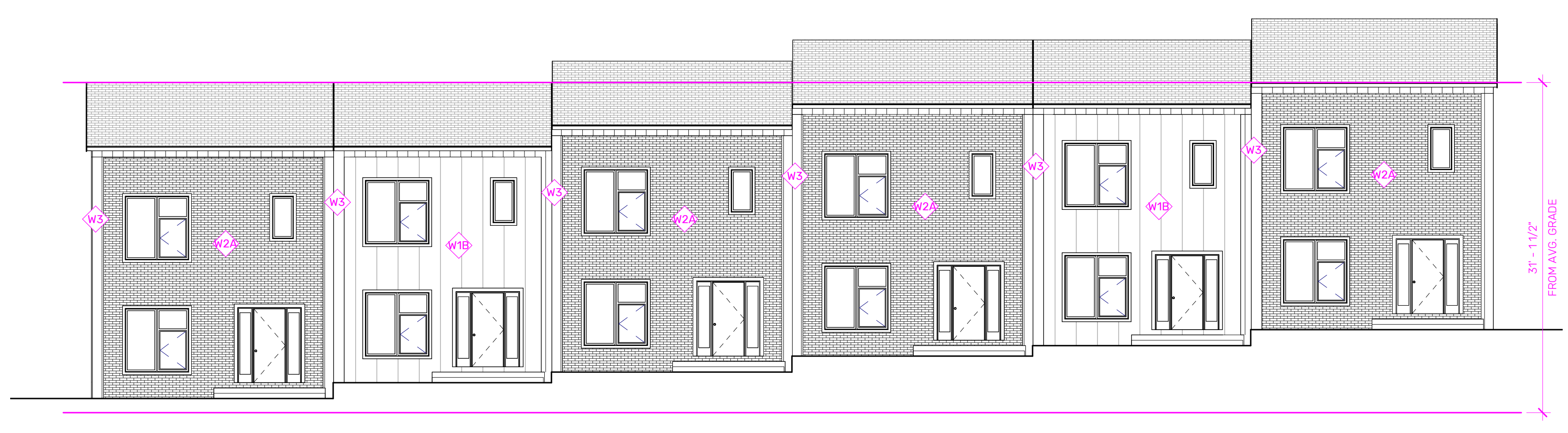
C2 BUILDING 29 - N.W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 852 SF (41%)

- METAL - 356 SF (17%)
- BOARD AND BATTEN SIDING - 496 SF (24%)

BRICK - 1,220 SF (59%)

TOTAL - 2,072 SF



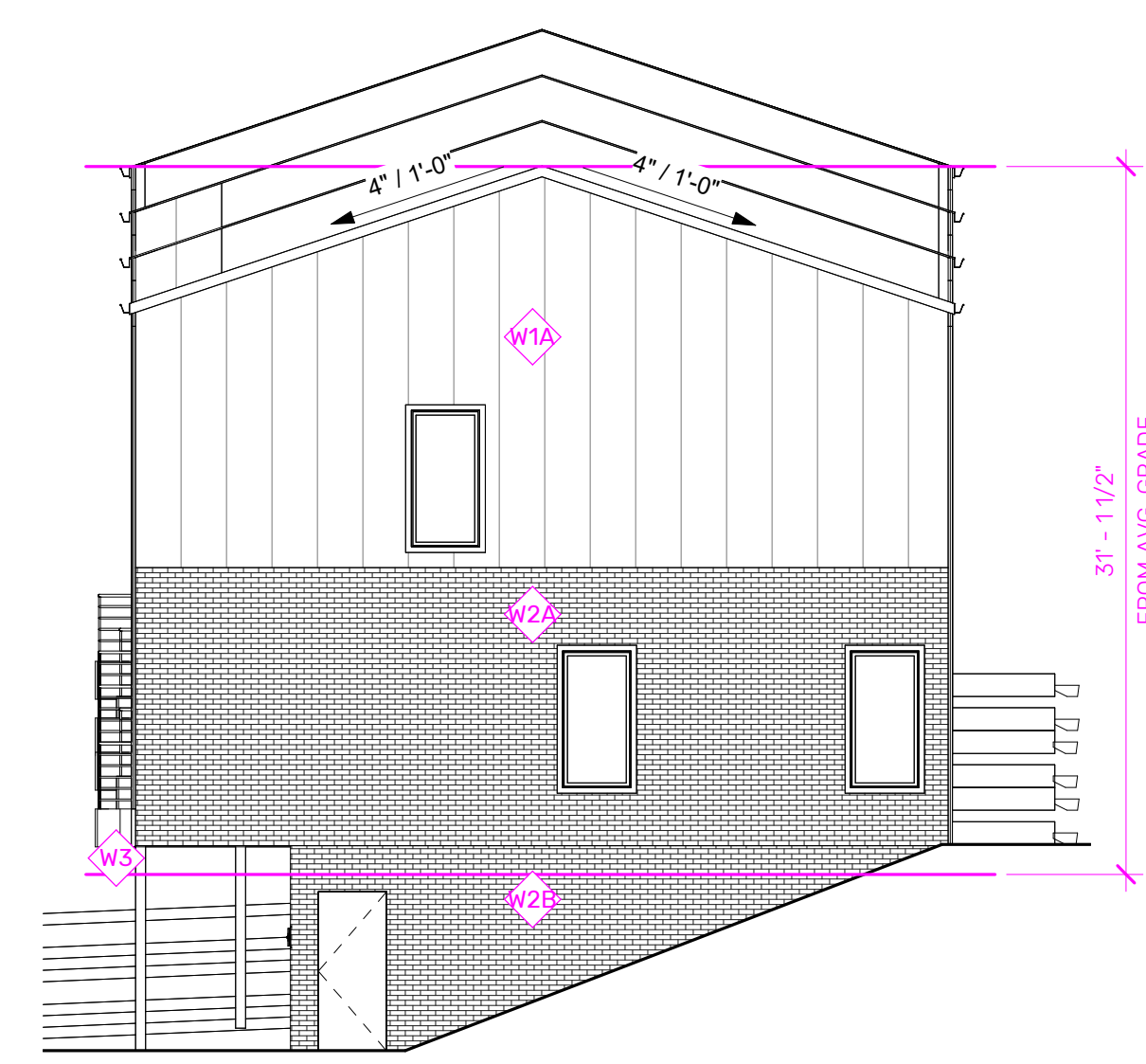
B5 BUILDING 29 - N.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 496 SF (49%)

- METAL - 11 SF (1%)
- BOARD AND BATTEN SIDING - 485 SF (48%)

BRICK - 522 SF (51%)

TOTAL - 1,018 SF



A2 BUILDING 29 - S.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,215 SF (48%)

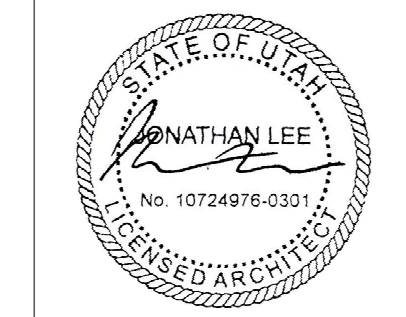
- METAL - 556 SF (22%)
- BOARD AND BATTEN SIDING - 659 SF (26%)

BRICK - 1,304 SF (52%)

TOTAL - 2,519 SF



A5 BUILDING 29 - S.W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:
R13 RPT/03 MAY 17, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 29 (2302 HORSETAIL)
A229

FINISH SCHEDULE

- W1A: WALL FINISH 1A:
 - HARDIE VERTICAL SIDING - COBBLESTONE
- W1B: WALL FINISH 1B:
 - HARDIE VERTICAL SIDING - EVENING BLUE
- W1C: WALL FINISH 1C:
 - HARDIE VERTICAL SIDING - MOUNTAIN SAGE
- W2A: WALL FINISH 2A:
 - MUTUAL MATERIALS - ASPEN
- W2B: WALL FINISH 2B:
 - MUTUAL MATERIALS - EBONY
- W3: WALL FINISH 3:
 - BREAK METAL
- R1: ROOF FINISH:
 - IKO CAMBRIDGE SHINGLES - WEATHERWOOD
- G1A: GARAGE DOOR 1 - FINISH 1:
 - DARK GRAY PAINT
- G1B: GARAGE DOOR 1 - FINISH 2:
 - DARK BRONZE PAINT
- G2A: GARAGE DOOR 2 - FINISH 1:
 - DARK GRAY PAINT
- G2B: GARAGE DOOR 2 - FINISH 2:
 - DARK BRONZE PAINT

TOTAL BUILDING ELEVATION MATERIALS:

NON-BRICK MATERIALS - 2,968 SF (46%)

- METAL - 929 SF (14%)
- BOARD AND BATTEN SIDING - 2,039 SF (32%)

BRICK - 3,511 SF (54%)

TOTAL - 6,479 SF

NON-BRICK MATERIALS - 496 SF (50%)

- METAL - 11 SF (1%)
- BOARD AND BATTEN SIDING - 485 SF (49%)

BRICK - 501 SF (50%)

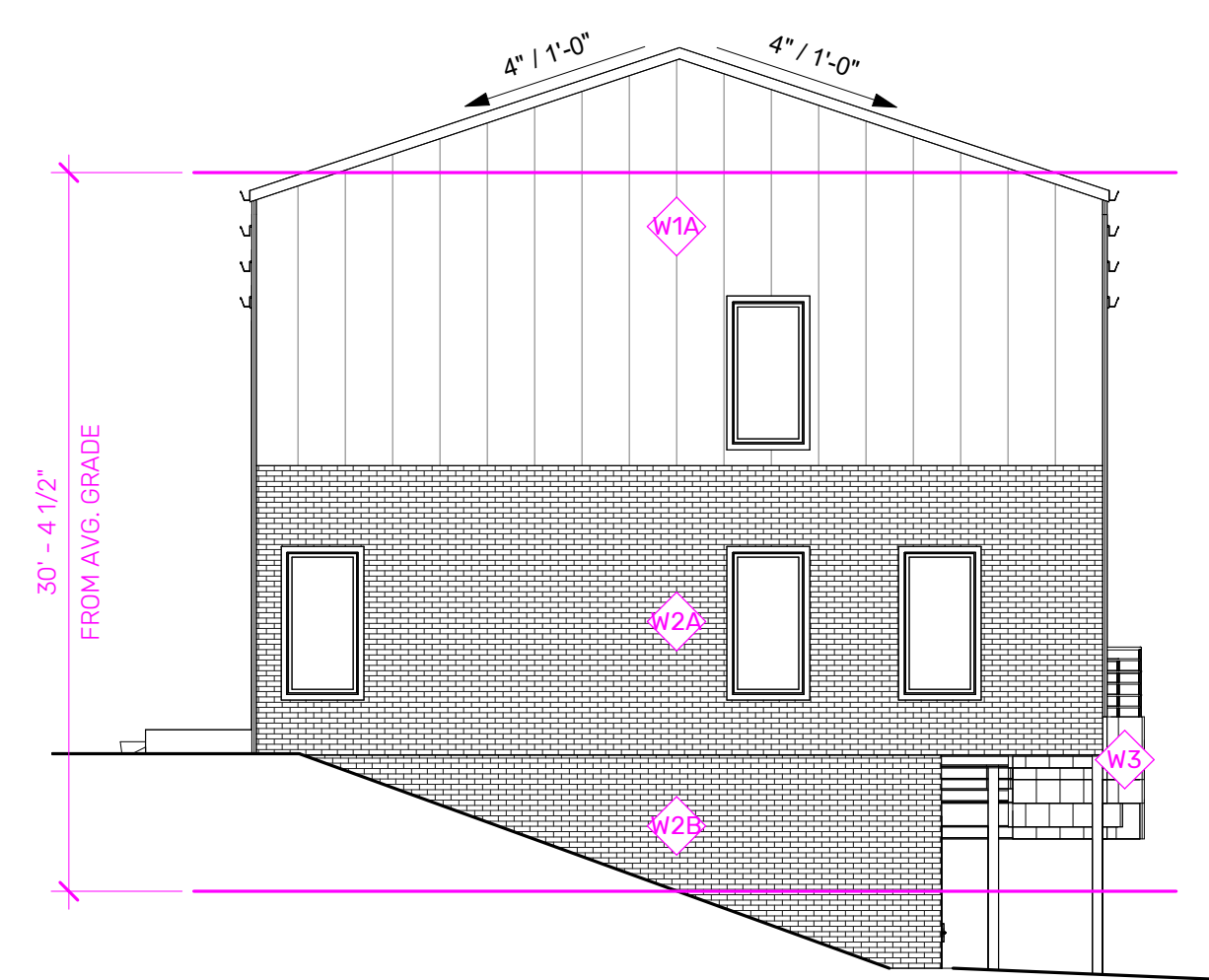
TOTAL - 997 SF

NON-BRICK MATERIALS - 830 SF (41%)

- METAL - 353 SF (17%)
- BOARD AND BATTEN SIDING - 477 SF (24%)

BRICK - 1,193 SF (59%)

TOTAL - 2,023 SF



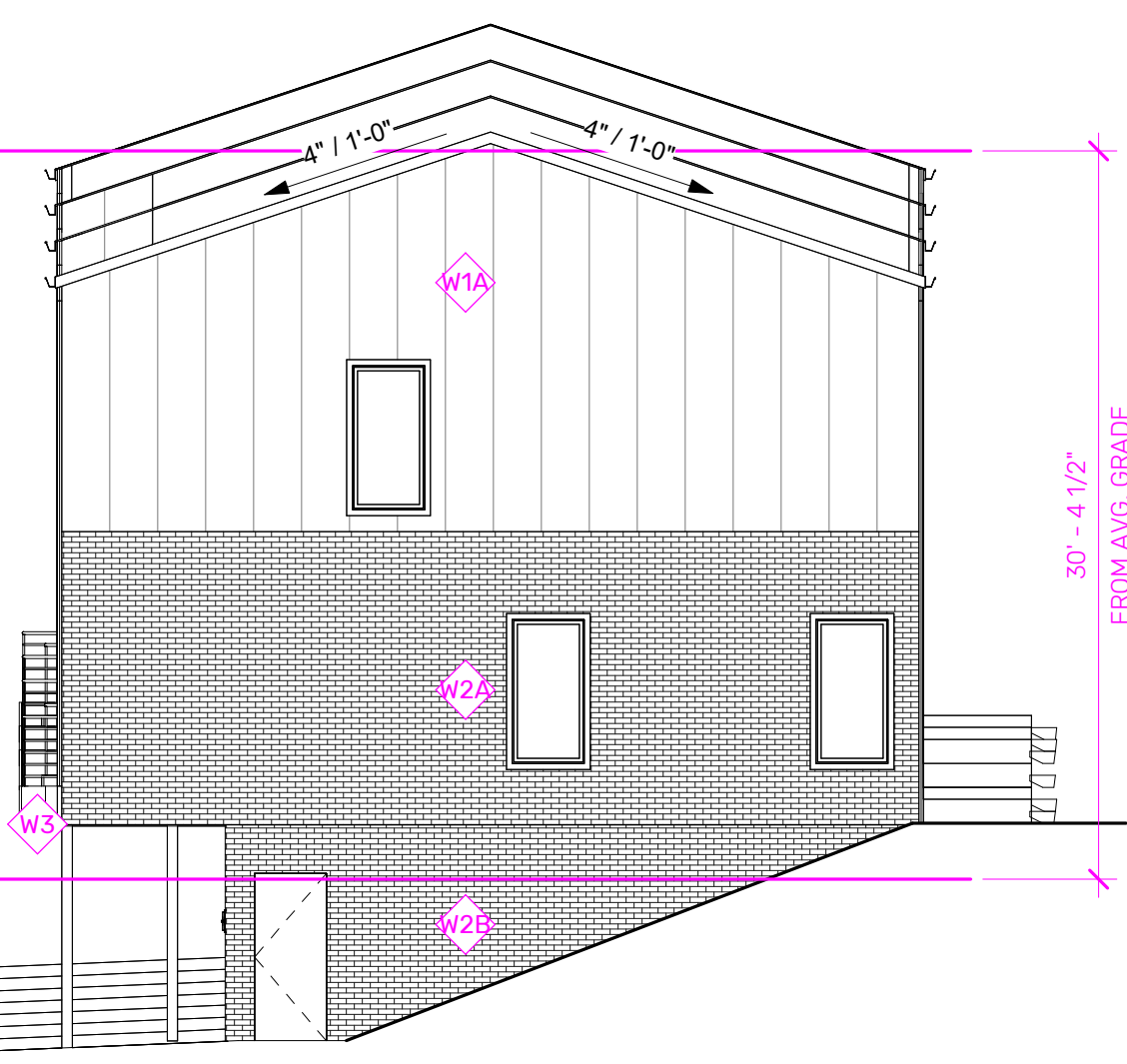
B1 BUILDING 30 - N.W. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 461 SF (47%)

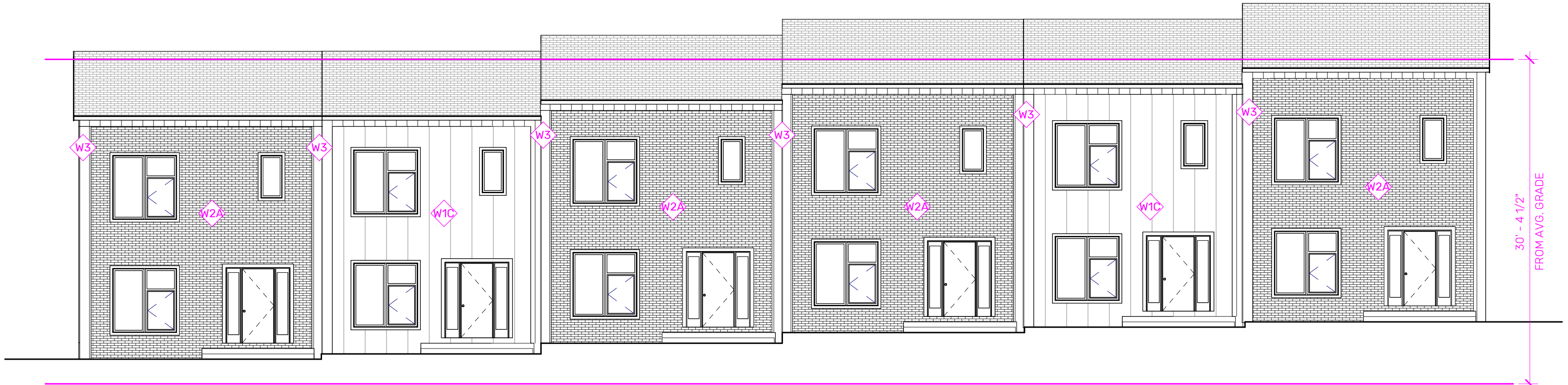
- METAL - 11 SF (1%)
- BOARD AND BATTEN SIDING - 450 SF (46%)

BRICK - 522 SF (53%)

TOTAL - 983 SF



A1 BUILDING 30 - S.E. ELEVATION
SCALE: 1/8" = 1'-0"



B5 BUILDING 30 - N.E. ELEVATION
SCALE: 1/8" = 1'-0"

NON-BRICK MATERIALS - 1,181 SF (48%)

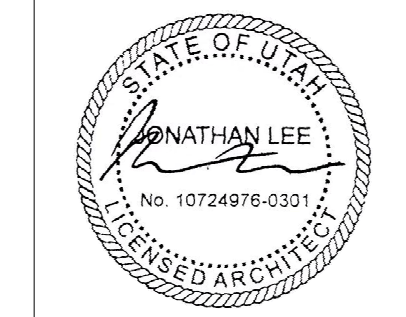
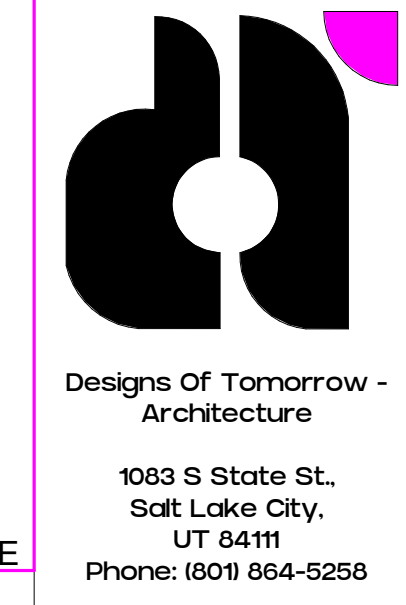
- METAL - 554 SF (22%)
- BOARD AND BATTEN SIDING - 627 SF (26%)

BRICK - 1,295 SF (52%)

TOTAL - 2,476 SF



A5 BUILDING 30 - S.W. ELEVATION
SCALE: 1/8" = 1'-0"



REVISIONS:
R13 R01/13 MAY 11, 2024

IKON TRAILSIDE TOWNHOMES
Trailside Townhomes
Draper, UT 84020

CONTRACT DOCUMENTS
DATE: 06/04/2024
NUMBER: 21020

EXTERIOR ELEVATIONS - BLDG 30 (2324 HORSETAIL)
A230

**EXHIBIT J
LIGHTING PLANS**

ELECTRICAL KEYED NOTES:

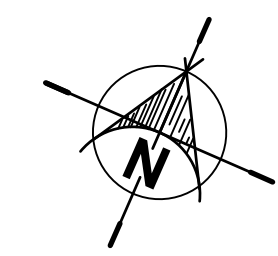
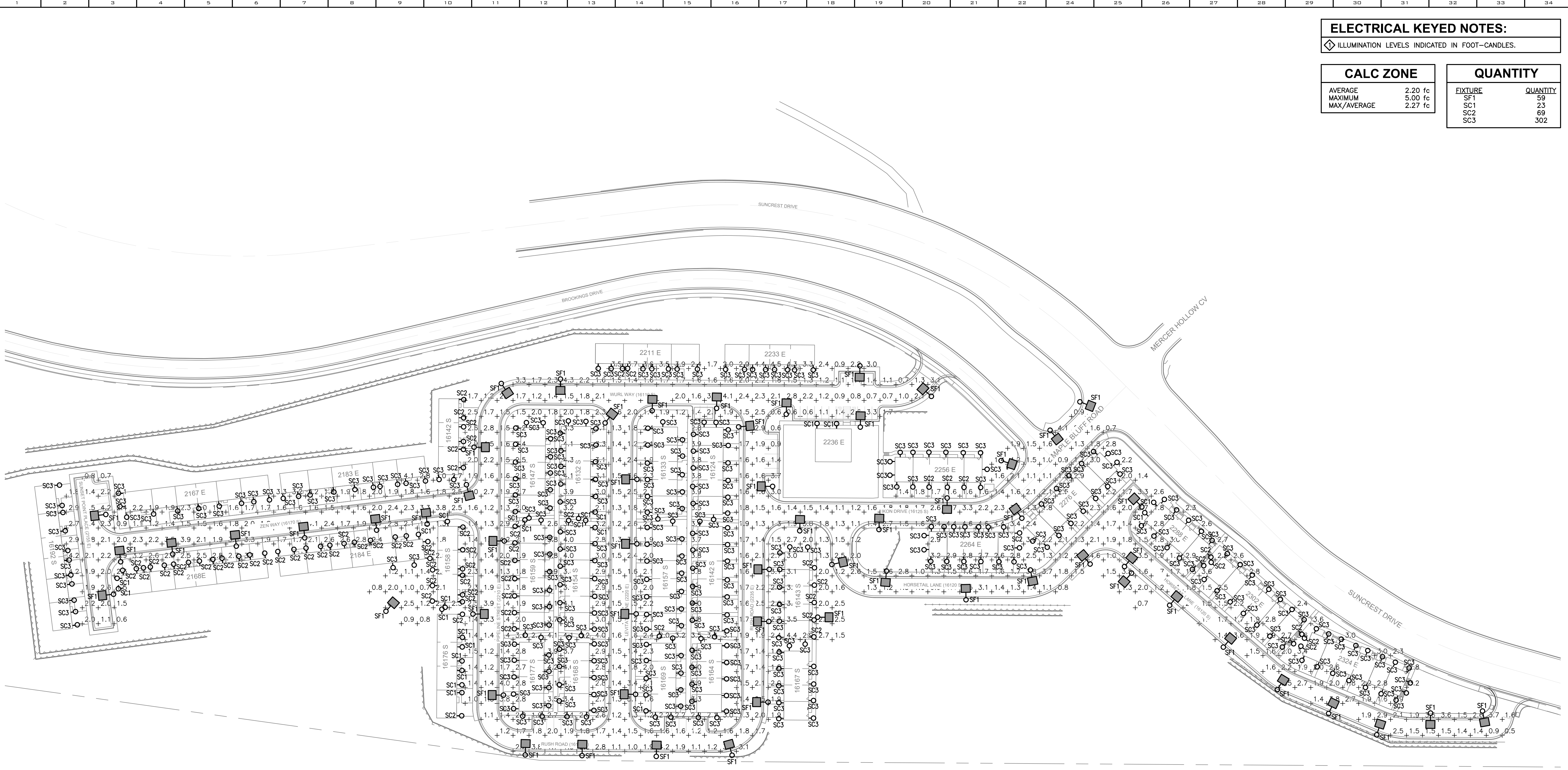
ILLUMINATION LEVELS INDICATED IN FOOT-CANDELS.

CALC ZONE

AVERAGE	2.20 fc
MAXIMUM	5.00 fc
MAX/AVERAGE	2.27 fc

QUANTITY

FIXTURE	QUANTITY
SF1	59
SC1	23
SC2	69
SC3	302

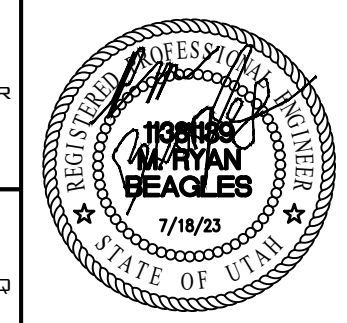


SITE PHOTOMETRIC PLAN
 SCALE: 1" = 60'-0"

SITE LIGHTING FIXTURE SCHEDULE

FIXT #	FIXTURE					POLE					REMARKS	
	MANUFACTURER	CATALOG #	VOLTS	#POLE	WATTS	MOUNTING	LAMP TYPE	QTY/FIXT.	MANUFACTURER	HEIGHT		CATALOG #
SF1	KING LED	K828-P4FL-II-40-SSL-8060-120V-3K	120	1	40	POLE	LED	-	MOUNTAIN STATES	20'-0"	20EFA-5-TT4x40D-HANC-(VERIFY COLOR)	PROVIDED BY OWNER INSTALLED BY CONTRACTOR
SC1	ANP	MBVF12-M009LDD	120	1	9	SCONCE	LED	-	-	12'-0"	-	-
SC2	ANP	MBVF12-M010LDD	120	1	10	SCONCE	LED	-	-	12'-0"	-	-
SC3	ANP	MBVF12-M016LDD	120	1	16	SCONCE	LED	-	-	12'-0"	-	-

THESE DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED AND NOT FOR DISSEMINATION TO THE PUBLIC. ANY REPRODUCTION OF THESE DOCUMENTS IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF ROYAL ENGINEERING IS PROHIBITED.



REVISIONS:
 CITY REVIEW 03/03/2022

TRAILSIDE TOWNHOMES
 DRAPER CITY, UTAH

DRAWING TITLE:
PHOTOMETRIC PLAN

DRAWN BY: DJG
 CHECKED BY: MRB


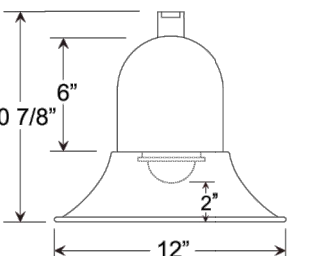
DATE PLOTTED:
 07/18/2023

PROJECT #:
 J21420.00

E0.2

ANP Lighting Specifications MBVF12

Project: _____ Quantity: _____
 Fixture Type: _____ Customer: _____

Specifications

Material: RM fixtures are constructed of heavy duty spun aluminum. Wall back plate and driver housing are cast aluminum. All fasteners are stainless steel. Inside of shade is reflective white finish for all colors except galvanized paint finish. Screw hardware may not match paint.

Electrical: Universal voltage 120/277 is standard. 0-10V, TRAC, and ELV dimming to 1% protocols are standard for LED modules. (12w is 120v and TRAC dimming only)

Certifications: Cord mounts are UL Listed for dry locations. Arm mount, stem mount and wall mount are UL Listed for wet locations.

Finish: A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleaning and pretreatment process for maximum paint adhesion.

Material: Matte gray finish provides superior salt, humidity and UV protection. This coating self-cleans and is available in either a textured or glass surface.

Modifications: Contact factory for custom or modified designs.

Weight: 2.15 lbs
EPA: 0.35

Catalog Code: MBVF12 - M016LDD W 40K - RTCW - E6 - PC - 41 - UNV

RM Style	Light Source	Wattage	Dimmer	CCT	Clear Coating	Mounting	Accessories	Finish	Wedge
MBVF12	1	2	3	4	5	6	7	8	UNV

1 LIGHT SOURCE & WATTAGES

M012LN (12w, 750 lumen, Cree module) Integral driver, 0-10V, TRAC dimming & narrow distribution only

M008LDD (8w, 850 lumen, Cree module)

M016LDD (10w, 1250 lumen, Cree module)

M016LDD (16w, 2000 lumen, Cree module)

2 DISTRIBUTION

W (15 Wide Distribution with Dome LED Lens)

N (5 Narrow Distribution with Flat LED Lens)

*12w is narrow only, select "N".

3 COLOR TEMPERATURE (CCT)

27K	(2700K)
30K	(3000K)
35K	(3500K)
40K	(4000K)

4 DRIVER HOUSINGS*
 (Driver Housing only Required with Color Cord and/or Emergency Backup Options)

NA No selection is required if Color Cord or Emergency Backup are not chosen
 Color Cord Driver Housing Options
 Choose Color Cord Style in Box 5

CRD-DCC (Driver Housing for CRD Cable/Color Cord only, 7 3/4" x 1 1/2")

SSC-DCC (Driver Housing for SS Cable/Color Cord only, 7 3/4" x 1 1/2")

Emergency Backup Driver Housing Options

CRD-OCCEM-BLC (Emergency Ballast Housing for Black Cord only, 12" x 1 1/2")
 Choose NA in Box 5

CRD-OCCEM-WHC (Emergency Ballast Housing for White Cord only, 12" x 1 1/2")
 Choose NA in Box 5

CRD-OCCEM (Emergency Ballast Housing for Color Cord only, 12" x 1 1/2")
 Choose Color Cord Style in Box 5

ST-OCCEM (Emergency Ballast Housing for Stem only, 12" x 1 1/2")
 Choose Stem Size in Box 5

SSC-OCCEM-BLC (Stainless steel cable with 6-foot black cord and 12" canopy)
 Choose NA in Box 5

SSC-OCCEM-WHC (Stainless steel cable with 6-foot white cord and 12" canopy)
 Choose NA in Box 5

SSC-OCCEM (Emergency Ballast Housing for SS Cable/Color Cord only, 12" x 1 1/2")
 Choose Color Cord Style in Box 5

*Driver Housing finish will match fixture finish.

5 MOUNTING SOURCES*
 Arm Mounts
 E3 E4 E6 E8 E9 E13 E15 E16 E20 E22 E25 E26 E36

Wall Mounts
 WM41 WM55 WM55 WM318 WMBVRS01 WMBVRS01

Post Mounts
 PM10 PM20 PM30 PM40 PM50 PM319

Cable Mounts
 (See page 4 for color cord style)

SSC-BLC-SW (Stainless steel cable with 6-foot black cord and 5 3/8" canopy)

SSC-WHC-SW (Stainless steel cable with 6-foot white cord and 5 3/8" canopy)

Coat Mounts
 (See page 4 for color cord style)

NA No selection required if

CRD-OCCEM-BLC, **CRD-OCCEM-WHC**, **SSC-OCCEM-BLC** or **SSC-OCCEM-WHC** is chosen in Box 4.

SJT Cord

BLC-SW (Black 5-wire SJT Cord) **WHC-SW** (White 5-wire SJT Cord)

Solid Fabric Colored Cords
 Must Choose DCC Housing in Box 4

BLSF (Black) **ORSF** (Orange)

QYSF (Gray) **LGSF** (Lime Green)

CHSF (Chocolate Brown) **KGSF** (Kelly Green)

WHSF (White) **CBSF** (Cobalt Blue)

CASF (Cardinal) **SBSF** (Sky Blue)

Patterned Fabric Colored Cords
 Must Choose DCC Housing in Box 4

BWHPF (Black/White Houndstooth) **BHPF** (Brown/White Houndstooth)

GYOPF (Gray/Citrus Stripe) **MOPF** (Magenta/Orange Stripe)

NMTPF (Navy Mini Tweed)

Glossy Fabric Colored Cords
 Must Choose DCC Housing in Box 4

GMGF (Gun Metal) **SSGF** (Sterling Silver)

CPGF (Copper Penny) **BRGF** (Bronze)

GGGF (Gold)

Stem Mounts
 (Includes STC Flat Canopy)

1/2" (13/16" OD) Rigid Stems 3/4" (1" OD) Rigid Stems

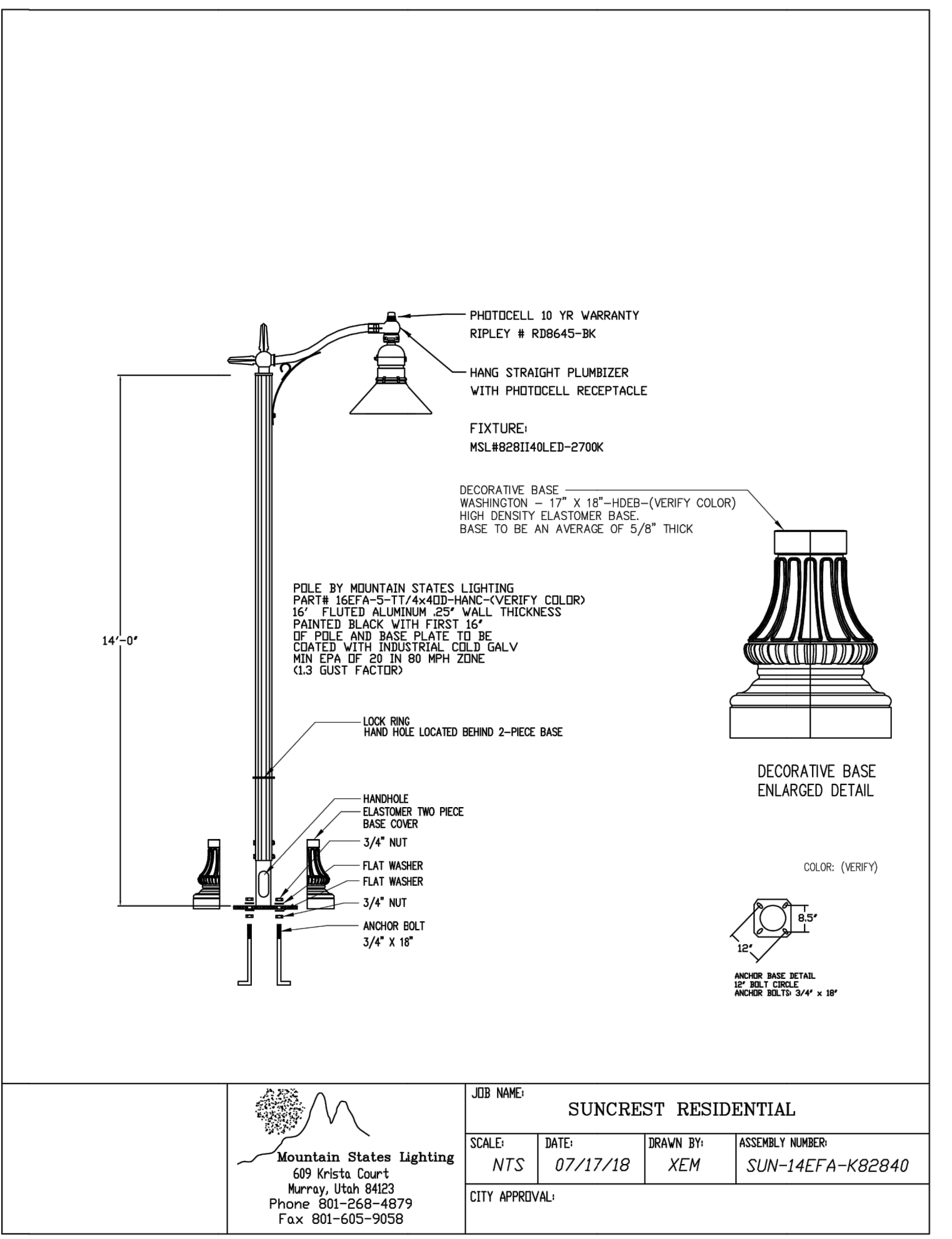
2ST6 2ST12 2ST16 3ST6 3ST12 3ST18

2ST24 2ST36 2ST48 3ST24 3ST36 3ST48

2ST60 2ST72 2ST96 3ST60 3ST72 3ST96

*Arm mount, Wall mount or Stem finish will match fixture finish.

© 2020 ANP Lighting. All rights reserved. These specifications are intended for general purposes only. ANP reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products. **1-800-548-3227 ANPlighting.com**



PHOTOCELL 10 YR WARRANTY
 RIPLY # RD8645-BK

HANG STRAIGHT PLUMBING
 WITH PHOTOCELL RECEPTACLE

FIXTURE:
 MSL#828114LED-2700K

DECORATIVE BASE
 WASHINGTON - 17" x 18" -HDS-(VERIFY COLOR)
 HIGH DENSITY ELASTOMER BASE
 BASE TO BE AN AVERAGE OF 5/8" THICK

DECORATIVE BASE ENLARGED DETAIL

POLE BY MOUNTAIN STATES LIGHTING
 PART # 14EFA-5-17/4x4HD-HANC-(VERIFY COLOR)
 16" FLUTED ALUMINUM 25" WALL THICKNESS
 PAINTED BLACK WITH FIRST 16"
 OF POLE AND BASE PLATE TO BE
 COATED WITH INDUSTRIAL COLD GALV
 NON EPA OF 50 IN 90 MPH ZONE
 (L3 GUST FACTOR)

LOOK RING
 HAND HOLE LOCATED BEHIND 2-PIECE BASE COVER

HANDHOLE
 ELASTOMER TWO PIECE BASE COVER

3/4" NUT
 FLAT WASHER

3/4" NUT
 FLAT WASHER

ANCHOR BOLT
 3/4" x 18"

COLOR: (VERIFY)

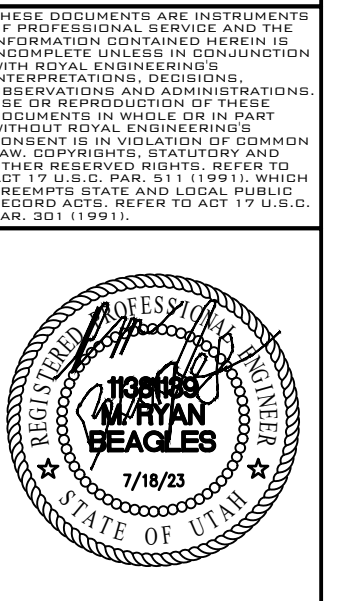
Mountain States Lighting
 629 Vista Court
 Nurray, Utah 84123
 Phone 801-268-4879
 Fax 801-505-9058

JOB NAME: SUNCREST RESIDENTIAL

SCALE: NTS **DATE:** 07/17/18 **DRAWN BY:** XEM **ASSEMBLY NUMBER:** SUN-14EFA-KB2840

CITY APPROVAL:

ROYAL ENGINEERING
 MECHANICAL ELECTRICAL
 1837 S. EAST BAY BLVD.
 PHOENIX, AZ 85024
 PHONE: 602.375.2278
 FAX: 602.375.2279



REVISIONS:
 CITY REVIEW 03/03/2022

TRAILSIDE TOWNHOMES
 DRAPER CITY, UTAH

DRAWING TITLE: ELECTRICAL SITE DETAILS

DRAWN BY: DJG **CHECKED BY:** MRB

DATE PLOTTED: 07/18/2023

PROJECT #: J21-420.00

E0.3